



# West Canyon

2697-162-21-001

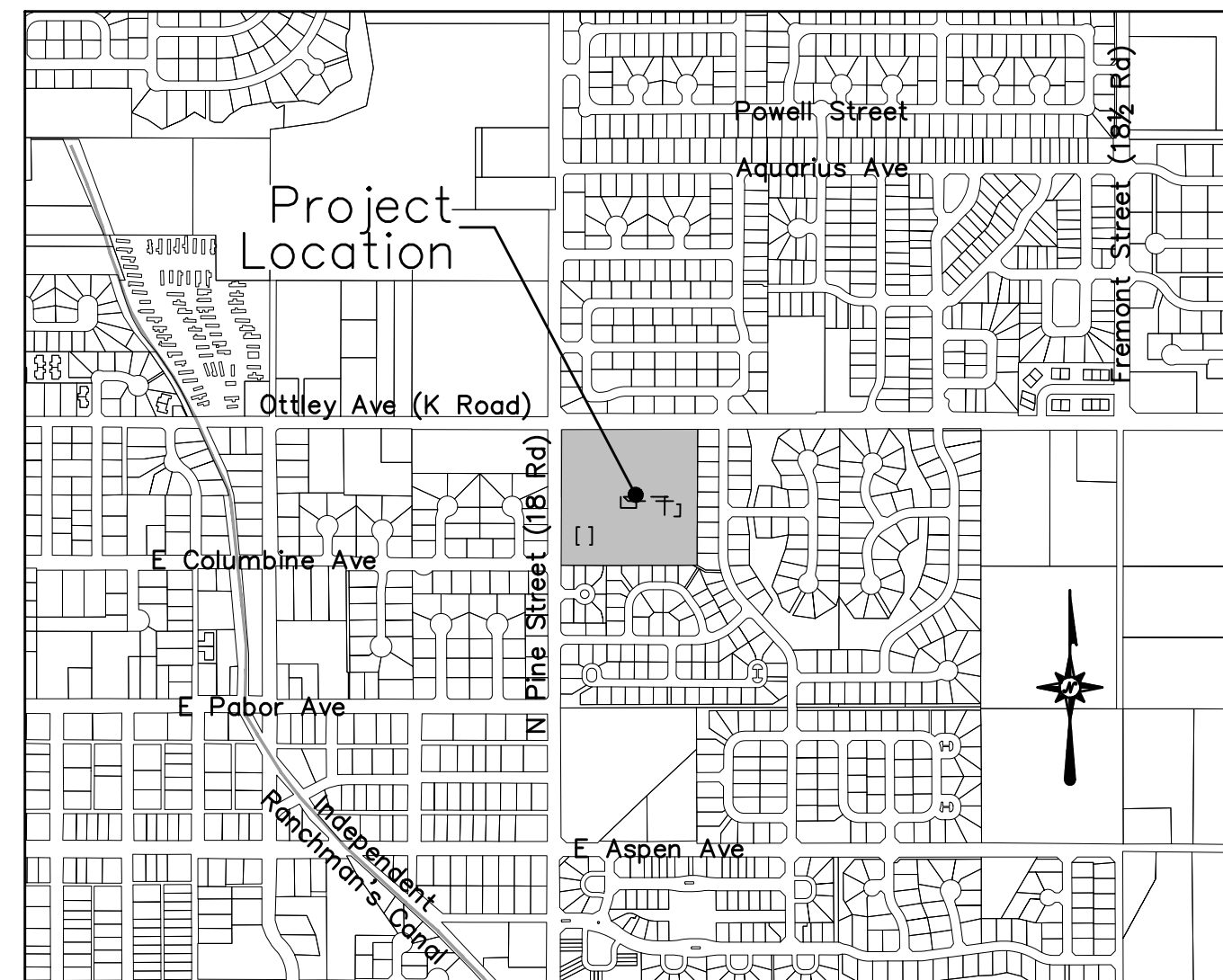
Fruita, CO 81521

## CONSTRUCTION PLANS

Prepared for:

### WEST CANYON FRUITA, LLC

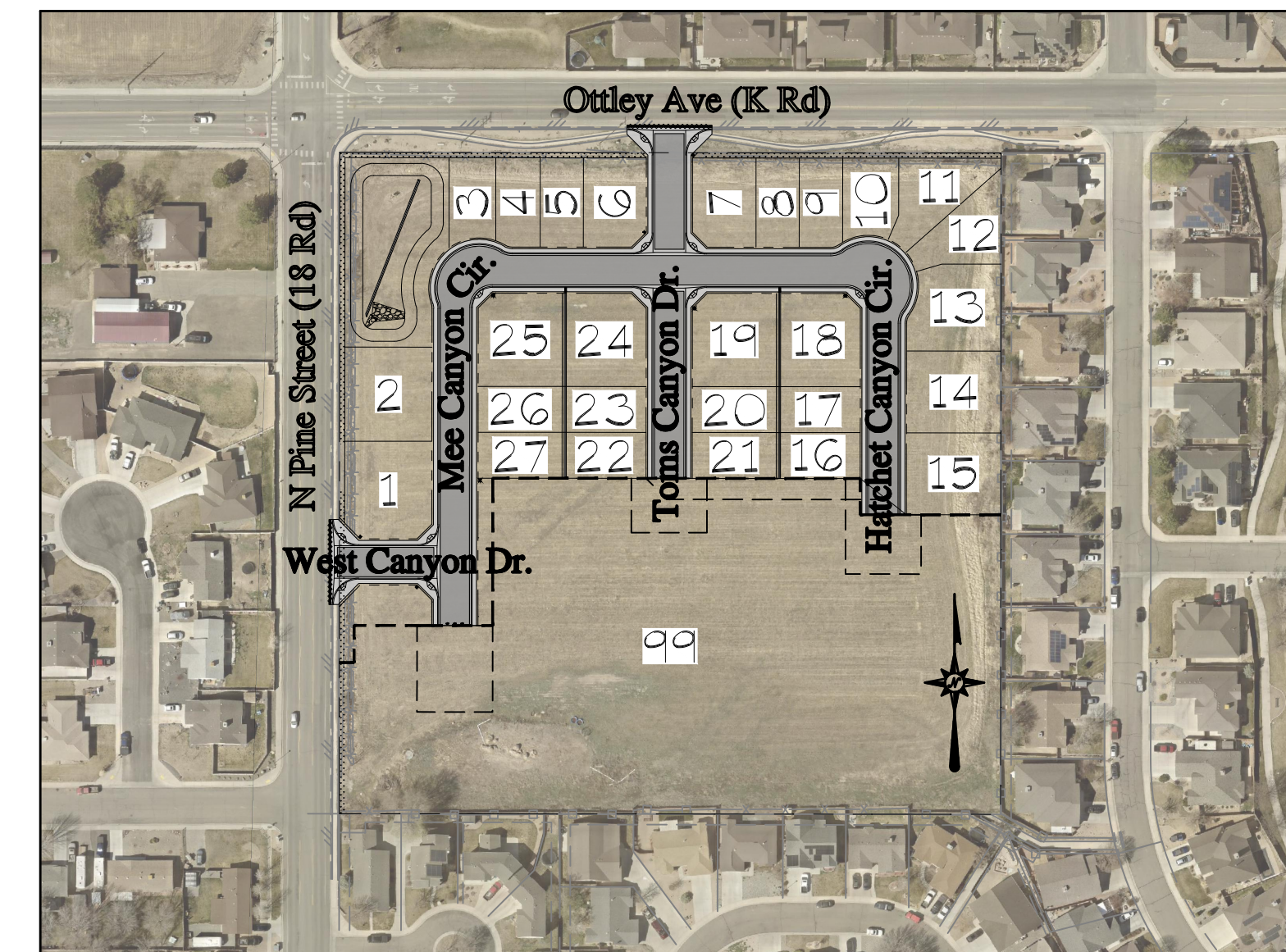
**DRAFT**  
Review Set  
(NOT FOR CONSTRUCTION)



**PROJECT LOCATION MAP**  
(1" = 800')

#### INDEX OF SHEETS

Sheet No.	Description
C1	Cover Sheet
C2-C3	General Notes
C4	Legend & Abbreviations
C5-C7	Preliminary Plans
C8	Site Plan
C9	Fire Site Plan
C10	Utility Composite
C11-C14	Grading Plan
C15-C16	Stormwater Management Plan
C17-C18	Horizontal Control Plan
C19-C22	Sanitary Sewer Plan & Profile
C23-C25	Storm Drain Plan & Profile
C26-C30	Water Line Plan & Profile
C31-C36	Road Plan & Profile
C37-C41	Road Cross Section Views
MP	Master Landscape Plan
L1-L4	Landscape Plan
IR-MP	Irrigation Master Plan
IR1-IR4	Irrigation Plan
IR5	Irrigation Pump Details
1-2	Ute Water Standard Details



**PROJECT OVERVIEW**  
(1" = 150')

#### UTILITY CONTACTS

Sewer – City of Fruita	Contact.....970-858-9558
Water – Ute Water District	Contact.....970-242-7491
Electric – Xcel Energy	Contact.....970-242-2626
Gas – Xcel Energy	Contact.....970-242-2626
Phone – CenturyLink	Contact.....970-244-4311
Cable – Charter Spectrum	Contact.....970-210-2550
Irrigation – Grand Valley Irrigation Company	Contact.....970-242-2762

#### DESIGN TEAM CONTACTS

**OWNER/DEVELOPER:**  
WEST CANYON FRUITA, LLC  
Justin Howell  
PO Box 3669  
Grand Junction, CO 81502  
970.712.1721  
justin@jhowellbuilder.com

**GEOTECHNICAL:**  
HUDDLESTON-BERRY  
ENGINEERING AND TESTING, LLC  
Mike Berry  
2789 Riverside Parkway  
Grand Junction, CO 81505  
970.255.8005  
mberry@huddlestonberry.com

**CIVIL:**  
RIVER CITY CONSULTANTS, INC.  
Ivan Geer  
215 Pitkin Ave, Suite 201  
Grand Junction, CO 81501  
970.241.4722  
igeer@rccwest.com

**LANDSCAPE ARCHITECT:**  
NVISION DESIGN STUDIO, INC.  
Rob Breeden  
677 25 Road  
Grand Junction, CO 81505  
970.210.2155  
rb@nviz.biz

**SURVEY:**  
RIVER CITY CONSULTANTS, INC.  
Alec Thomas  
215 Pitkin Ave, Suite 201  
Grand Junction, CO 81501  
970.241.4722  
athomas@rccwest.com

NO.	DATE	REVISION	BY

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023  
**RIVER CITY CONSULTANTS**  
 115 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rccwest.com Fax: 970.241.4722  
 DRAWN BY: idg PROJECT #: 0208-029  
 CHECKED BY: idg ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Cover Sheet  
 C1



**GENERAL NOTES**

- Notes given here shall apply to all sheets.
- The contractor shall notify the City of Fruita 48 hours prior to the beginning of construction, and shall be responsible for obtaining the necessary permits required to perform construction within City right-of-way. The contractor shall be solely responsible for providing and implementing a traffic control plan for all construction activities in City right-of-way. Contact the public works department at 858-9558 to acquire an excavation in right-of-way permit and to submit a traffic control plan.
- Installation of new improvements, including materials, construction, performance, and testing, shall be in strict accordance with the latest standards and requirements adopted by the City of Fruita. All materials and workmanship shall be subject to inspection by the City of Fruita. The City reserves the right to accept or reject any such materials and workmanship that does not conform to the City of Fruita's standards and specifications.
- Contractor shall familiarize his/herself with the geotechnical testing requirements of the City of Fruita. The results of the required types of tests and numbers of passing tests shall be furnished to the City for verification before final acceptance will be granted. All failing tests shall be brought to the immediate attention of the City engineer or his/her representative, and retests shall be performed until passing results are obtained. All utility lines, including service lines, falling within the public right-of-way or public easements shall be tested.
- Only materials on which a proctor test can be performed, and accurate nuclear density tests can be run, are approved for utility trench backfill unless otherwise approved by the engineer. (Flowable fill is acceptable.)
- It is the responsibility of the contractor to contact the city engineer in advance of required inspections.
- The contractor shall notify the engineer immediately if site conditions are encountered which are different than as shown on these drawings. Contractor shall notify the engineer immediately if site conditions warrant a change in design from that shown on these drawings.
- Alignment, centerline curve data, and stationing to be verified from approved subdivision plat before construction.
- All boundary linework, project control, underground utility locations, and topographic survey data shown hereon was provided by River City Consultants, Inc. Locations of underground utilities as shown hereon are based on visible evidence from above ground structures, markings by the respective utility companies and/or their locator services, and drawings provided by the utility companies. No excavations were made during this survey to determine exact locations and depths of underground utilities and structures. Actual locations may vary from those as shown hereon and additional underground utilities may exist. Existence and locations of all underground utilities and structures should be verified prior to any construction on this property.
- Prior to beginning installation of new underground utilities shown on these drawings, the contractor shall excavate (pothole) existing utilities at all crossing points to verify location and elevation of existing utilities to ensure that the crossing can be made as shown on these drawings.
- No construction work shall be performed outside of the project owner's property boundary except within construction easements, perpetual easements, and right-of-way shown on these drawings. It shall be the sole responsibility of the contractor to obtain legal permission to occupy property other than the project site if the contractor determines that access is required. Any damage to private facilities outside these limits shall be repaired by the contractor at no expense to the owner.
- All road cuts and construction activities within existing road right-of-ways shall be performed in accordance with the requirements of the agency controlling the right-of-way.
- All satisfactory excess excavation from either utility or street construction shall be spread uniformly across the lots as directed by the owner or his/her designated representative. All unsatisfactory or waste material including vegetation, roots, concrete, rocks, or other debris shall be hauled from the project by the contractor. No separate pay.
- It shall be the sole responsibility of the contractor to ensure that all construction work is accomplished in accordance with Occupational Safety and Health administration (OSHA) rules and regulations.
- All quantities shown on these drawings are estimates provided as an aid to bidder/contractor only. Bidder/contractor shall be responsible for scaling drawings to verify quantities prior to bidding.
- The contractor shall be responsible for preparing and permitting the Storm Water Management Plan for discharges associated with construction activity. The contractor shall be responsible for completing and mailing the application, paying the permit fee, preparing the plan, implementing the plan, performing inspections as required and performing all required close out activities. Contact the Colorado Department of Public Health and Environment/Water Quality Control Division at (303) 692-3500 for information regarding the Storm Water Management Plan Program.
- The contractor shall be solely responsible for ensuring that water service lines and fire hydrant leads meet the minimum burial depth established by the accepting agency for installations crossing underneath borrow ditches, drainage ditches, drainage swales, and canals.
- All materials shall be handled and installed in strict accordance with the manufacturer's recommendations.
- Contractor shall have one signed copy of plans at the job site at all times.
- All areas disturbed by construction activities shall be paved, landscaped, or revegetated with a certified weed-free native seed mix appropriate for site soils and conditions. These areas shall be maintained until a vegetative cover of at least 70% of pre-construction conditions exists. If necessary, additional topsoil, seed, mulch, and/or fertilizer should be applied to establish said vegetative cover.
- Proposed electric layout shown on plans for reference only (provided by \_\_\_\_\_ dated DD-Mmm-YYYY). Contractor shall verify conduit size and quantity with utility providers.

**WATERLINE CONSTRUCTION NOTES**

- All water line construction shall be in accordance with the Ute Water District Standards and Specifications.
- Contractor shall notify the District 48 hours PRIOR to the beginning of construction.
- All trenches shall be compacted according to the recommendations in the Geotechnical Report. Contractor shall be required to perform all compaction tests through a certified soils lab.
- Minimum cover required over top of new waterlines is 4'-6" (54 inches).
- All water mains to be DR-18 PVC conforming to AWWA C-900.
- All water mains are to be bedded per City of Fruita Standards.
- All service connections to be 3/4 inch Type "K" copper, unless specified otherwise.
- Ductile iron fittings to conform to AWWA C-110.
- Fire Hydrants shall conform to AWWA C-502.
- All materials, labor and equipment required for testing and disinfection of waterlines shall be furnished by Contractor. Disinfection of waterlines shall conform to Ute Water District Standards.
- All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per the District Details and Technical Specifications.
- Only material on which a proctor test can be performed and accurate nuclear density tests can be run are approved for waterline trench backfill unless otherwise approved by the Engineer.
- All water meter pits shall be located on opposite lot side of dry utility transformers and pedestals. There shall be no dry utility transformers/pedestals located within five feet of any fire hydrant. These are utility/customer/consumer safety issues.
- No privacy fences are to be allowed to enclose meter pits or fire hydrants located within streets & road ROWs and multi-purpose easements.
- Fire hydrant pumper connections shall be equipped with a five inch non-threaded sexless connection (commonly referred to as Storz) and metal cap and can be opened by a standard hex nut hydrant wrench. The two and one half inch butts shall be furnished with National Standard Thread. Pumper connections shall face the street unless directed otherwise by the Fire Chief.
- Domestic water shall not be used for irrigation. Developer must secure irrigation rights/water for irrigation purposes, water taps/meters will not be sold for irrigation of landscaping.
- Water is tied to the parcel it is intended to serve and shall not be conveyed from one parcel to another.

