

WEST CANYON

A REPLAT OF LOT 1 OF FISH MINOR SUBDIVISION, RECEPTION NUMBER 2080405 NORTHWEST 1/4 OF THE NORTHWEST 1/4, SECTION 16, TOWNSHIP 1 NORTH, RANGE 2 WEST, UTE MERIDIAN MESA COUNTY, COLORADO

DEDICATION

Know All Persons By These Presents:

The undersigned, WEST CANYON FRUITA, LLC, is the owner of record of that real property situated in the northwest quarter of the northwest quarter of Section 16, Township 1 North, Range 2 West of the Ute Meridian, City of Fruita, County of Mesa, State of Colorado, the ownership of which is demonstrated at reception number 3071448 of the records in the office of the Mesa County Clerk and Recorder. Said property being more particularly described as follows:

Lot 1 of Fish Minor Subdivision (Reception Number: 2080405)

Said owner has caused the described real property to be surveyed, laid out and to be publicly known as WEST CANYON.

All Rights-of-Way and streets shown hereon are dedicated to the City of Fruita for the use of the public forever.

All multi-purpose easements are hereby dedicated to the City of Fruita and the public utilities for the use as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances thereto including, but not limited to, electric lines, cable television lines, natural gas pipelines, sanitary sewer lines, irrigation lines, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, and grade structures.

Tract A, B, and D shall be granted to the Homeowners Association by separate instrument.

Drainage and irrigation easements shall be granted to the Homeowners Association by separate instrument.

Said owner does hereby acknowledge that all lienholders or encumbrancers, if any, associated with the interests of this plat have been represented hereon.

Said owner does subscribe hereunder this _____ day of _____, _____

Quintin Shear, Co-Manager, West Canyon Fruita, LLC

David Bagg, Co-Manager, West Canyon Fruita, LLC

Justin Howell, Co-Manager, West Canyon Fruita, LLC

STATE OF COLORADO)
) ss
COUNTY OF MESA)

This plat was acknowledged before me by _____

on this _____ day of _____, _____

My commission expires: _____

Witness my hand and seal

LIENHOLDERS RATIFICATION OF PLAT

The undersigned, hereby certifies that it is a holder of a security interest upon the property described as Adaele's Acres being property described in security interest(s) according to the public records of Mesa County, Colorado and does hereby join in and consent to the dedication of the land described in said dedication by the owner(s) thereof and agrees that its security interest and any amendments thereto in the public records of Mesa County, Colorado shall be subordinated to the dedications shown hereon. In witness whereof, the said corporation has caused these presents to be signed by its _____, with the authority of its board of directors,

This _____ day of _____, 20____

BY: _____ FOR: _____

TITLE CORPORATE NAME

STATE OF COLORADO)
) ss
COUNTY OF MESA)

