

Project Narrative
for
1156 18 Road

Prepared for:

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NAME AND ADDRESS INFORMATION:

Landowner:

TreyTyn Homes LLC
2460 Patterson Road, Suite 6
Grand Junction, CO 81505

Representative:

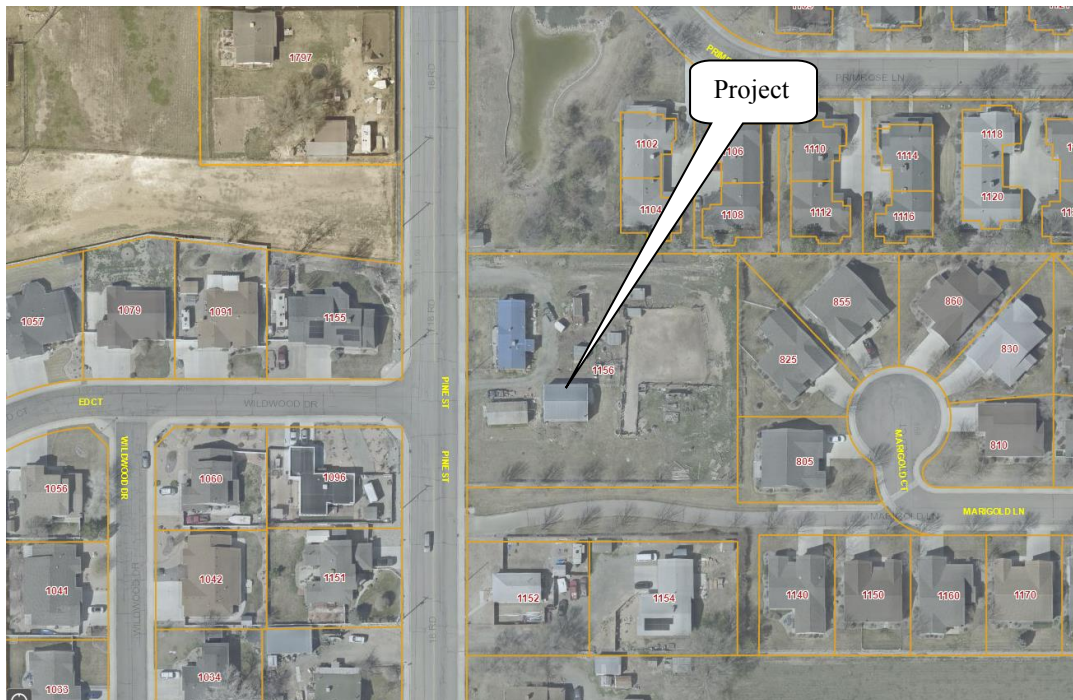
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Property Information:

1156 18 Road
Fruita, CO 81521
2697-092-47-001
1.23 Acres
Community Residential

TYPE OF PROJECT

This project narrative is a request for a Major Subdivision Application for a proposed residential subdivision located at 1156 18 Road in Fruita, Colorado.



Project Location Map

The proposed development will subdivide the property into a minimum of seven (7) residential lots that will seek the density bonus criteria listed in Section 17.09.050 of the City of Fruita Land Use Code. Utilizing the density bonus allows 7-8 units per acre and a minimum 3,500 square foot lot.

EXISTING CONDITIONS

The subject property consists of approximately 1.23 acres. The property contains a residential dwelling unit with several outbuildings. Access to the property is from N Pine Street (18 Road) and aligns directly across from Wildwood Drive. A public pedestrian outlot exists along the south that is part of the Village at Country Creek Subdivision. Surrounding properties are residential in nature and follow the community residential development characteristics.

PROPOSED DEVELOPMENT

The proposed development will subdivide the property into a minimum of seven (7) residential lots that will seek the density bonus criteria listed in Section 17.09.050 of the City of Fruita Land Use Code. Utilizing the density bonus allows 7-8 units per acre and a minimum 3,500 square foot lot. The development will utilize a mixture of single-family (attached/detached), duplexes and/or townhomes.

Access: Access to the new development will be from N Pine Street via a 44-foot ROW and culdesac. Most likely shared driveways will give access to several of the units.

Utilities: All required utilities are either located in N Pine Street or in the Village at Country Creek outlot.

It is assumed that Ute Water operates a water main in N Pine Street that will serve the development. Depending on the extent of proposed ROW in the development individual water meter gang vaults may be required at the end of the ROW to serve those lots that are served by shared driveways.

No fire hydrants exist along the frontage of the property. So, a new fire hydrant will be proposed at the end of the development's water main.

Sanitary sewer exists in both N Pine Street & the Village at Country Creek outlot. Discussion with the City Public Works will determine best location.

Xcel Energy provides both electric power and natural gas.

According to the City of Fruita GIS mapping existing irrigation infrastructure lies along the east boundary. It is assumed that the property has irrigation shares/rights to this irrigation system that will be utilized with the development.

The Grand Valley Drainage District operates the Denton Drain that runs along the north side of the property. Currently there is a 25-foot drainage easement. It is being proposed that the system be piped so that the easement can be reduced.

Runoff conveys at a southwesterly direction. Since the development will be greater than 1.0 acre in size stormwater detention and water quality will be provided near the southwest corner of the development. Outfall will be to an existing storm sewer system within N Pine Street.