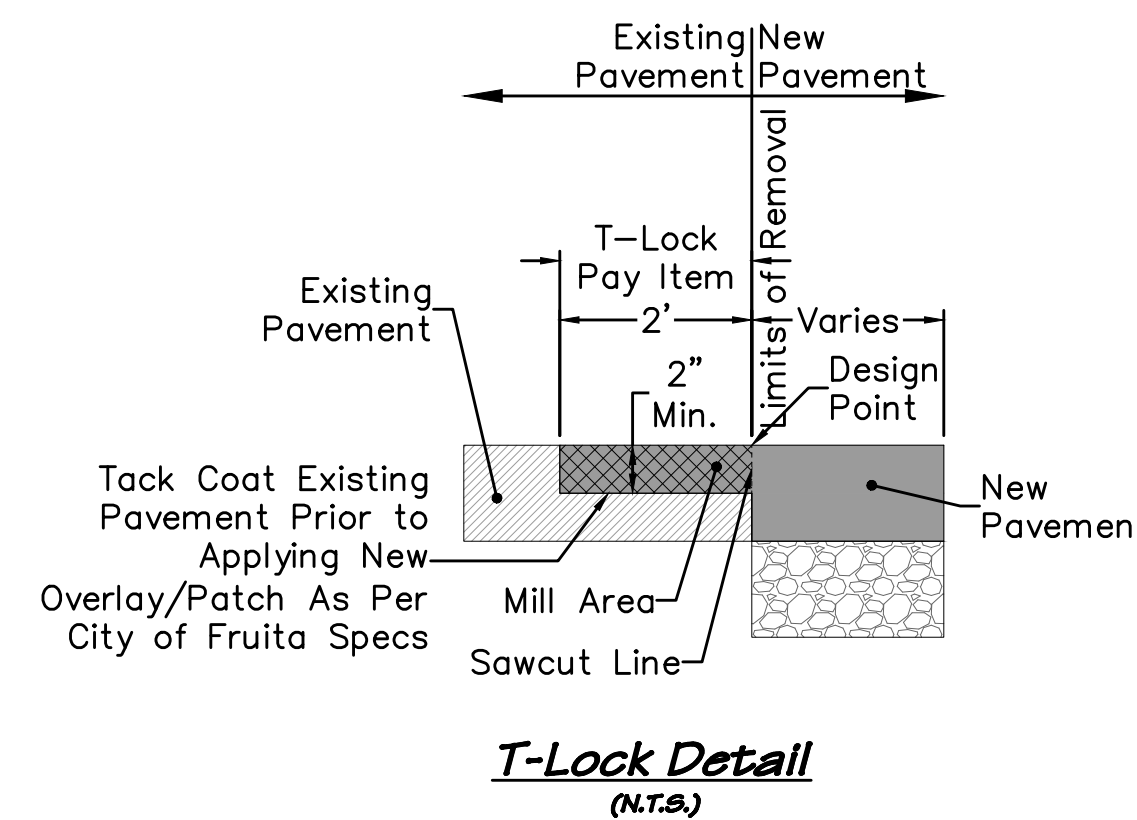
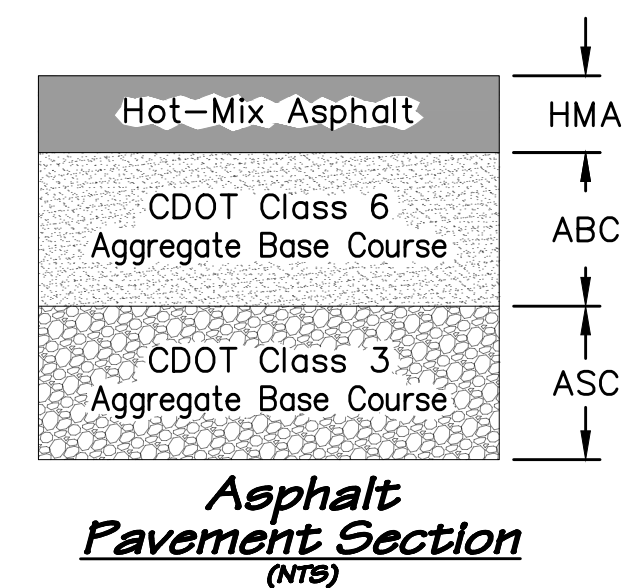
**ROADWAY NOTES**

- Asphalt shall be compacted to 92%-96% of an accepted super pave design (SX-75)
- Prior to paving, and after compaction of road base, the contractor shall proof roll the streets with a full water truck. The proof rolling will be accomplished while an engineering inspector for the City is present. Areas which exhibit pumping detrimental to the structural integrity of the streets as determined by the City's inspector will be addressed by the contractor's material engineer. The street will be re-tested by proof rolling, following repairs.
- Contractor to protect existing utilities and appurtenances. Manholes, curb inlets, utility lines, etc., damaged, covered or filled with dirt or debris by the contractor shall be cleaned and repaired to the City of Fruita's standards, at no expense to the owner.
- The contractor shall protect the surface of all concrete against weather, traffic, graffiti and similar items. Any concrete damaged for any reason shall be repaired by contractor at contractor's expense to meet the City of Fruita's specifications.
- Any concrete curb and gutter, sidewalk, or cross-pan damaged by compaction equipment, during or prior to placing, will be removed and replaced by contractor at contractor's expense.
- Curb, gutter and drainage pans are to have expansion joints at each change in horizontal alignment of curb and gutter, but in no case at a greater distance apart than 200'. Locate control joints between expansion joints at intervals not exceeding 10'.
- Handicap ramps are to be provided at all curb returns and shall be in accordance with the American's With Disabilities Act and City of Fruita Standards.
- Include backing of curb and gutter and/or sidewalk with native fill material per the Typical Roadway Section in the unit price bid for embankment.
- Hot-mix asphaltic concrete to be in accordance with City of Fruita Standards and Specifications. A mix design for the proposed pit must be approved by the engineer prior to placement of pavement.
- Where proposed pavement is to match existing pavement, existing pavement to be square cut for the full base thickness. Existing surface to be tack coated before new asphalt surface is placed. The new asphalt shall match and be flush with existing asphalt edge. No lip or depression will be allowed as tested with a straight edge and shall be repaired by the contractor if the transition exceeds 1/4" per 10' tolerance.
- The finish surface of the asphalt mat must be at least 1/4" above any adjacent concrete surface.
- Traffic signs, control devices, and pavement striping, shall comply with Manual of Uniform Traffic Control Devices (MUTCD)
- Contractor to verify all "Tie-in" grades prior to any construction and shall report any discrepancies to the design engineer.
- Pavement design shall be based upon a geotechnical investigation report prepared by a certified soils lab.
- All general use Portland cement Concrete shall conform to the City of Grand Junction Specification 601 (structural concrete class B). All concrete shall be mixed, place, cured and tested in accordance with City of Fruita street construction specifications. All structural work shall be CDOT Standards Specifications Table 601-1 Class D, unless otherwise noted.
- All concrete work within public right-of-way shall be performed by a licensed curb, gutter and sidewalk contractor. A permit is required at each site where concrete is removed, altered or placed.
- All concrete ramps, sidewalks, curbs, gutters and other concrete work shall be underlaid with aggregate base course (class 6) compacted to at least 95% AASHTO T-180 maximum density. See details for base thickness. The top 6" of subgrade under all concrete shall be compacted to at least 95% of AASHTO T-99 maximum density. All saturated or unsuitable subgrade material shall be removed and replaced.
- Any existing pavement not designated for removal which is damaged by construction shall be replaced in-kind by contractor.
- Drawing indicates typical section only. Conditions and/or obstructions may necessitate variations or repositioning. All locations shall be approved on an individual basis by the city engineer or his/her representative.
- Accessible curb ramps at intersections shall be aligned with street crosswalks.
- An approved curing/sealing compound shall be applied to all exposed concrete surface immediately after finishing (refer to section 5.6(B)).
- All concrete shall be protected from freezing for 5 days after being placed. No concrete shall be placed on frozen ground.
- Minimum spacing between joints in curb, gutter & sidewalk is 5'. Maximum spacing is 10'.
- Water shall not be added to concrete surfaces during finishing operations.
- The surface of all accessible ramps and flared sides shall be finished with a course broomed texture perpendicular to the slope of the ramp.
- All handicap ramps, parking stalls and landings shall conform to the Uniform Federal Accessibility Standards (UFAS), latest edition.
- Where proposed pavement is to match existing pavement, sawcut the existing pavement 1 foot back from the existing edge of and remove pavement. From the sawcut line, mill existing pavement half existing pavement depth (or a minimum of 2 inches), a width of 2 feet. Existing surface is to be tack-coated before new pavement is placed. See T-Lock detail, this sheet.
- For site specific geotechnical requirements and recommendations, see the referenced geotechnical report which shall supercede all other geotechnical references:

Huddleston-Berry Engineering & Testing, LLC  
 Geotechnical and Geological Hazards Investigation  
 18 Road and K Road  
 Fruita, Colorado  
 Project #01326-0027  
 October 12, 2023

Pavement Section Table*				
Pavement Section Option	Material (inches)			
	HMA	ABC	ASC	Concrete Pavement
Option A	3	15	0	
Option B	4	12	0	
Option C	3	6	13	
Rigid Pavement		6		8

\*Refer to Geotechnical Investigation for more details



ACCEPTANCE BLOCK ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE	
Ute Water District Representative	Date
ACCEPTANCE BLOCK <small>The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.</small>	
City Development Engineer	Date

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

PROJECT PHASE: Preliminary/Review		DATE ISSUED: 01.DEC.2023	
NO.	DATE	REVISION	BY

P R E L I M I N A R Y

S:\PROJECTS\0208 John\_Thomas\_Dave\_Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Cover.dwg [Notes] 12/3/2023 8:40:40 PM

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: ksc PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**

*West Canyon*

General Notes  
 [1 of 2]

C2



**SANITARY SEWER CONSTRUCTION NOTES**

- All sewer line construction shall conform to the City of Fruita's standards and specifications.
- All sanitary sewer pipe shall be PVC SDR-35, unless otherwise specified. All pipe joints shall be 13' joints unless otherwise approved by the city engineer.
- All sewer mains shall be laid to grade utilizing a pipe laser.
- All service line connections to the new main shall be accomplished with full-body wyes or tees. tapping saddles will not be allowed.
- All trenches shall be compacted and backfilled per Standard Trench Detail (see City of Fruita Details). Contractor shall be required to perform all necessary compaction tests through a certified soils lab.
- A minimum 10' separation shall be maintained at all times between water lines and sewer lines (except at specified crossings).
- Sewer service stub-outs shall extend 14' beyond the property line, or through front lot easements, whichever is greater, and shall be glue-capped and marked with a 2"x4" post painted green and buried so that 3' remains above grade. As-built surveying for vertical grade of stub-out required prior to backfill.
- No service lines shall be connected directly into manholes unless otherwise approved by the city engineer.
- The contractor is responsible for all required sewer line testing to be completed in the presence of the city engineer, or their representative. Final acceptance is to be accomplished only after all other infrastructure has been installed. This includes water lines, gas lines, electric lines, etc. Video inspection and air testing will be performed after all compaction of street subgrade and prior to street paving. Final manhole inspection will also be accomplished after paving is completed to insure that the line is clean. These tests will be the basis for issuing initial acceptance of the sewer line extension.
- Manholes shall be constructed as shown on the City of Fruita Sanitary Sewer Standard Detail Sheet.
- Water stopgaskets and clamp assemblies are to be furnished and installed at all connections to manholes.
- When installing manholes over existing sewer lines, contractor is to expose existing sanitary sewer main to allow the engineer to field verify existing pipe inverts prior to construction of manholes and adjust the invert elevations, if required. The contractor shall place type "A" bedding material and pour the base of the manhole and complete the manhole as per the City of Fruita's Sanitary Sewer Standard Details. The contractor at the time can notch out or cut the existing pipe out to the spring line of the pipe. The contractor shall control all live sewage flow and shall not allow debris from the cutting other work to enter the existing pipeline while the work is being done. The contractor shall advise the City when the concrete base will be placed so that a representative of the City may be present.
- Pipe-to-manhole connector: Pipe-to-manhole connectors shall be manufactured with rubber conforming to ASTM C-923. All metal components shall be stainless steel.
- Steel paving rings are not allowed for grade adjustment, unless otherwise approved by the city engineer. The space between concrete grade rings shall be sealed with a bitumastic sealant no greater than 3/8" thick.
- All residential sanitary sewer services are to be 4"Ø PVC SDR-35, unless otherwise specified.
- A minimum of one clay cut-off wall is to be installed upstream of each manhole to prevent groundwater flow through the pipe bedding material.
- Manhole spacing requirements:
 

Pipe Ø	Manhole Spacing
15" or smaller	400'
18" or larger	500'
- Maximum change in direction in manholes for lines 18" and larger shall be 45°.
- Sewer lines shall be straight and not curved between manholes, both in line and in grade.
- The minimum cover for sewer main is typically 4' (top of pipe to finished grade), unless shown otherwise on the drawings. Where cover is less than 2' from top of sewer pipe to bottom of roadway base course, flowable fill concrete shall be used as backfill.
- Concrete shall be City of Grand Junction Specifications, Section 601-Structural Concrete Class B.
- All cement used in mortar, concrete bases, grade rings, riser sections, cones, and flat tops, for sanitary sewer manholes, shall be Type V or modified Type II Portland Cement with less than 5% Tricalcium Aluminate.
- Manhole riser sections, cones, flat tops, and grade rings shall be precast reinforced concrete conforming to ASTM C-478 or AASHTO M-199.
- Backfill around manholes and other structures shall be placed in 8" max. lifts and compacted to 95% AASHTO T-99.
- All work shall be in accordance with approved plans and specifications.
- Manhole cone and flat top sections shall be positioned such that the manhole ring and cover are offset 20'-30' from the upstream main sewer line into the manhole.
- Manhole steps shall be installed in vertical alignment with the ring and cover.
- Manhole ring and cover can be set to finished grade, using non-shrink grout to adjust ring elevation. Grout shall not exceed .15ft. thickness and shall have a finish coat of epoxy applied to all grout surfaces exposed to the interior of the manhole. Epoxy top coat requirement may be deleted, provided non-shrink grout is installed in accordance with manufacturer's recommendations and instructions and is acceptable to the engineer.

**IRRIGATION CONSTRUCTION NOTES**

- Installation of all irrigation pipelines, facilities, and related appurtenances shall be constructed in accordance with USDA-NRCS and City of Fruita details and specifications
- 4" and larger irrigation lines are to be constructed of bell and spigot Class 200 PVC.
- 2" irrigation main lines are to be constructed of Class 200 PVC. 2" irrigation service lines are to be constructed of class 160 PVC.
- Pump connection risers will be constructed of Schedule 40 PVC.
- Grades and elevations are noted only where the natural ground slope is insufficient to insure free draining. Take care to insure that no high or low points are created such that the lines will not freely drain.
- Angles in irrigation lines are to be constructed and thrust blocked in the same manner as potable water lines.
- Backfilling of irrigation trenches shall be in accordance with the Standard Trench Detail (See City of Fruita details).
- All valves are to be standard brass potable water globe valve with cast iron valve boxes.
- All irrigation lines are to have a minimum of 2' bury (to top of pipe).