This plat was acknowledged before me by _____

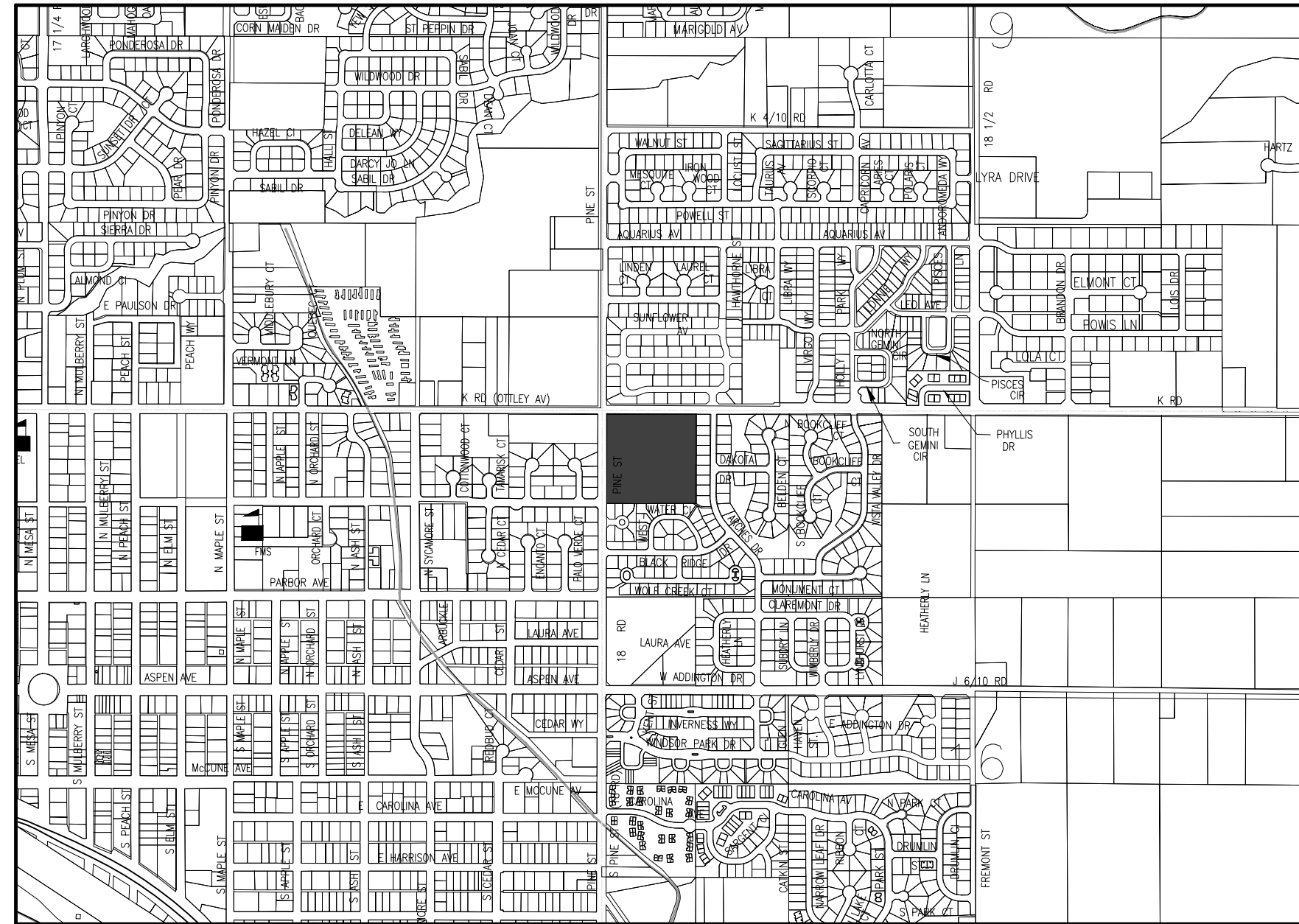
on this _____ day of _____, _____ My

commission expires: _____

Witness my hand and seal _____ Notary Public

My commission expires _____

Restrictions appurtenant to the respective lots shown on this plat are designated on the associated Site Plan recorded in the office of the Mesa County Clerk & Recorder.



VICINITY MAP 1:1000'

SEPARATE INSTRUMENT RECORDING	
CCR's	_____
TRACT A, B AND D	_____
DRAINAGE AND IRRIGATION EASEMENT	_____
_____	_____
_____	_____
_____	_____
_____	_____

AREA SUMMARY		
Lots	7.24 ac	79.47%
Tracts	0.48 ac	5.27%
Right of Way (Dedicated)	1.34 ac	15.26%
Total	9.11 ac	100.00%

TITLE CERTIFICATION

We _____, a title insurance company, as duly licensed in the State of Colorado, hereby certify that we have examined the title to the hereon described property, that we find the title to the property shown and described hereon is vested to West Canyon Fruita, LLC, a Colorado Limited Liability Company; That the current taxes have been paid; That all mortgages not satisfied or released of record nor otherwise terminated by law are shown hereon and that there are no other encumbrances of record; That all easements, reservations and rights of way of record are shown hereon.

DATE: _____ BY: _____
NAME AND TITLE

CITY COUNCIL CERTIFICATE

This Plat approved by the City Council of the City of Fruita, Colorado, this _____ day of _____, 20____, for filing with the Clerk and Recorder of Mesa County, and for conveyance or dedication to the City of the public dedications shown hereon; subject to the provision that approval in no way obligates the City of Fruita for financing or construction of improvements on said lands, streets or easements dedicated to the City except as specifically agreed to by the City Council of the City of Fruita. Further, said approval in no way obligates the City of Fruita for maintenance of public improvements until construction of said improvements has been completed in accordance with the City of Fruita's specifications and the City of Fruita has agreed to accept said improvements. This approval does not guarantee that the size, soil conditions, sub-surface geology, ground water conditions, or flooding conditions of any lot shown hereon are such that a planning clearance, building permit, or any other required permit will be issued. This approval is with the understanding that all expenses involving required improvements for all utility services, paving, grading, landscaping, curbs gutter, sidewalks, street lighting, street signs, other traffic control devices, flood protection devices, drainage structures, and all other improvements that may be required shall be the responsibility of the owners designated hereon, and the City of Fruita, unless otherwise specifically agreed to in writing by the City Council.

CITY OF FRUITA, COLORADO

By: _____
Mayor

Witness my hand and official seal of the City of Fruita.

ATTEST:

City Clerk

PLANNING COMMISSION CERTIFICATE:

This plat approved by the City of Fruita Planning Commission the _____ day of _____, 20____.

Chairperson

COMMUNITY DEVELOPMENT DEPARTMENT CERTIFICATE:

This plat approved by the City of Fruita Community Development Department the _____ day of _____, 20____.

Community Development Department Director

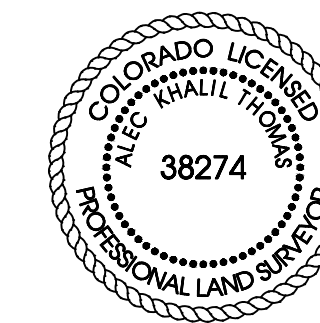
CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO)
) ss
COUNTY OF MESA)
THIS PLAT WAS ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF MESA COUNTY, COLORADO, AT _____ O'CLOCK _____ M., ON THIS _____ DAY OF _____, 20____ AND WAS RECORDED AT RECEPTION NUMBER _____, DRAWER NUMBER _____ AND FEES _____.

CLERK AND RECORDER DEPUTY

SURVEYOR'S STATEMENT

I, Alec K. Thomas, a registered Professional Land Surveyor in the State of Colorado, do hereby state that the accompanying plat of WEST CANYON, a subdivision of a part of the County of Mesa, State of Colorado, has been prepared by me and/or under my direct supervision and represents a field survey of the same. This statement is applicable only to the survey data represented hereon, and does not represent a warranty or opinion as to ownership, lienholders, or quality of title. This statement is not a guaranty, either expressed or implied.



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RECEPTION NUMBER 2080405
NORTHWEST 1/4 OF THE NORTHWEST 1/4, SECTION 16
TOWNSHIP 1 NORTH, RANGE 2 WEST, UTE MERIDIAN
MESA COUNTY, COLORADO



Sheet 1 of 2	Date: 11/13/2023	Job No: 0208-029
Surveyed: KWT/C	Drawn: AKT	Checked: AKT
Drawing name: S:\PROJECTS\0208 John Thomas_Dave Baggett\02 K Road Plat\Drawings\DWG\0208-029 SUBDIVISION.dwg		

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

* THESE DIMENSIONS SHOW DISTANCE THAT THE FENCES SURVEYED LOCATION PROJECT INTO SUBJECT PROPERTY.