**STORMWATER NOTES**

- The contractor shall notify Grand Junction Drainage District and/or City of Fruita 24 hours prior to commencing construction of the respective utilities and roadway (if applicable).
- All storm sewer construction shall be in accordance with City of Fruita Standards and Specifications and Grand Junction Drainage District Standards and Specifications, if applicable.
- Steel frames for all curb inlets and area inlets shall be grouted to the concrete box.
- All storm sewer trench backfill shall conform to the Standard Trench Detail (see City of Fruita Details). Contractor shall be required to perform all necessary compaction tests through a certified soils lab.
- Contractor to verify all "Tie-In" grades prior to any construction.
- All High Density Polyethylene (HDPE) pipe and fittings up to and including 24"Ø to be the following:
  - Hancor Sure-Lok or engineer approved equal.
  - All storm drain pipe larger than 24"Ø shall be reinforced concrete.
- Reinforced concrete pipe shall be a minimum of Class II and conform to the following ASTM designations:
  - A. Storm Drain and Sewer Pipe, ASTM C-76
  - B. Low-Head, ASTM C-361
  - C. Precast Manhole Sections, ASTM C-478
  - D. Arch Pipe, ASTM C-507
  - E. Elliptical Pipe, ESTM C-507
  - F. Joints, Using Rubber Gaskets, ASTM C-443
- Testing of materials to determine compliance with the specifications shall be the responsibility of the contractor. Two certified copies of the test results indicating compliance shall be furnished for each lot or shipment prior to installation of the material. Reinforced concrete pipe shall be tested for strength by the Three-Edge Bearing Test to produce a crack of .01". Each manufacturer furnishing pipe under these specifications shall be fully equipped to carry out the tests described in ASTM C-497. Failure of any pipe to meet the test requirements shall be sufficient cause for rejection of all pipe of that size which the test specimen represents.
- Pipe damage during shipment or handling may be rejected even if previously approved.
- At all time during construction, erosion and sediment control shall be maintained by the developer or their designated representative.
- Erosion control system shall be installed as grading progresses.
- Erosion bales shall be straw or hay, depending on availability.
- Erosion bales shall be placed to avoid runoff flowing between, round or under bales. Bales shall be anchored with 2"x2"x4' wooden stakes or #4 reinforcing bars, two per bale (see Erosion Control Detail Sheet for further instructions.)
- Negative Impacts to downstream areas (or receiving waters) caused by the overlot grading to be monitored and corrected by the Developer.
- Mulch shall be applied to achieve a stubbled surface to the designated areas to prevent dust and aid in limiting wind erosion. Contractor shall have a water truck made available to assist in controlling dust and wind erosion.
- Construction traffic entrances shall have an aggregate staging pad installed per Erosion Control Details.
- Details shown are schematic only. Adjust as necessary to fit field conditions.
- Concrete shall conform to the City of Grand Junction Specifications 601 (Structural Concrete Class B)
- Any existing pavement not designated for removal which is damaged by construction shall be replaced in-kind by the Contractor.
- Manhole riser sections, cones, flat tops, and grade rings shall be precast reinforced concrete conforming to ASTM C-478 or AASHTO M-199.
- Backfill around manholes, inlet boxes and other structures shall be placed in 8" lifts and compacted to 95% AASHTO T-99.
- All work shall be in accordance with approved plans and specifications.
- All concrete work within public right-of-way shall be performed by a licensed curb, gutter and sidewalk contractor.
- Manhole steps shall be installed in vertical alignment with the ring and cover.
- All cement used in mortar, concrete bases, grade rings, riser section, cones and flat tops for storm sewer manholes, shall be Type V or modified Type II Portland Cement with less than 5% Tricalcium Aluminate.
- All storm sewer manhole lids shall be designated "Storm Sewer"
- Manhole ring and cover can be set to finished grade, using non-shrink grout to adjust ring elevation. Grout shall not exceed .15ft. thickness. Grout shall be placed only under the cast iron ring. No grout shall be placed between concrete grade rings.
- Steel paving rings are not allowed for grade adjustment, unless otherwise approved by the city engineer.

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

NO.	DATE	REVISION	BY

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Cover.dwg [Notes (2)] 12/3/2023 8:40:41 PM

**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: ksc PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
*West Canyon*  
 General Notes  
 [2 of 2]

**C3**



**LEGEND**

- Toe of Slope
- Top of Slope
- Edge of Water
- 100-YR Flood Limits
- 500-YR Flood Limits
- Floodway Limits
- Edge of Wetlands
- Tree Mass Area
- Edge of Asphalt
- Edge of Concrete
- Edge of Gravel
- Flowline
- Railroad
- Building
- Building Overhang
- Wire Fence
- Chain Fence
- Gate
- Wood Fence
- Guardrail
- Existing Major Contour
- Existing Minor Contour
- Existing Cable TV
- Existing Comm Duct
- Existing Electric
- Existing Fiber Optic
- Existing Gas
- Existing Irrigation
- Existing Overhead Electric
- Existing Overhead Telephone
- Existing Storm Drain
- Existing Sanitary Sewer
- Existing Sewer Force Main
- Existing Telephone
- Existing Unknown Utility
- Existing Water
- Cut Extents
- Fill Extents
- Proposed Demolition or Removal
- Drainage Flowline
- Proposed Parcel Boundary
- Proposed Easement
- Proposed Lot Line
- Proposed Right of Way
- Proposed Setback
- Proposed Tract
- Proposed Striping
- Milling Limits
- Sawcut Line
- Proposed Major Contour
- Proposed Minor Contour
- Common Utilities
- Irrigation Line
- Irrigation Service Line
- Storm Drain Line (with Flow Direction)
- Sanitary Sewer Line (with Flow Direction)
- Sanitary Sewer Force Main Line
- Sanitary Sewer Service Line
- Water Line
- Water Service Line

- Existing Manhole
- Existing Manhole
- Existing Manhole
- Existing Manhole
- Existing Manhole
- Existing Manhole
- Existing Manhole
- Existing Manhole
- Proposed Manhole
- Proposed Manhole
- Proposed Manhole
- Proposed Manhole
- Proposed Services
- Proposed Services
- Proposed Services
- Cleanouts
- Cleanouts
- Inlets
- Fire Hydrant/Blowoff/Meter
- Well/Yard Hydrant/Box
- Valve/Cap/Thrust Block
- Box/Pump/Valve
- Roof Drain/Vent Pipe/Pedestal
- Utility Boxes
- Utility Pedestals
- Meters
- Utility Marker/Transformer/Valve
- Monitor Well/Borehole/Pothole
- Decid Tree/Conif Tree/Shrub
- Utility Pole/Guy Wire/Guy Pole
- Intersection Sign/Sign/Delineator
- Bollard/Light/Mailbox
- Proposed Asphalt
- Proposed Concrete
- Proposed Gravel
- Proposed Building
- Proposed Demolition/Removal
- Proposed Milling
- Proposed Riprap
- Proposed Vegetation
- Proposed Wall
- Proposed Truncated Domes
- Proposed CGS (Catch/Spill)
- Traffic Flow Direction

**LIST OF ABBREVIATIONS**

- ABC Aggregate Base Course
- AC Acre
- ADJ Adjacent
- BFS Begin Full Superelevation
- BLDG Building
- BLM Bureau of Land Management
- BM Benchmark
- BNC Begin Normal Crown
- BOC Back of Curb
- BOW Back of Walk
- BVCE Beginning Vertical Curve Elevation
- BVCS Beginning Vertical Curve Station
- CBC Concrete Box Culvert
- CDOT Colorado Department of Transportation
- CDS Cul-de-sac
- CGS Curb, Gutter & Sidewalk
- CL Center Line OR Class
- CMP Corrugated Metal Pipe
- CoGJ City of Grand Junction
- CY Cubic Yard
- DRNG Drainage
- E Easting Coordinate
- EA Each
- EFS End Full Superelevation
- EGTC Electric, Gas, Telephone, Cable
- EL Elevation
- ELEC Electric
- ELEV Elevation
- ENC End Normal Crown
- EOA Edge of Asphalt
- EOP Edge of Pavement
- ER End of Radius
- ESMT Easement
- EVCE End of Vertical Curve Elevation
- EVCS End of Vertical Curve Station
- EX Existing
- FAC Facility
- FDC Fire Department Connection
- FES Flared End Section
- FFE Finished Floor Elevation
- FG Finished Grade
- FH Fire Hydrant
- FL Flow Line
- GB Grade Break
- GCE General Common Element
- GV Gate Valve
- HDPE High Density Polyethylene
- HOA Home Owners Association
- HP High Point
- INC Incorporated
- INV Invert
- IRR Irrigation
- K Design Coefficient
- L Length
- LC Level Crown
- LF Linear Feet
- LP Low Point
- LS Lump Sum
- LVC Length of Vertical Curve
- MAX Maximum
- MC&G Mountable Curb & Gutter
- MCGS Mountable Curb, Gutter, & Sidewalk
- MCSM Mesa County Survey Marker
- MDS Maximum Design Speed
- ME Match Existing
- MH Manhole
- MIN Minimum
- MPE Multi-Purpose Easement
- MTR Meter
- MUTCD Manual on Uniform Traffic Control Devices
- N Northing Coordinate
- NO Number
- NTS Not to Scale
- OC On Center
- PC Point of Curvature
- PCC Point of Compound Curvature
- PI Point of Intersection
- PIP Plastic Irrigation Pipe
- PL Property Line
- PLS Professional Licensed Surveyor
- PR Proposed
- PRC Point of Reverse Curvature
- PRELIM Preliminary
- PT Point of Tangency
- PVC Polyvinyl Chloride
- PVI Point of Vertical Intersection
- R Radius
- RC Reverse Crown
- RCC River City Consultants, Inc.
- RCP Reinforced Concrete Pipe
- REC Reception
- REQ'D Required
- RIM Rim Elevation
- RoW Right of Way
- SAN Sanitary Sewer
- SDMH Storm Drain Manhole
- SF Square Feet
- SF-A Single Family Attached
- SH State Highway
- SHLDR Shoulder
- SS Sanitary Sewer
- SSMH Sanitary Sewer Manhole
- STA Station
- STR Structure
- STRM Storm Drain
- SVC Service
- SY Square Yard
- TAN Length of Tangent
- TBC Top Back Curb
- TCE Temporary Construction Easement
- TFC Top Face Curb
- TOC Top of Curb
- TOP Top of Pipe
- TW Top of Wall
- TYP Typical
- UNO Unless Noted Otherwise
- VC&G Vertical Curb & Gutter
- VCGS Vertical Curb, Gutter, & Sidewalk
- VC Vertical Curve
- VPC Vertical Point of Curvature
- VPI Vertical Point of Intersection
- VPT Vertical Point of Tangency
- WM Water Meter
- WSEL Water Surface Elevation
- WQCV Water Quality Capture Volume
- WTR Water
- Δ Central Angle (Delta)

**BASIS OF BEARINGS**

The bearings hereon are based on grid north of the Mesa County Local Coordinate System (Zone "GVA").

**MCLCS ZONE "GVA"**

TRANSVERSE MERCATOR PROJECTION  
 Point of Origin (SN01) and Central Meridian:  
 Latitude: 39°06'22.72756"N  
 Longitude: 108°32'01.43463"W  
 Northing: 50,000FT  
 Easting: 100,000FT  
 Scale Factor: 1.000218181798  
 Project/Scale Factor Height: 4644FT(NAVD88)

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**UNCC**  
 811  
 Know what's below.  
 Call before you dig.  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

PROJECT PHASE: Preliminary/Review		DATE ISSUED: 01.DEC.2023	
NO.	DATE	REVISION	BY

PRELIMINARY

S:\PROJECTS\0208 John\_Thomas\_Dave\_Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Cover.dwg [Legend] 12/3/2023 8:40:43 PM

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: jdg PROJECT: 0208-029  
 CHECKED BY: idg

ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**

*West Canyon*

Legend & Abbreviations

C4



**ZONING SUMMARY**

Zoning: CR  
 Min Lot Size: 3,500 SF  
 Min Lot Width: 40 FT  
 Min Lot Frontage: 20 FT  
 Min Setbacks  
 Front: 20 FT \*  
 Rear: 15 FT  
 Side: 5 FT  
 Max Height (Building): 35 FT  
 Max Height (Accessory): 16 FT  
 Max Lot Coverage: 60%  
 Max Building Size: N/A

\* 25 feet for all facades with a garage opening facing the street and 20 feet for elevations other than a garage opening.

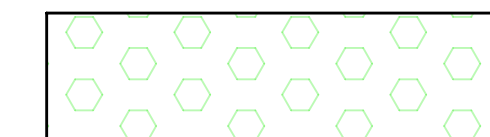
**UTILITY PROVIDERS**

Water	Ute Water
Sewer	City of Fruita
Electric	Xcel Energy
Gas	Xcel Energy
Telephone	CenturyLink
Cable	Charter Spectrum
Irrigation	Grand Valley Irrigation Co
Drainage	Grand Valley Drainage Dist. (North)
Fire	City of Fruita (West) Lower Valley Fire District

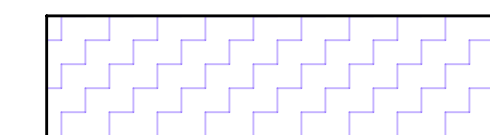
**LOT BREAKDOWN**

Phase One	27 Lots
Phase Two	23 Lots
<b>Total</b>	<b>50 Lots</b>

**Phase One**



**Phase Two**



**Site Breakdown**

Lots	(50)	6.17 ac	67.73 %
Tract A (Landscape)	0.03 ac	0.33 %	
Tract B (Landscape)	0.07 ac	0.77 %	
Tract C (Drainage & Irrigation)	0.38 ac	4.17 %	
Tract D (Landscape)	0.02 ac	0.22 %	
Tract E (Pedestrian)	0.03 ac	0.33 %	
Tract F (Pedestrian)	0.05 ac	0.55 %	
Tract G (Pedestrian)	0.05 ac	0.55 %	
Right of Way (Overall)	2.31 ac	25.35 %	
<b>Total (Overall)</b>	<b>9.11 ac</b>	<b>100.00 %</b>	

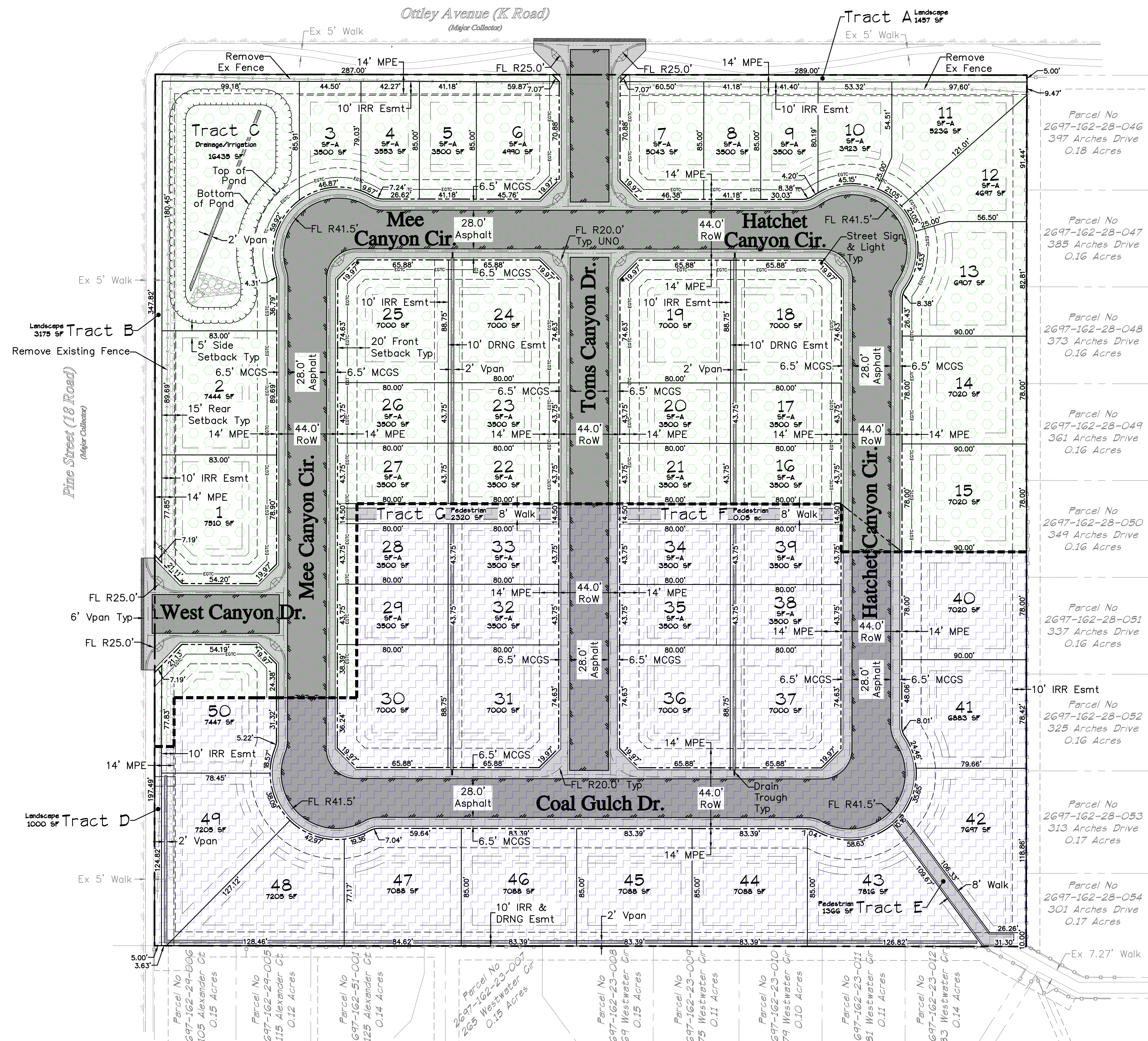
**NOTES:**

- Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
- This project is not affected by any previously mapped floodplain as shown on FEMA FIRM Map 08077C0436F & 08077C0437F