WEST CANYON

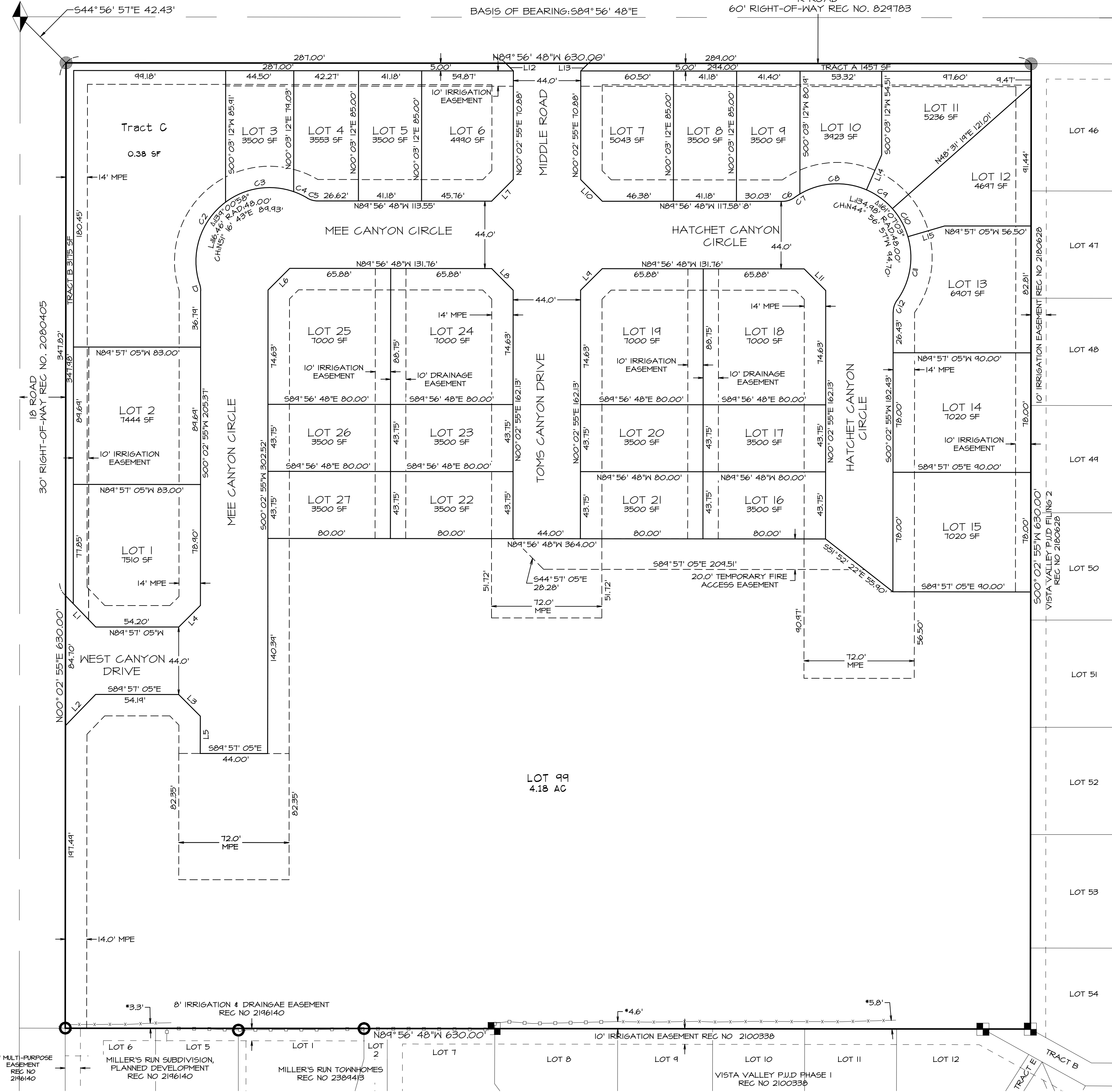
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SYMBOLS AND ABBREVIATIONS USED ON THIS PLAT

A:	ARC LENGTH OF CURVE
BOB:	BASIS OF BEARING
C:	CENTER
CCR:	COVENANT CONDITIONS & RESTRICTIONS
E:	EAST
N:	NORTH
NO:	NUMBER
PLS:	PROFESSIONAL LAND SURVEYOR
MCSM:	MESA COUNTY SURVEY MARKER
MPE:	MULTI-PURPOSE EASEMENT
PLS:	PROFESSIONAL LAND SURVEYOR
CH:	CHORD LENGTH
BRG:	CHORD BEARING
L:	ARC LENGTH
RAD:	RADIUS
Δ:	CENTRAL ANGLE DELTA
REC:	RECEPTION
ROW:	RIGHT OF WAY
S:	SOUTH
T:	TOWNSHIP
UM:	UTE MERIDIAN
W:	WEST
∅:	DIAMETER