**ACCEPTANCE BLOCK**

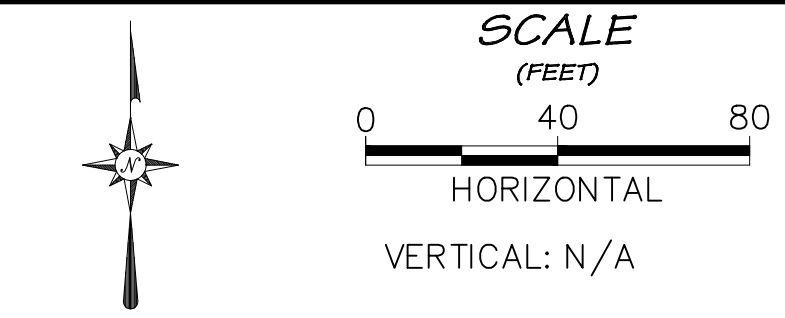
The City of Fruita reviews general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_



**811**  
 UNCC  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

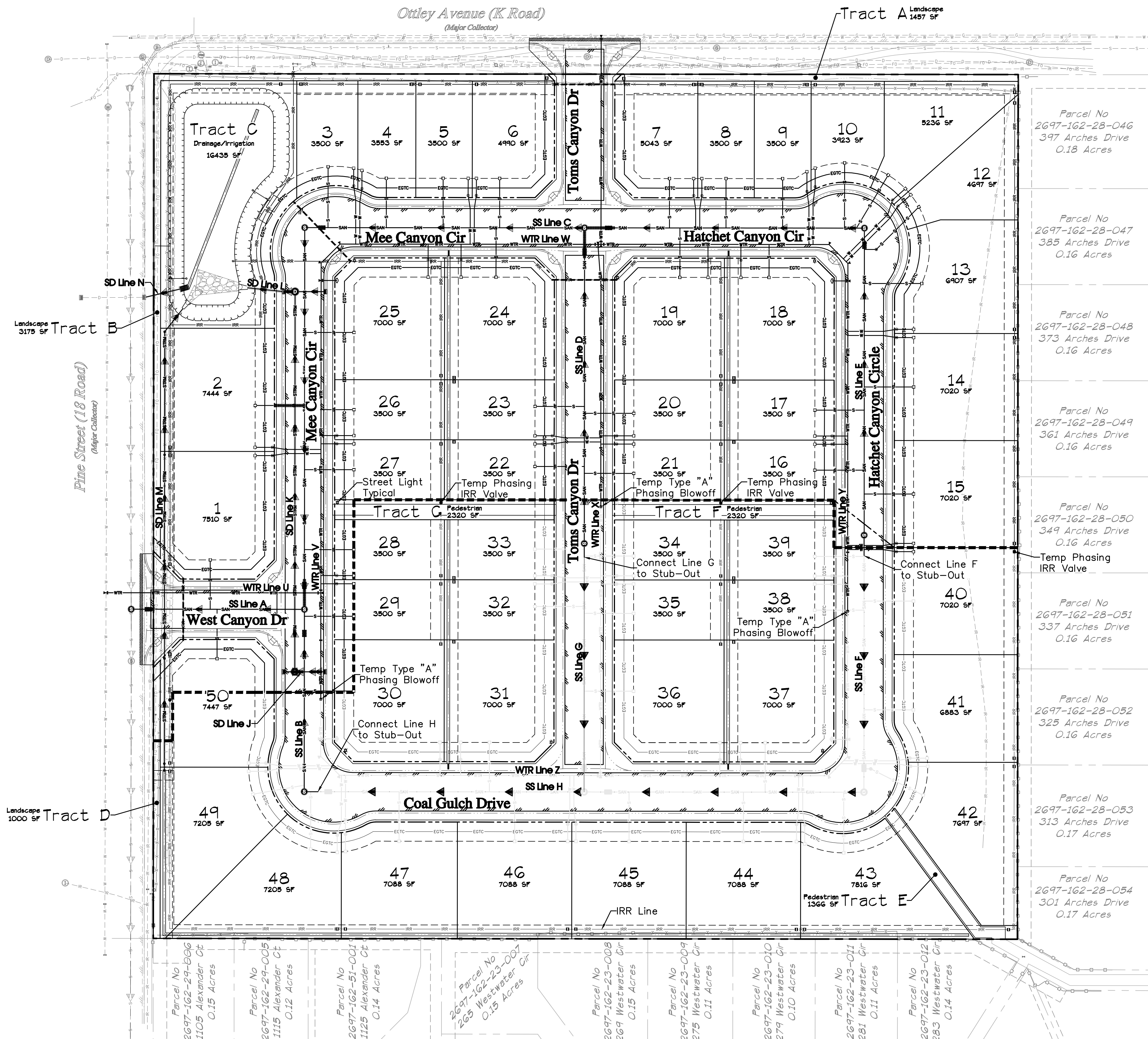


PROJECT PHASE: Preliminary/Review		DATE ISSUED: 01.DEC.2023	
NO.	DATE	REVISION	BY

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201  
 Grand Junction, CO 81501  
 Phone: 970.241.4722  
 Fax: 970.241.8841  
 www.rcwest.com  
 DRAWN BY: jg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Preliminary Plans  
 Site Plan  
 C5



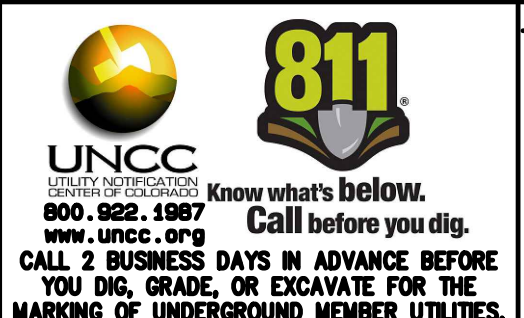


UTILITY PROVIDERS	
Water	Ute Water
Sewer	City of Fruita
Electric	Xcel Energy
Gas	Xcel Energy
Telephone	CenturyLink
Cable	Charter Spectrum
Irrigation	Grand Valley Irrigation Co
Drainage	Grand Valley Drainage Dist. (North)
	City of Fruita (West)
Fire	Lower Valley Fire District

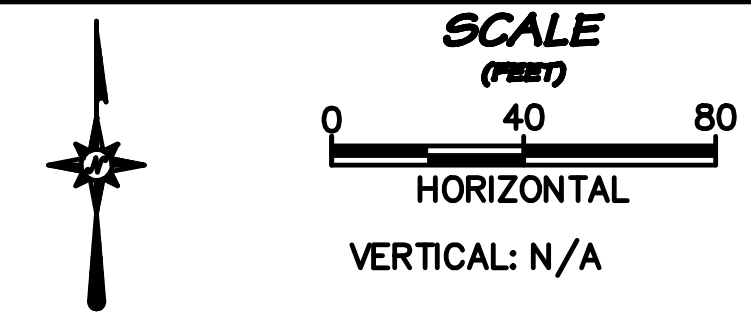
UTILITY SHEETS	
SS Line A.....	Sheet C19
SS Line B.....	Sheet C20
SS Line C.....	Sheet C21
SS Line D & E.....	Sheet C22
SS Line F.....	Phase 2
SS Line G.....	Phase 2
SS Line H.....	Phase 2
SD Line K.....	Sheet C23
SD Line J, L & N....	Sheet C24
SD Line M.....	Sheet C25
WTR Line U.....	Sheet C26
WTR Line V.....	Sheet C27 & Phase 2
WTR Line W.....	Sheet C28
WTR Line X.....	Sheet C29 & Phase 2
WTR Line Y.....	Sheet C30 & Phase 2
WTR Line Z.....	Phase 2
Irrigation.....	Sheets IR1-IR5

**Note:**  
Transition from Phase 1 Utilities to Phase 2 Utilities occurs at temporary phasing structures & at end of sanitary sewer stub-out pipes.

**ACCEPTANCE BLOCK**  
The City of Fruita reviews general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.



**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

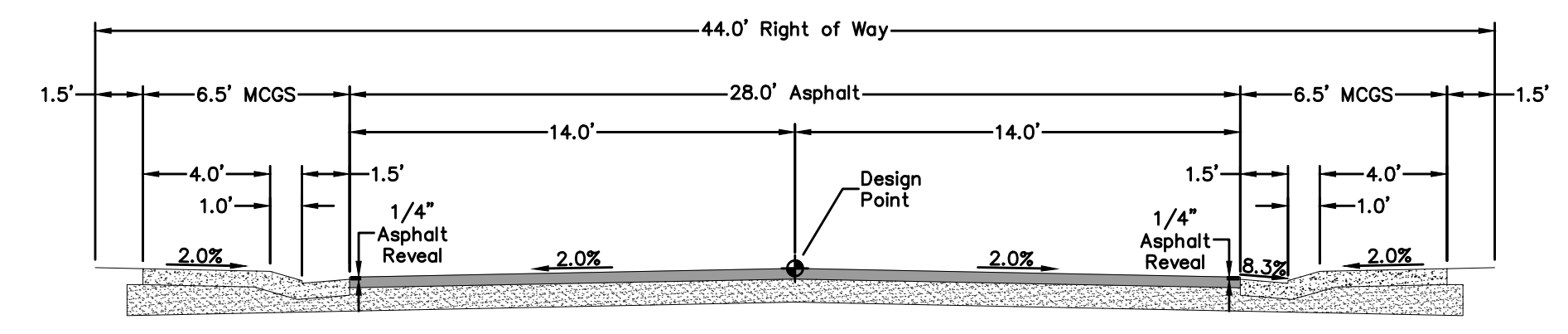
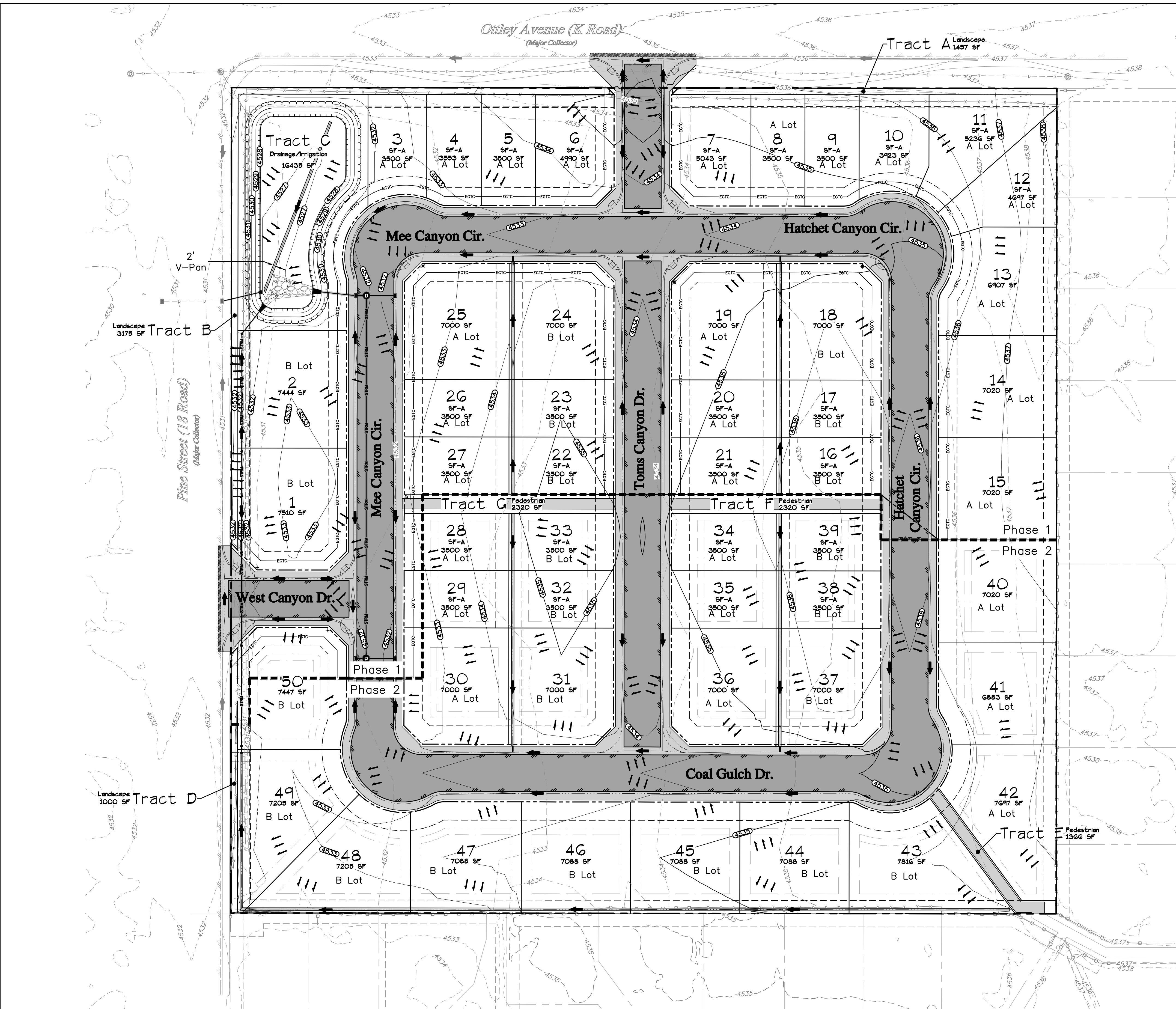


PROJECT PHASE: Preliminary/Review		DATE ISSUED: 01.DEC.2023	
NO.	DATE	REVISION	BY

**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8941  
DRAWN BY: idg PROJECT: 0208-029  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
*West Canyon*  
Preliminary Plans  
Utility Composite

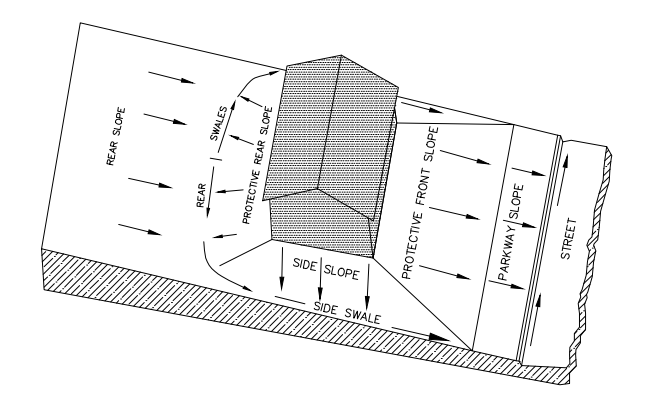




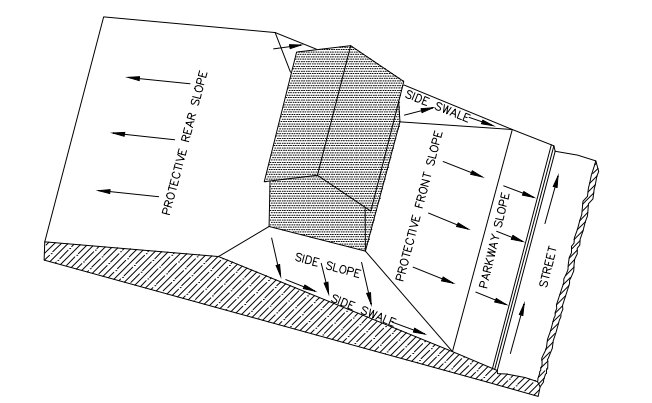
**Typical Road Section**  
(N178)

**FLOW ARROW LEGEND**

- ➔ Existing Concentrated Flow
- ||| Existing Sheet Flow
- ▶ Existing Utility Pipe Flow Direction
- ➔ Proposed Concentrated Flow
- ||| Proposed Sheet Flow
- ▶ Proposed Utility Pipe Flow Direction



**LOT GRADING - TYPE A**  
ALL DRAINAGE TO STREET



**LOT GRADING - TYPE B**  
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE

**NOTES:**

1. Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
2. This project is not affected by any previously mapped floodplain as shown on FEMA FIRM Map 08077C0436F & 08077C0437F

**ACCEPTANCE BLOCK**  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
UNCC  
Know what's below.  
Call before you dig.  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
(FEET)  
0 40 80  
HORIZONTAL  
VERTICAL: N/A

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Grading Plan Overall.dwg [Grading Plan] 12/3/2023 8:30:11 PM