3.25" ALUMINUM CAP
 MESA COUNTY SURVEY MARKER
 MCSM #19
 NW CORNER SEC. 16

3" BRASS CAP
 MESA COUNTY SURVEY MARKER
 MCSM #434-1
 N 1/4 CORNER, SECTION 16



Curve Table

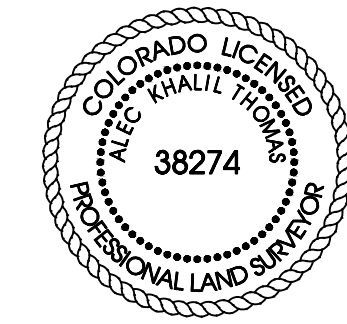
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	4.31'	13.50'	018°16'41"	4.24'	N04°05'25"W
C2	54.42'	48.00'	011°31'13"	56.10'	S11°31'50"W
C3	46.87'	48.00'	055°56'51"	45.03'	S01°15'52"W
C4	9.67'	48.00'	011°32'55"	9.66'	N64°59'15"W
C5	7.24'	13.50'	030°44'00"	7.15'	S14°34'48"E
C6	8.38'	13.50'	035°33'40"	8.25'	N12°16'22"E
C7	4.20'	48.00'	005°00'34"	4.20'	S56°59'49"W
C8	45.15'	48.00'	053°53'40"	43.50'	S06°26'56"W
C9	21.05'	48.00'	025°01'33"	20.88'	N54°02'27"W
C10	21.05'	48.00'	025°01'33"	20.88'	N28°54'55"W
C11	43.53'	48.00'	051°57'43"	42.05'	N04°37'43"E
C12	8.38'	13.50'	035°33'40"	8.25'	S11°44'45"W

Line Table

Line #	Length	Direction
L1	28.30'	S44°00'33"E
L2	28.32'	N44°05'53"E
L3	19.97'	S44°51'05"E
L4	19.97'	S45°02'55"W
L5	24.38'	S00°02'55"W
L6	19.97'	S45°03'03"W
L7	19.97'	N45°02'55"E
L8	19.97'	N44°51'06"W
L9	19.97'	S45°02'55"W
L10	19.97'	N44°51'05"W
L11	19.97'	N44°56'51"W
L12	7.07'	N44°55'52"W
L13	7.07'	N45°04'08"E
L14	25.00'	S23°23'46"W
L15	25.00'	S13°38'52"W

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BASIS OF BEARINGS

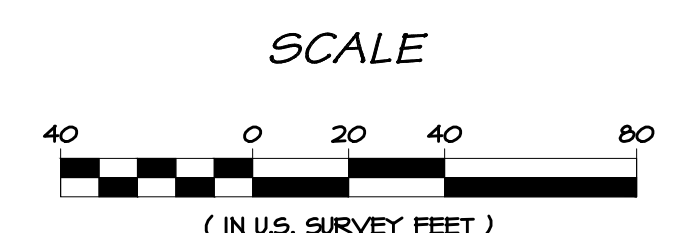
The bearings hereon are grid bearings of the Mesa County Local Coordinate System, GVA, as defined at http://emcap.mesacounty.us/gps_survey/GVAZONE.htm, determined by GPS observation of the north line of northwest quarter of Section 16, T.1N., R.2W., Ute Meridian, the Northwest corner of said Section 16, being a 3.25" aluminum cap marked "MCSM #19" whence the North 1/4 Corner of said Section 16, being a 3" brass cap marked "MCSM #434-1", bears South 89°56'48" East, as shown hereon.

Lineal Units of Measurement are U.S. Survey Feet.

MCLCS ZONE "GVA"
 TRANSVERSE MERCATOR PROJECTION
 POINT OF ORIGIN (SNO) AND CENTRAL MERIDIAN:
 LATITUDE: 39°06'22.72146N
 LONGITUDE: 108°32'01.43552W
 NORTHING: 50,000 FT
 EASTING: 100,000 FT
 SCALE FACTOR: 1.0002181798
 PROJECT/SCALE FACTOR HEIGHT: 4644 FT (NAVD88)

LEGEND

- FOUND 1.5" ALUMINUM CAP, LS 24963
- FOUND 2" ALUMINUM CAP, ILLEGIBLE
- ALIQUOT MONUMENT AS NOTED
- SET 1.5" ALUMINUM CAP ON # 5 REBAR PLS 38214
- EASEMENT LINE
- PARCEL LINE
- ROW LINE
- ALIQUOT LINE



RIVER CITY CONSULTANTS

215 Pitkin Avenue, Unit 201
 Grand Junction, CO 81501
 Phone: 970.241.4722
 Fax: 970.241.8841
 www.rcwest.com

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