**PRELIMINARY**

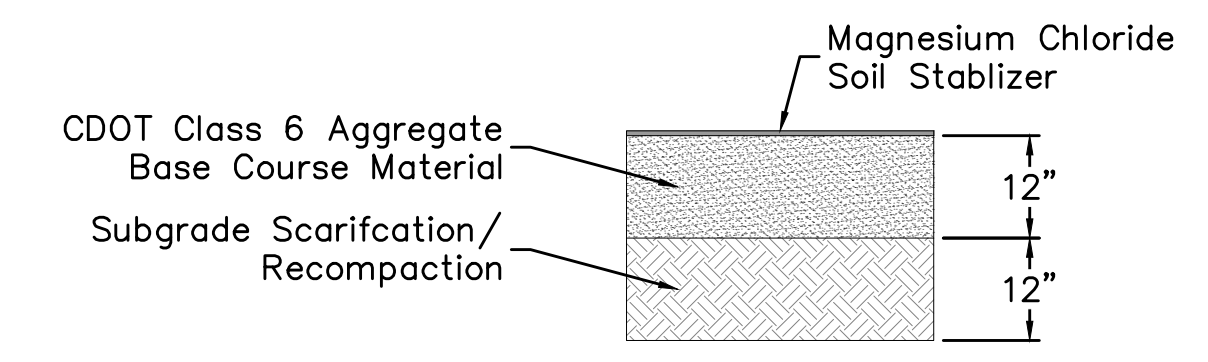
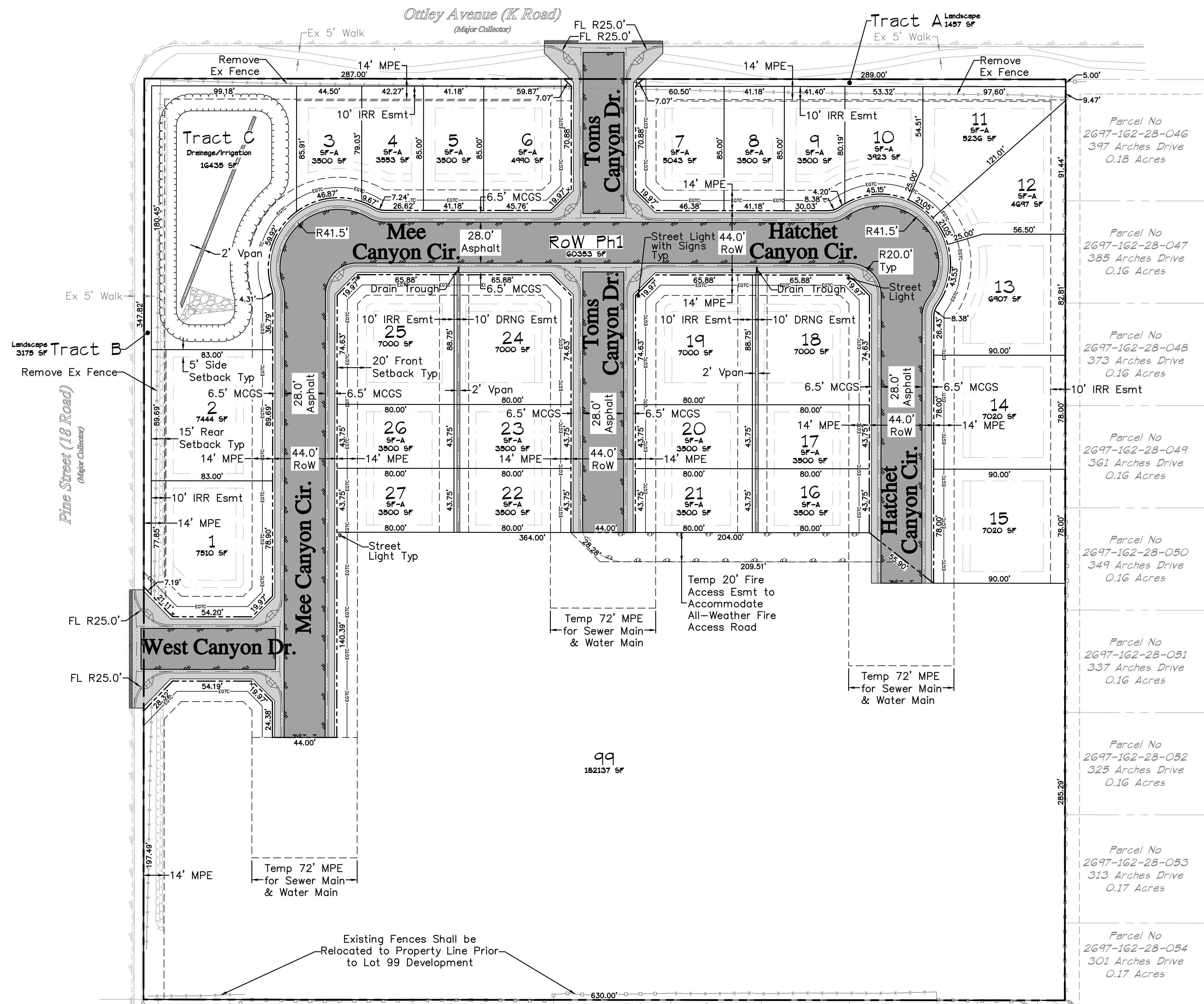
**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: idg PROJECT: 0208-029  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
West Canyon  
Preliminary Plans  
Grading Plan

C7





**All-Weather Fire Access Gravel-Pavement Section**  
(NTP)

**ZONING SUMMARY**

Zoning: CR  
 Min Lot Size: 3,500 SF  
 Min Lot Width: 40 FT  
 Min Lot Frontage: 20 FT  
 Min Setbacks  
 Front: 20 FT \*  
 Rear: 15 FT  
 Side: 5 FT  
 Max Height (Building): 35 FT  
 Max Height (Stories): 16 FT  
 Max Lot Coverage: 60%  
 Max Building Size: N/A

\* 25 feet for all facades with a garage opening facing the street and 20 feet for elevations other than a garage opening.

**UTILITY PROVIDERS**

Water	Ute Water
Sewer	City of Fruita
Electric	Xcel Energy
Gas	Xcel Energy
Telephone	CenturyLink
Cable	Charter Spectrum
Irrigation	Grand Valley Irrigation Co
Drainage	Grand Valley Drainage Dist. (North)
	City of Fruita (West)
Fire	Lower Valley Fire District

**SITE BREAKDOWN**

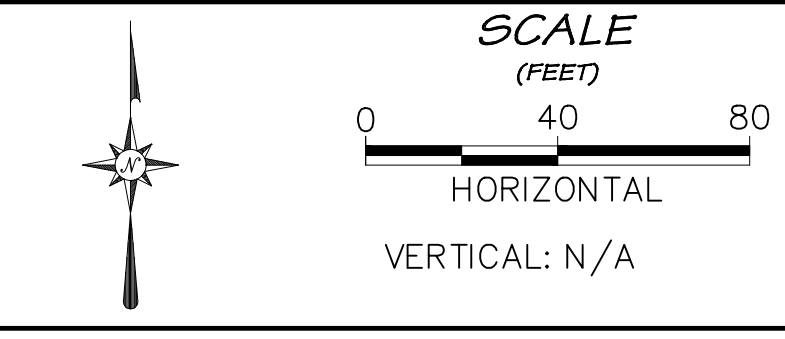
Lots (28)	7.24 ac	79.47%
Tract A (Landscape)	0.03 ac	0.33%
Tract B (Landscape)	0.07 ac	0.77%
Tract C (Drainage & Irrigation)	0.38 ac	4.17%
Right of Way (Ph1)	1.39 ac	15.26%
<b>Total</b>	<b>9.11 ac</b>	<b>100.00%</b>

- NOTES:**
- Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
  - This project is not affected by any previously mapped floodplain as shown on FEMA FIRM Map 08077C0436F & 08077C0437F

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



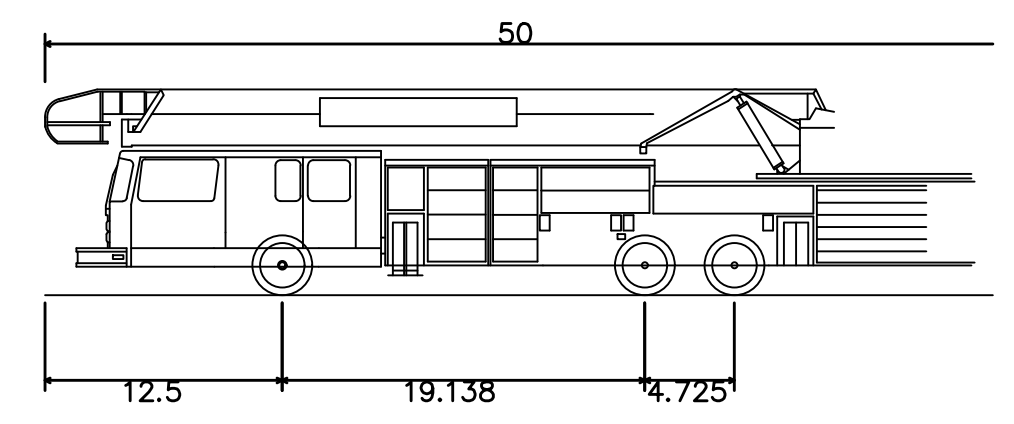
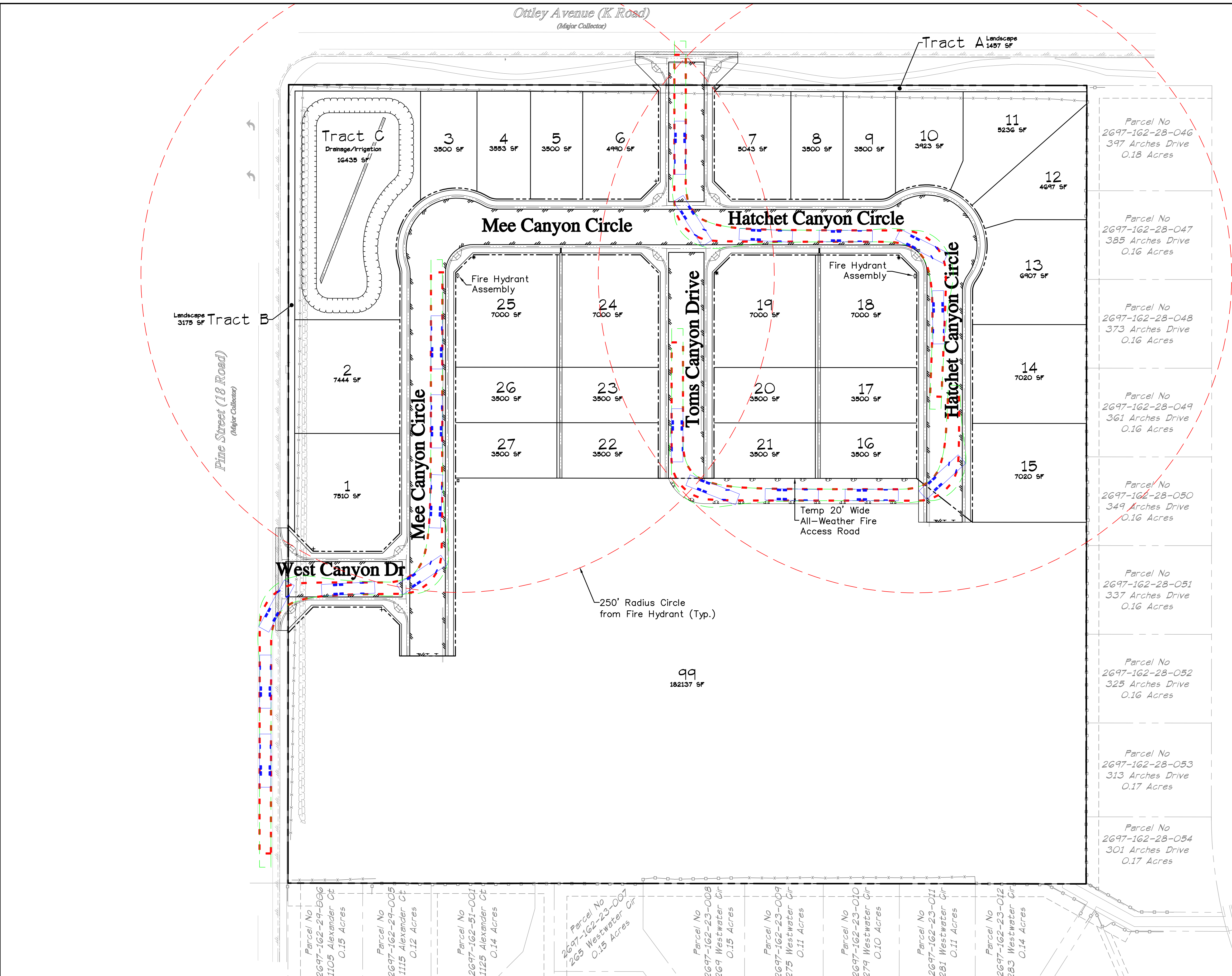
PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

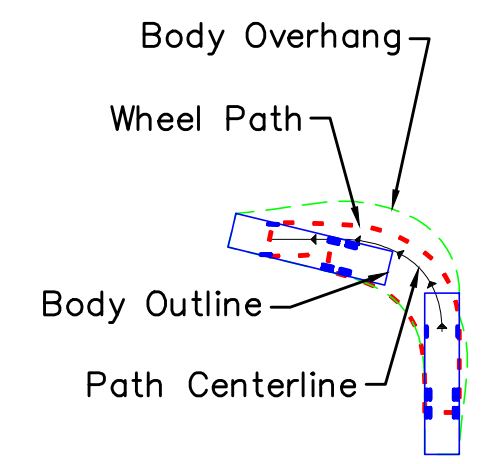
**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841  
 DRAWN BY: id PROJECT: 0208-029  
 CHECKED BY: id  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Site Plan Phase 1  
 City Development Engineer Date  
 C8



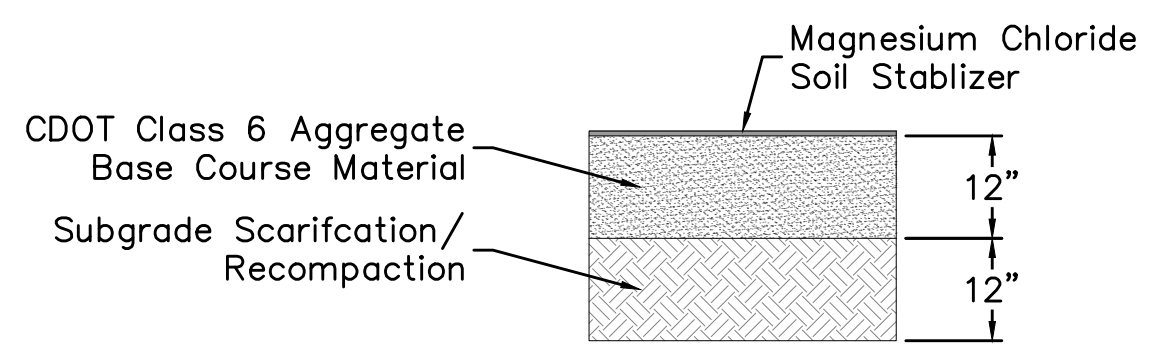


FD-Truck1	
Overall Length	42.000ft
Overall Width	9.000ft
Overall Body Height	10.851ft
Min Body Ground Clearance	1.037ft
Track Width	9.000ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	35.190ft



**Turn-Template Legend**  
(N.T.S.)

UTILITY PROVIDERS	
Water	Ute Water
Sewer	City of Fruita
Electric	Xcel Energy
Gas	Xcel Energy
Telephone	CenturyLink
Cable	Charter Spectrum
Irrigation	Grand Valley Irrigation Co
Drainage	Grand Valley Drainage District
Fire	Lower Valley Fire District



**All-Weather Fire Access Gravel-Pavement Section**  
(N.T.S.)

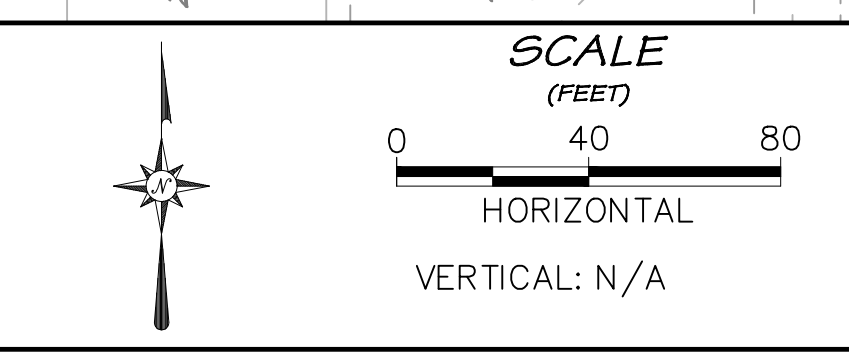
**NOTES:**

1. Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
2. The legend and a list of abbreviations can be found on the Legend & Abbreviations Sheet C4.
3. All new and temporary fire apparatus roads and fire apparatus turn-arounds shall meet GVW 80,000 lbs. Minimum/H-20 loading, all weather requirements.
4. This sheet contains color and may not be accurately reflected if reproduced in gray scale.

**ACCEPTANCE BLOCK**  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

UNCC  
800.922.1987  
www.uncc.org  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary/Review		DATE ISSUED: 01.DEC.2023	
NO.	DATE	REVISION	BY

**PRELIMINARY**

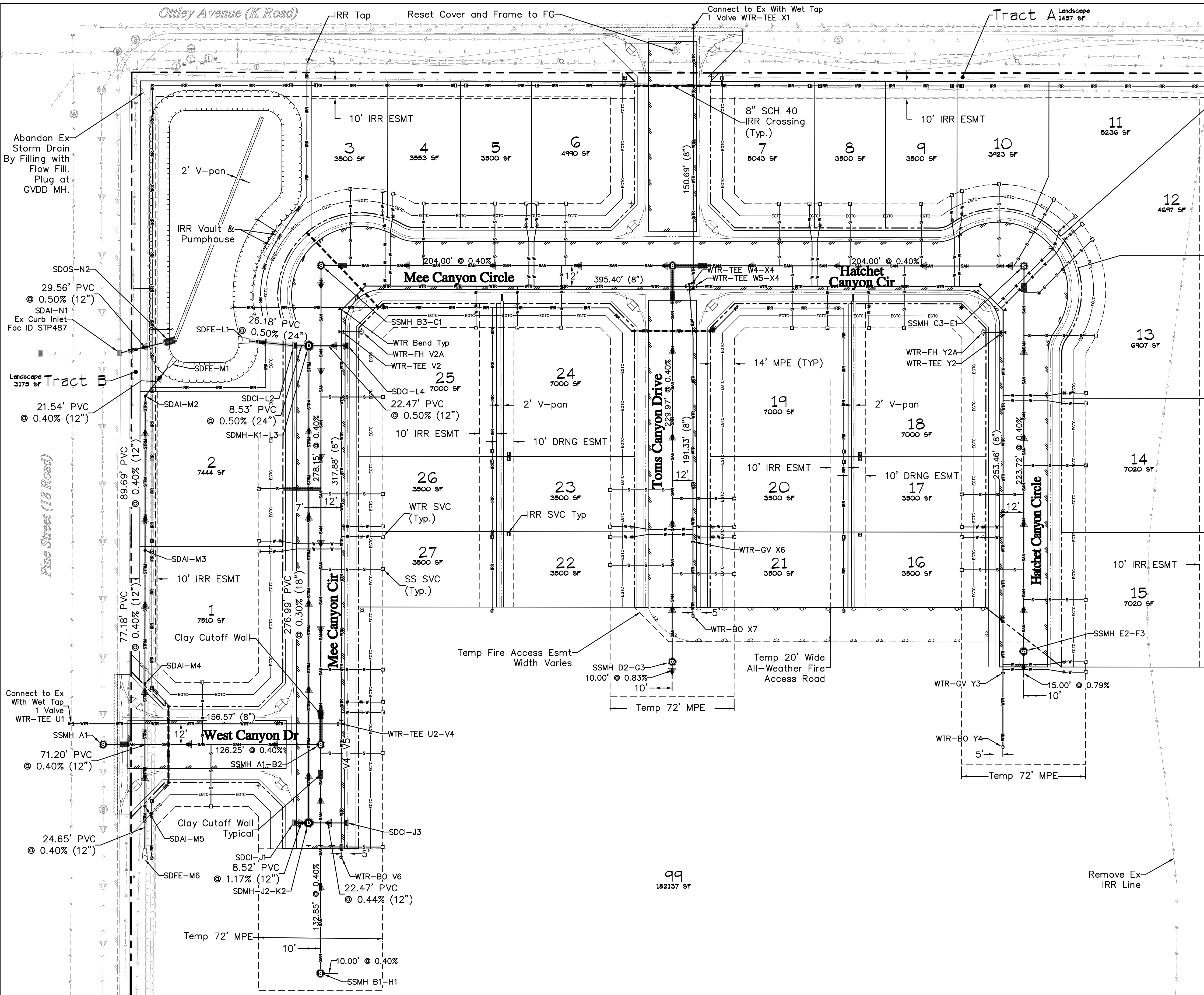
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841  
DRAWN BY: kac PROJECT: 0208-029  
CHECKED BY: idg

**WEST CANYON FRUITA, LLC**  
West Canyon  
Fire Site Plan

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

ORIGINAL SHEET SIZE: 22 x 34





**Parcel No**  
2697-162-28-046  
397 Arches Drive  
0.18 Acres

**Parcel No**  
2697-162-28-047  
385 Arches Drive  
0.16 Acres

**Parcel No**  
2697-162-28-048  
373 Arches Drive  
0.16 Acres

**Parcel No**  
2697-162-28-049  
361 Arches Drive  
0.16 Acres

**Parcel No**  
2697-162-28-050  
349 Arches Drive  
0.16 Acres

**Parcel No**  
2697-162-28-051  
337 Arches Drive  
0.16 Acres

**Parcel No**  
2697-162-28-052  
325 Arches Drive  
0.16 Acres

**Parcel No**  
2697-162-28-053  
313 Arches Drive  
0.17 Acres

**UTILITY SHEETS**

SS Line A.....	Sheet C19
SS Line B.....	Sheet C20
SS Line C.....	Sheet C21
SS Line D & E.....	Sheet C22
SD Line K.....	Sheet C23
SD Line J, L & N....	Sheet C24
SD Line M.....	Sheet C25
WTR Line U.....	Sheet C26
WTR Line V.....	Sheet C27
WTR Line W.....	Sheet C28
WTR Line X.....	Sheet C29
WTR Line Y.....	Sheet C30
Irrigation.....	Sheets IR1-IR5

**Notes:**

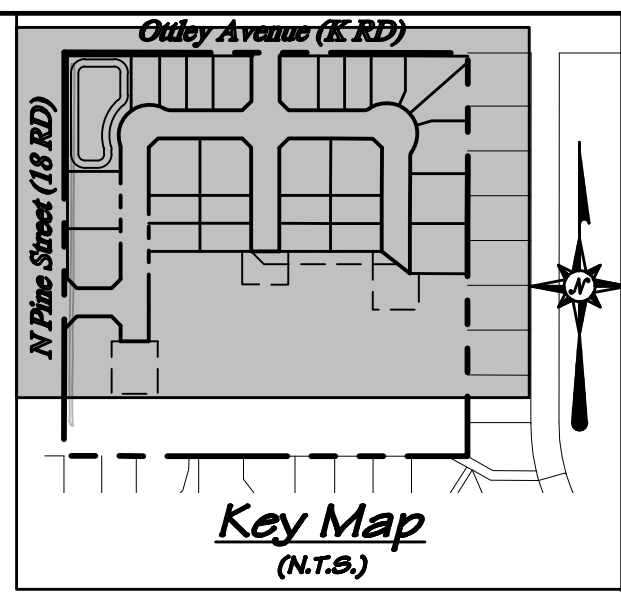
- All sewer pipe shall be SDR 35 PVC and all Sanitary Sewer Manholes shall be 48"Ø unless noted otherwise.
- All water mains shall be 8" C900 PVC unless noted otherwise.
- All storm drain manholes shall be 60"Ø unless noted otherwise.

**ACCEPTANCE BLOCK**  
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Utility District Representative \_\_\_\_\_ Date \_\_\_\_\_

**ACCEPTANCE BLOCK**  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_



**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**

HORIZONTAL: 1" = 30'

VERTICAL: N/A

PROJECT PHASE: Preliminary/Review		DATE ISSUED: 16.May.2023	
NO.	DATE	REVISION	BY

PRELIMINARY

**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 Fax: 970.241.8841  
www.rcwest.com

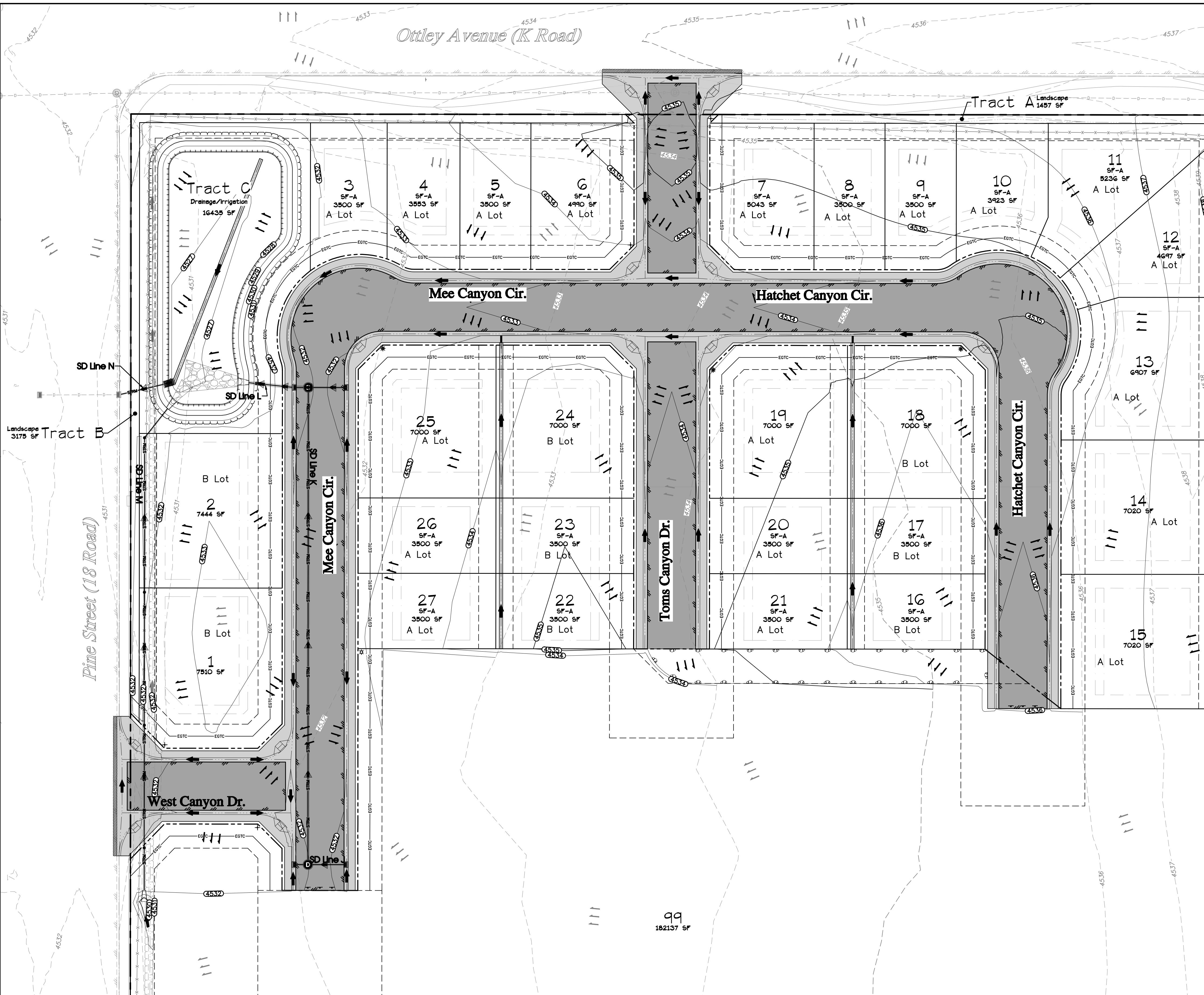
DRAWN BY: jg PROJECT: 0208-029  
CHECKED BY: jwm  
ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**

*West Canyon*  
Utility Composite  
Phase 1

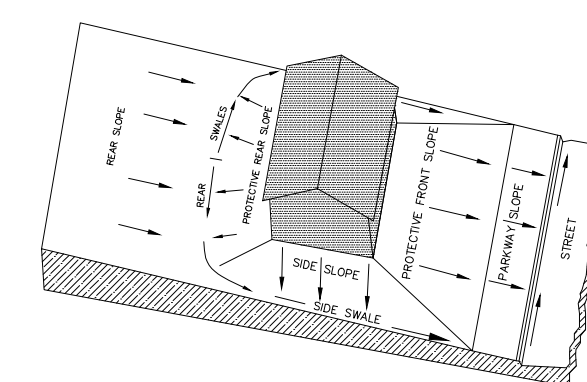
C10



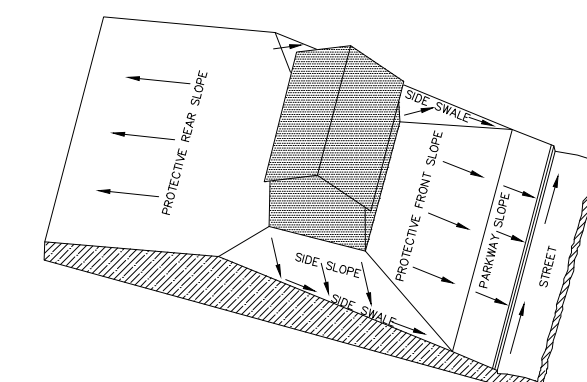


**FLOW ARROW LEGEND**

- ➔ Existing Concentrated Flow
- ||| Existing Sheet Flow
- ▶ Existing Utility Pipe Flow Direction
- ➔ Proposed Concentrated Flow
- ||| Proposed Sheet Flow
- ▶ Proposed Utility Pipe Flow Direction



**LOT GRADING - TYPE A**  
ALL DRAINAGE TO STREET



**LOT GRADING - TYPE B**  
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE

Parcel No  
2697-162-28-046  
397 Arches Drive  
0.18 Acres

Parcel No  
2697-162-28-047  
385 Arches Drive  
0.16 Acres

Parcel No  
2697-162-28-048  
373 Arches Drive  
0.16 Acres

Parcel No  
2697-162-28-049  
361 Arches Drive  
0.16 Acres

Parcel No  
2697-162-28-050  
349 Arches Drive  
0.16 Acres

Parcel No  
2697-162-28-051  
337 Arches Drive  
0.16 Acres

Parcel No  
2697-162-28-052  
325 Arches Drive  
0.16 Acres

**NOTES:**

1. Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
2. This project is not affected by any previously mapped floodplain as shown on FEMA FIRM Map 08077C0436F & 08077C0437F

**ACCEPTANCE BLOCK**

The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
UNCC  
Know what's below.  
Call before you dig.  
www.uncc.org  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
(FEET)  
0 30 60  
HORIZONTAL  
VERTICAL: N/A  
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

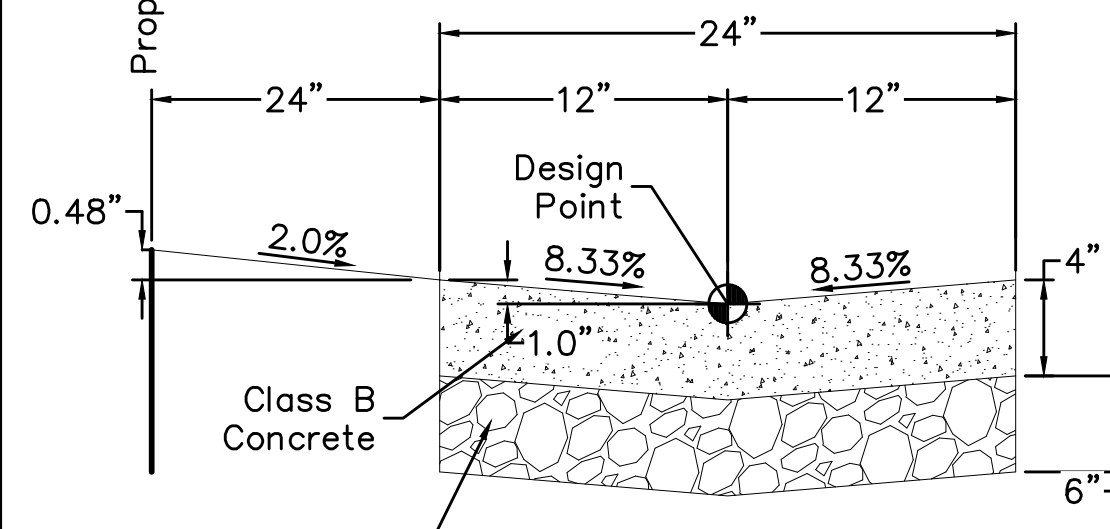
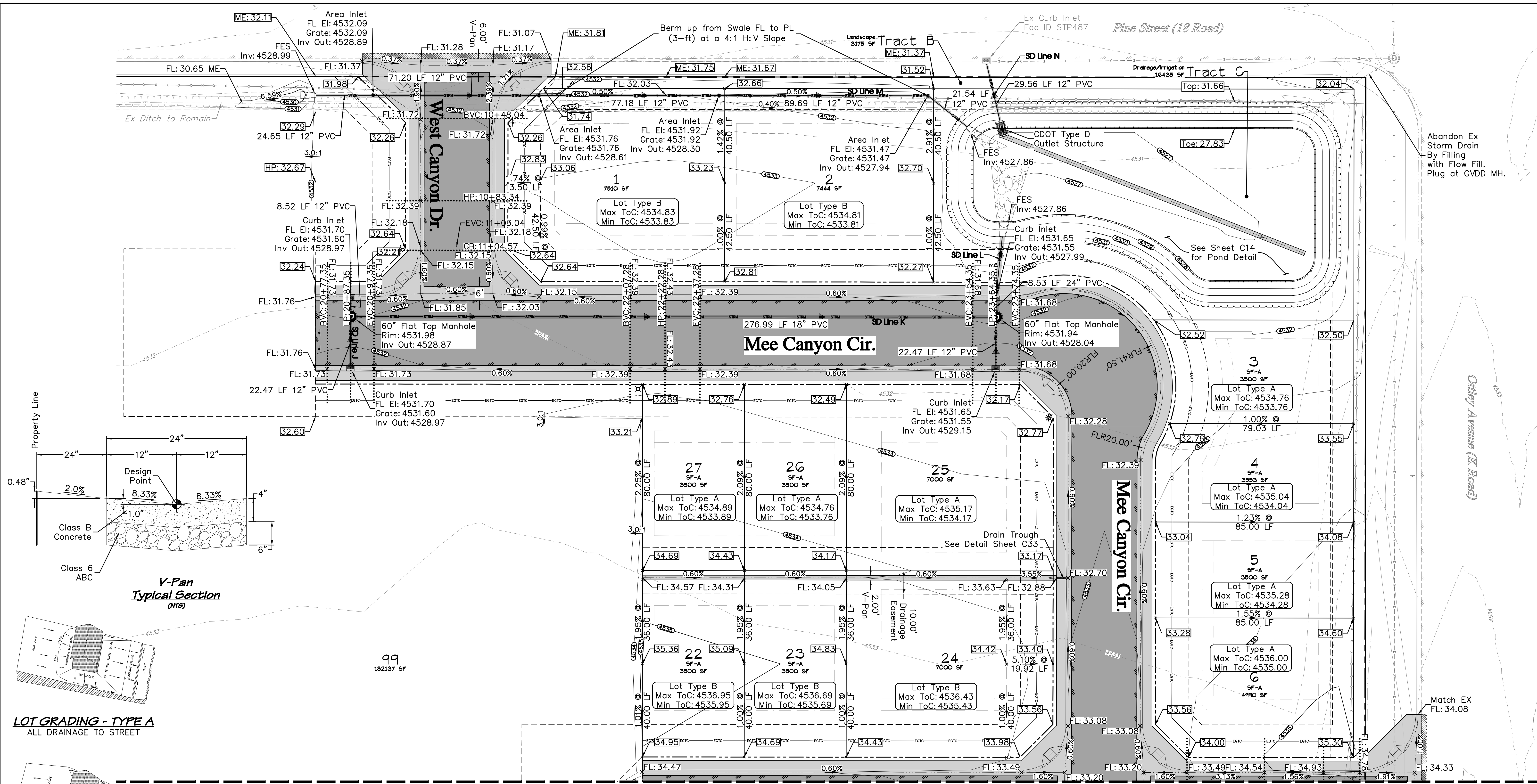
S:\PROJETS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Grading Plan.dwg [Phase 1 - Overall] 12/3/2023 8:13:24 PM

**PRELIMINARY**

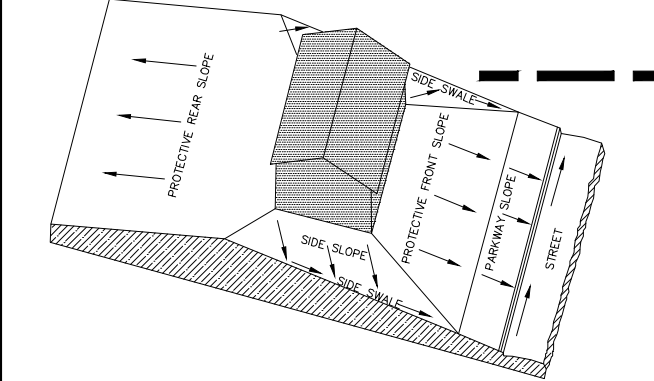
**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 Fax: 970.241.8841  
www.rcwest.com  
DRAWN BY: pjs/kac PROJECT: 0208-029  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
West Canyon  
Grading Plan  
Phase 1 - Overall  
C11





**LOT GRADING - TYPE A**  
ALL DRAINAGE TO STREET



**LOT GRADING - TYPE B**  
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE

MATCHLINE SEE SHEET C13

**NOTES:**

1. Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
2. This project is not affected by any previously mapped floodplain as shown on FEMA FIRM Map 08077C0436F & 08077C0437F.
3. Spot elevations are shown to finished grade. Add 4500 to all spot elevations shown below 100.00.

**ACCEPTANCE BLOCK**  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design and calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
HORIZONTAL: 0 20 40  
VERTICAL: N/A  
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary/Review		DATE ISSUED: 01.DEC.2023	
NO.	DATE	REVISION	BY

**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201  
Grand Junction, CO 81501  
Phone: 970.241.4722  
Fax: 970.241.8841  
www.rcwest.com

DRAWN BY: pjs/kac PROJECT: 0208-029  
CHECKED BY: idj  
ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
West Canyon  
Grading Plan  
Phase 1 - West Half Detail

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_



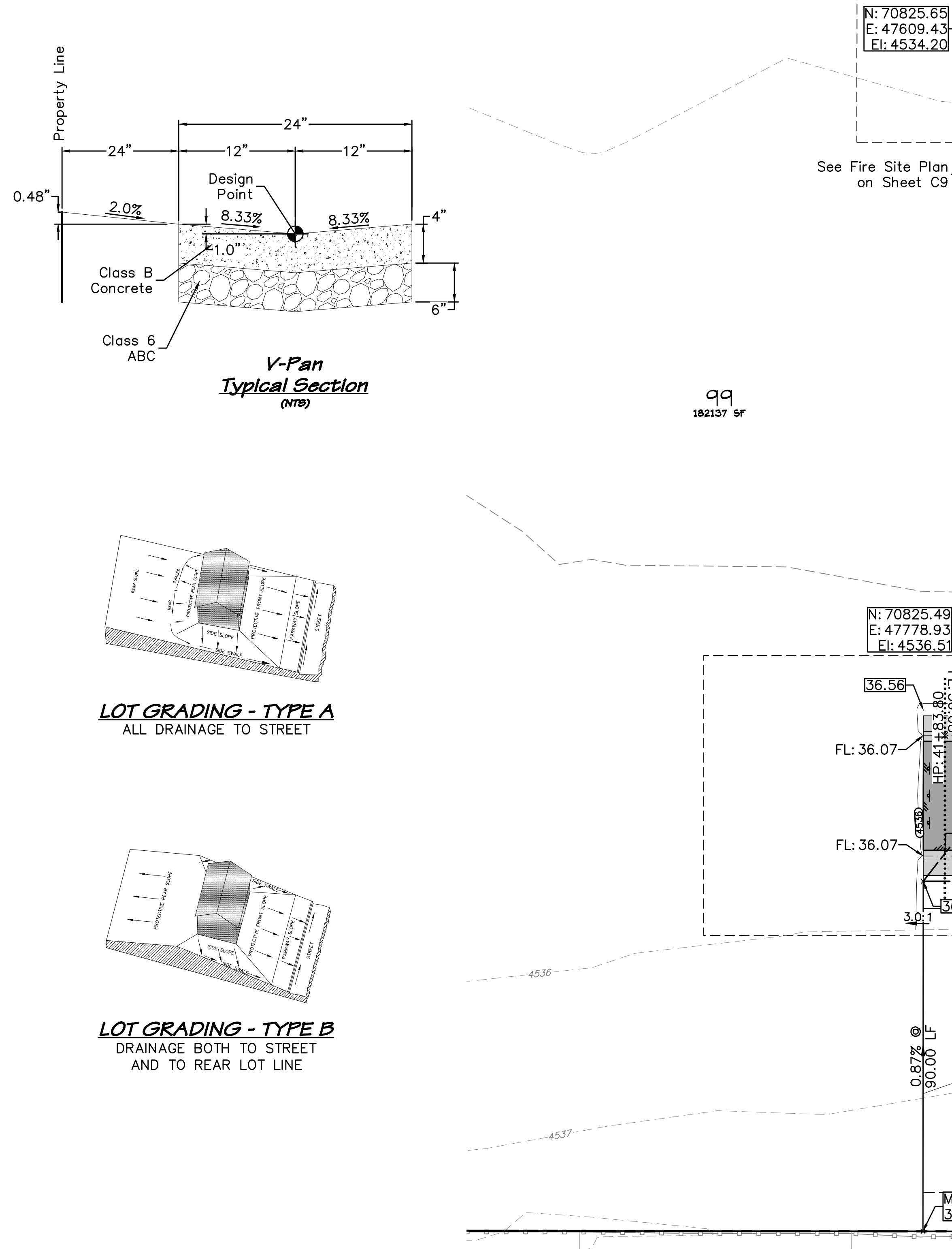
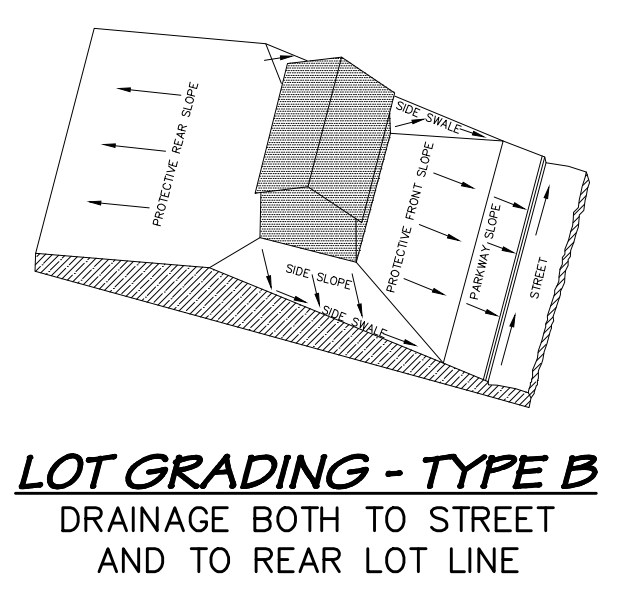
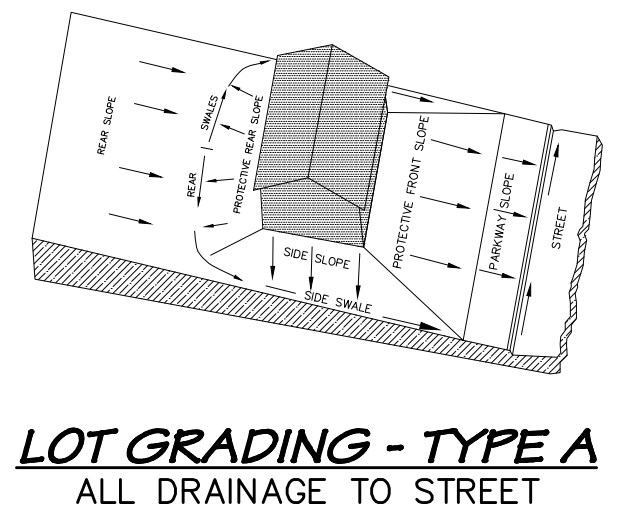
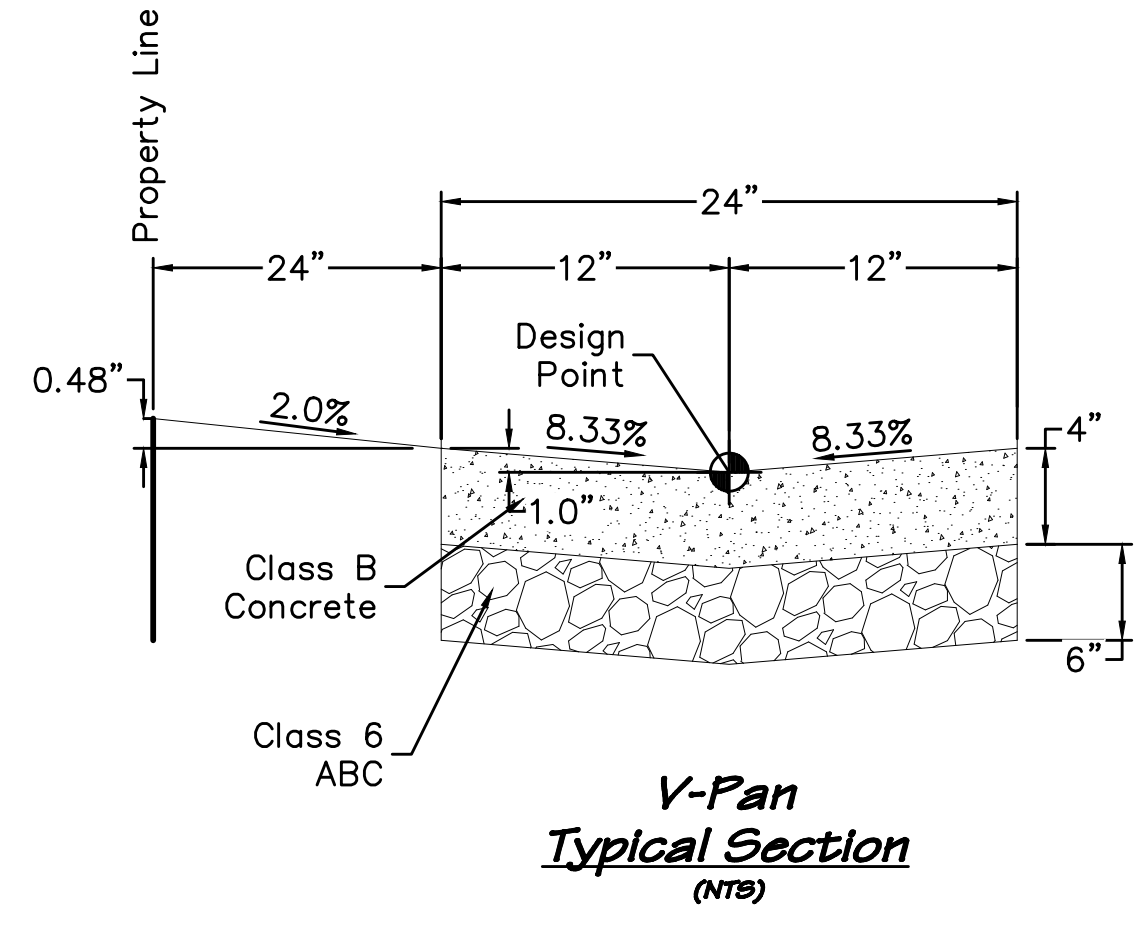
MATCHLINE SEE SHEET C12

Toms Canyon Dr.

Hatchet Canyon Cir.

Hatchet Canyon Cir.

Tract A Landscape 1497 SF



N: 70825.65  
E: 47609.43  
El: 4534.20

N: 70825.49  
E: 47778.93  
El: 4536.51

**NOTES:**

- Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
- This project is not affected by any previously mapped floodplain as shown on FEMA FIRM Map 08077C0436F & 08077C0437F.
- Spot elevations are shown to finished grade. Add 4500 to all spot elevations shown below 100.00.

**ACCEPTANCE BLOCK**

The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811 UNCC**  
Know what's below. Call before you dig.  
800.922.1987  
www.uncc.org  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**

HORIZONTAL: 0 20 40  
VERTICAL: N/A  
CONTOUR INTERVAL: N/A FT

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John Thomas\_Dave Bogg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Grading Plan.dwg [Phase 1 - East Half Detail] 12/3/2023 8:13:44 PM

**RIVER CITY CONSULTANTS**

215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501  
Phone: 970.241.4722 Fax: 970.241.8841  
www.rcwest.com

DRAWN BY: pjs/kac PROJECT: 0208-029  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

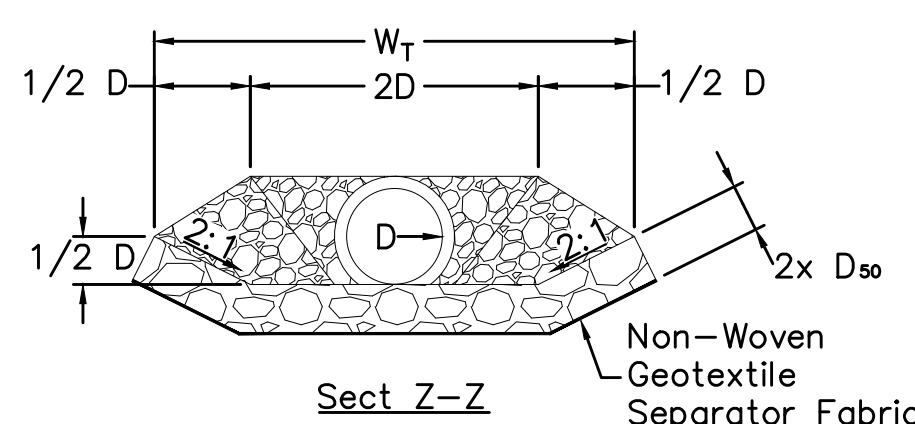
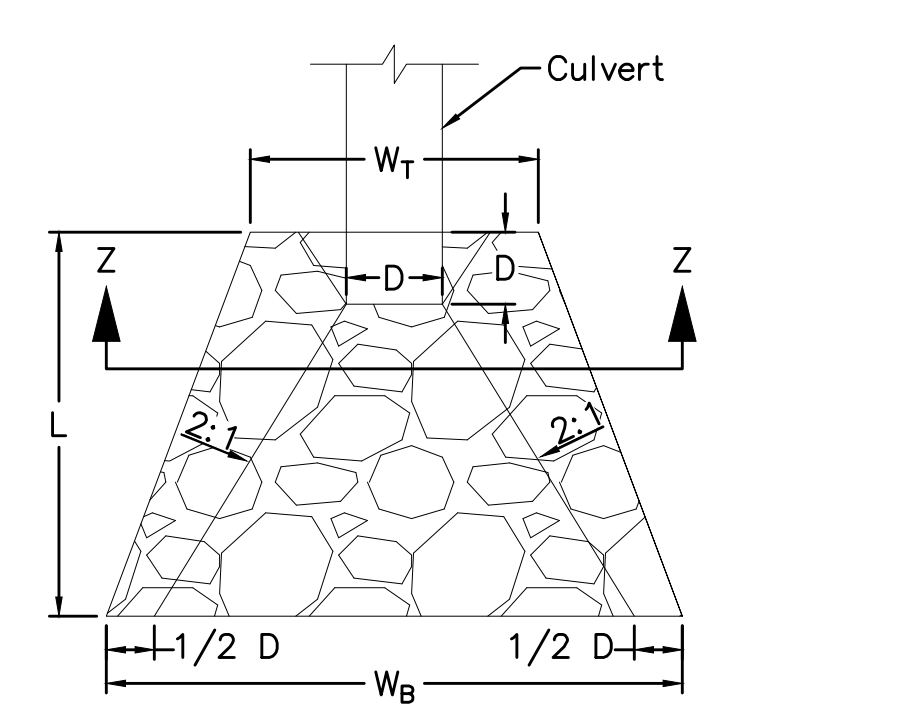
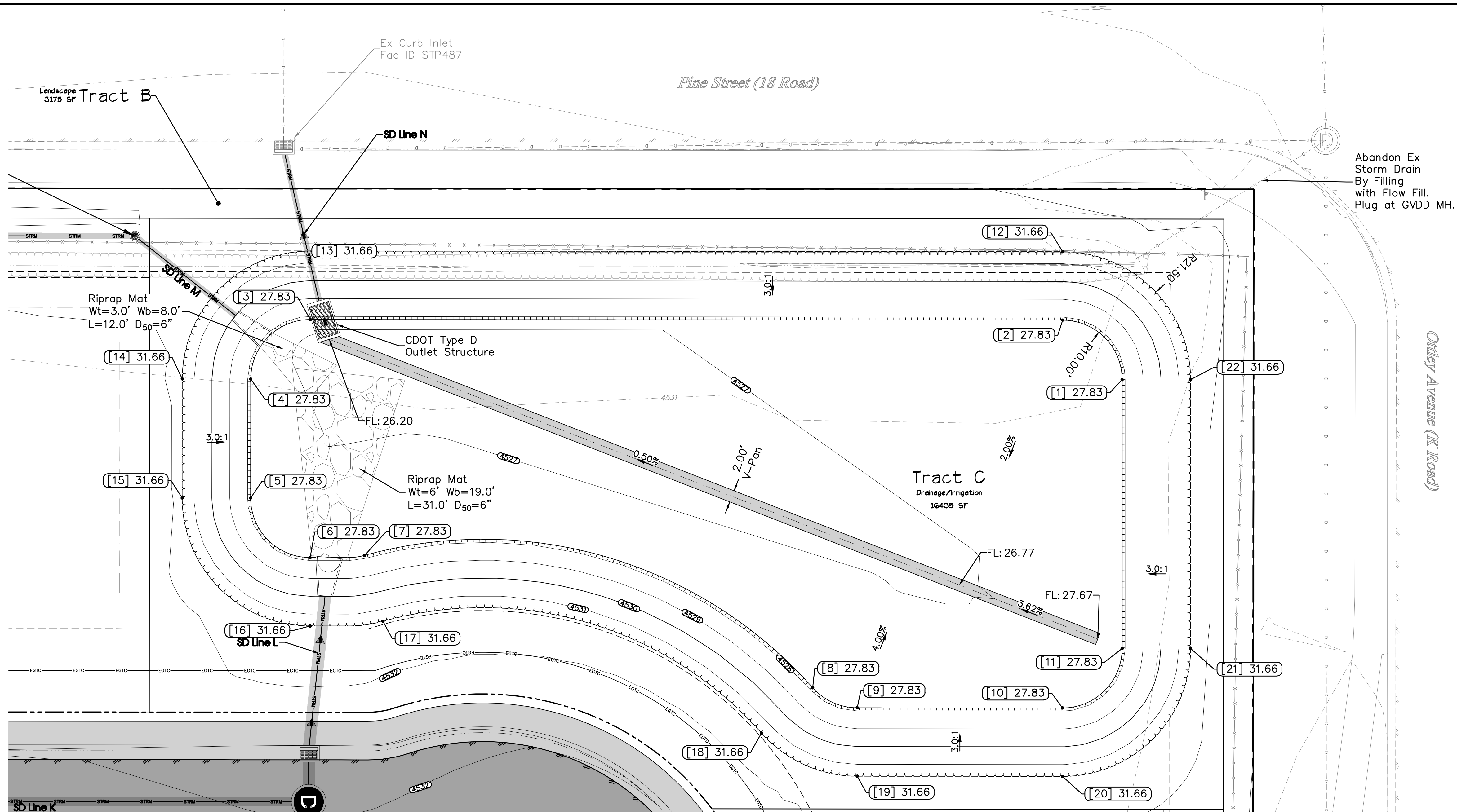
**WEST CANYON FRUITA, LLC**

West Canyon  
Grading Plan  
Phase 1 - East Half Detail

C13



Point Table				
Pnt #	Northing	Easting	Elev	Desc
1	71134.11	47313.69	4527.83	Toe
2	71124.11	47303.69	4527.83	Toe
3	70997.74	47303.58	4527.83	Toe
4	70987.73	47313.57	4527.83	Toe
5	70987.71	47333.57	4527.83	Toe
6	70997.70	47343.58	4527.83	Toe
7	71006.85	47343.22	4527.83	Toe
8	71082.13	47365.46	4527.83	Toe
9	71089.61	47368.83	4527.83	Toe
10	71124.10	47368.86	4527.83	Toe
11	71134.11	47358.86	4527.83	Toe
12	71124.12	47292.19	4531.66	Top
13	70997.75	47292.08	4531.66	Top
14	70976.23	47313.56	4531.66	Top
15	70976.21	47333.56	4531.66	Top
16	70997.69	47355.08	4531.66	Top
17	71009.94	47354.30	4531.66	Top
18	71073.52	47373.08	4531.66	Top
19	71089.60	47380.33	4531.66	Top
20	71124.09	47380.36	4531.66	Top
21	71145.61	47358.86	4531.66	Top
22	71145.61	47313.69	4531.66	Top



**Riprap Mat Detail**  
(N.T.S.)

**ACCEPTANCE BLOCK**  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**811**  
UNCC  
Know what's below.  
Call before you dig.  
800.922.1987  
www.uncc.org  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
0 10 20  
HORIZONTAL  
VERTICAL: N/A  
CONTOUR INTERVAL: N/A FT

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Grading Plan.dwg [Pond Detail] 12/3/2023 8:18:49 PM

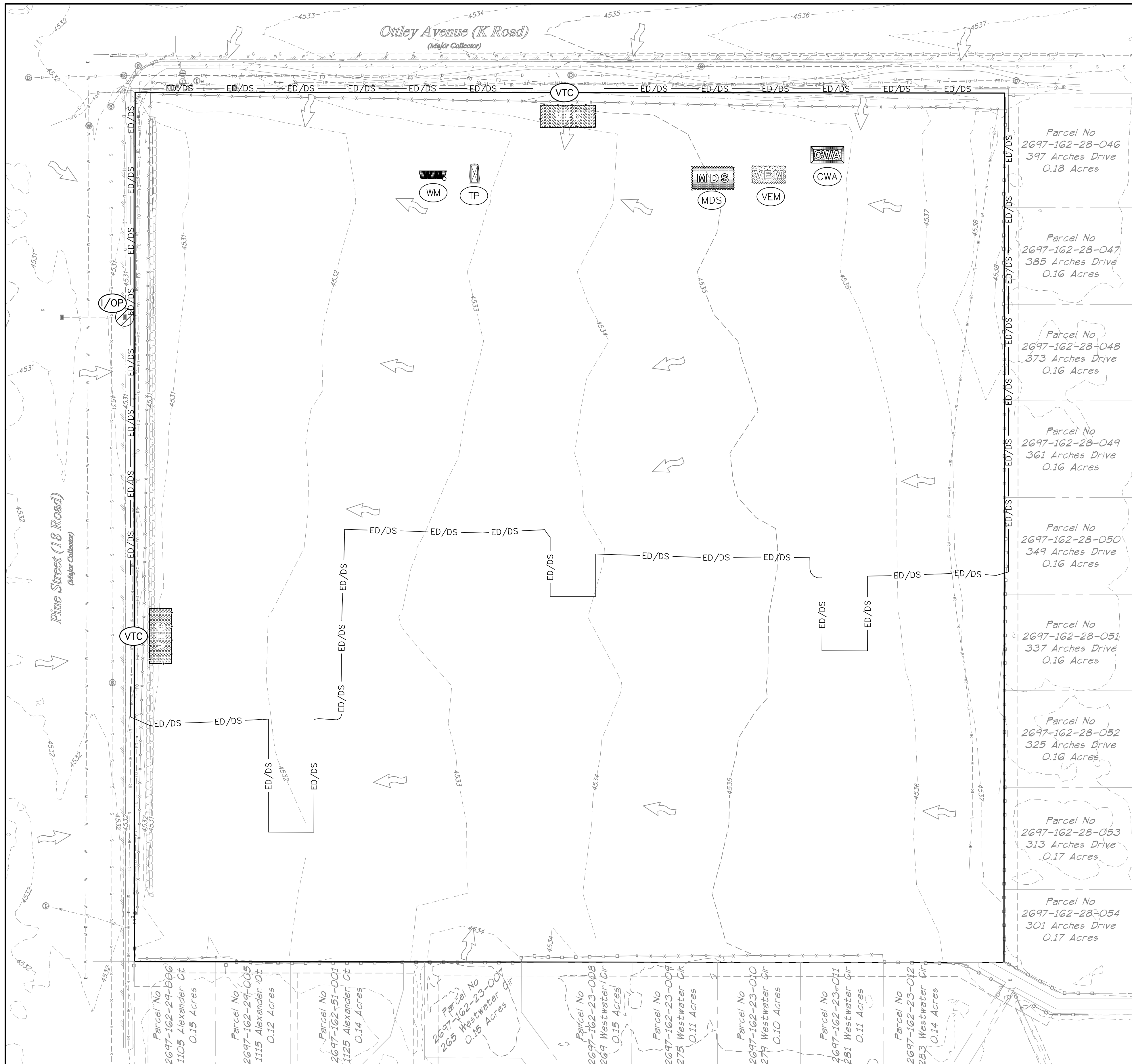
**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201  
Grand Junction, CO 81501  
www.rcwest.com  
Phone: 970.241.4722  
Fax: 970.241.8841  
DRAWN BY: pjs/kac  
CHECKED BY: idg  
PROJECT: 0208-029  
ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
West Canyon  
Grading Plan  
Pond Detail  
C14

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_





**SITE DESCRIPTION**

1. The proposed site is located on Lot 1 of Fish Minor Subdivision, Fruita, CO, Assessor's Parcel Number 2697-162-21-001 and is approximately 9.11 acres. The site is on the south side of Ottley Ave (K Rd) between North Pine Street (18 RD) and Arches Drive.

In more legal terms:

Lot 1 of Fish Minor Subdivision, Reception No 2080405, NE 1/4 of the NW 1/4, Section 16, Township 1 North, Range 1 West, Ute Meridian, Mesa County, Colorado.

- The proposed project site is entirely within the Little Salt Wash Drainage Basin. The Little Salt Wash Drainage Basin is 23,345 acres (36.48 square miles) and drains Northeast to Southwest into the Colorado River.
- Construction activity will consist of, in the following order: site marking, establishment of perimeter storm-water control measures, site clearing, topsoil removal and stockpiling, installation of utilities, roads, and buildings, landscaping, and final seeding. Intermediate storm-water control measures will be installed and maintained throughout construction as required by the contractor's means and methods.
- The primary contaminant of concern for this project is sediment. The proposed erosion controls have been selected and placed to mitigate the potential for sediment transport from the project area. Existing vegetation on the proposed project site consists of various grasses. Existing vegetation is in good condition (90% ground cover from visual observation).
- The 100-year runoff SCS Curve numbers for this project are 79.0 for undeveloped areas and 88.8 for developed areas.

**STORMWATER CONTROL MEASURES LEGEND**

Installation details and maintenance guidelines for the above erosion control measures can be found in the written Construction Stormwater Management Plan for this project, CDOT standards, on Denver's Urban Drainage and Flood Control District website, and various manufacturer's websites. Variations from these standards shall be approved by the Qualified Stormwater Manager prior to installation. This list is not considered complete or absolute, additional methods can and should be added to this plan if required. This CSWMP should be kept current and modified appropriately by the Qualified Stormwater Manager based on actual field conditions and the Contractor's means and methods.

- CD CHECK DAM
- CWA CONCRETE WASHOUT AREA
- DP DETENTION POND
- ED/DS EARTHEN DIKE/DRAINAGE SWALE
- I/OP INLET/OUTLET PROTECTION
- LG LAND GRADING
- LoD LIMIT OF DISTURBANCE
- MDS MATERIALS DELIVERY & STORAGE
- PEV PROTECT EXISTING VEGETATION
- RV REVEGETATION
- RR RIPRAP
- RS ROCK SOCK
- SCL SEDIMENT CONTROL LOG
- SEW STABILIZED ENTRY WAY
- SBB STRAW BALE BARRIER
- SP STOCKPILE MANAGEMENT
- SH SURFACE HARDENING
- TP TOILETS (PORTABLE)
- VEM VEHICLE EQUIPMENT & MAINTENANCE
- VTC VEHICLE TRACKING CONTROL
- WM WASTE MANAGEMENT
- EXISTING FLOW ARROW
- PROPOSED FLOW ARROW

**GENERAL SWMP NOTES**

- Qualified Stormwater Manager (Local Contact) Name: **Taylor Valentine** Phone: **(970) 241-4722**
- Refer to the written construction stormwater management plan for storm water control measure details and additional information.
- Storm water control measures shown are schematic only. Adjustments may be necessary to fit actual field conditions.
- The current project parcel is approximately 9.11 acres of agricultural use.
- At all times during construction, erosion and sediment control shall be maintained by the contractor.
- Stormwater control measures shall be installed as the work (grading) progresses.
- Negative impacts to downstream areas (or receiving waters) caused by earthwork and/or construction shall be monitored and corrected by the contractor.
- The first storm water control measure to be installed on the site shall be construction fence, markers, or other approved means of defining the limits of construction.
- Natural vegetation shall be retained and protected wherever possible. exposure of soil to erosion by removal or disturbance of vegetation shall be limited to the area required for immediate construction operations.
- All construction traffic must enter/exit the site through the CSWMP-approved access points.

**AFTER CONSTRUCTION (PERMANENT MEASURES)**

All areas disturbed by construction activities shall be paved, landscaped, or revegetated with a certified weed-free native seed mix appropriate for site soils and conditions. these areas shall be maintained until a vegetative cover of at least 70% of pre-construction conditions exists. if necessary, additional topsoil, seed, mulch, and/or fertilizer should be applied to establish said vegetative cover.

**ACCEPTANCE BLOCK**  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
 0 40 80  
 HORIZONTAL  
 VERTICAL: N/A  
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

**PRELIMINARY**

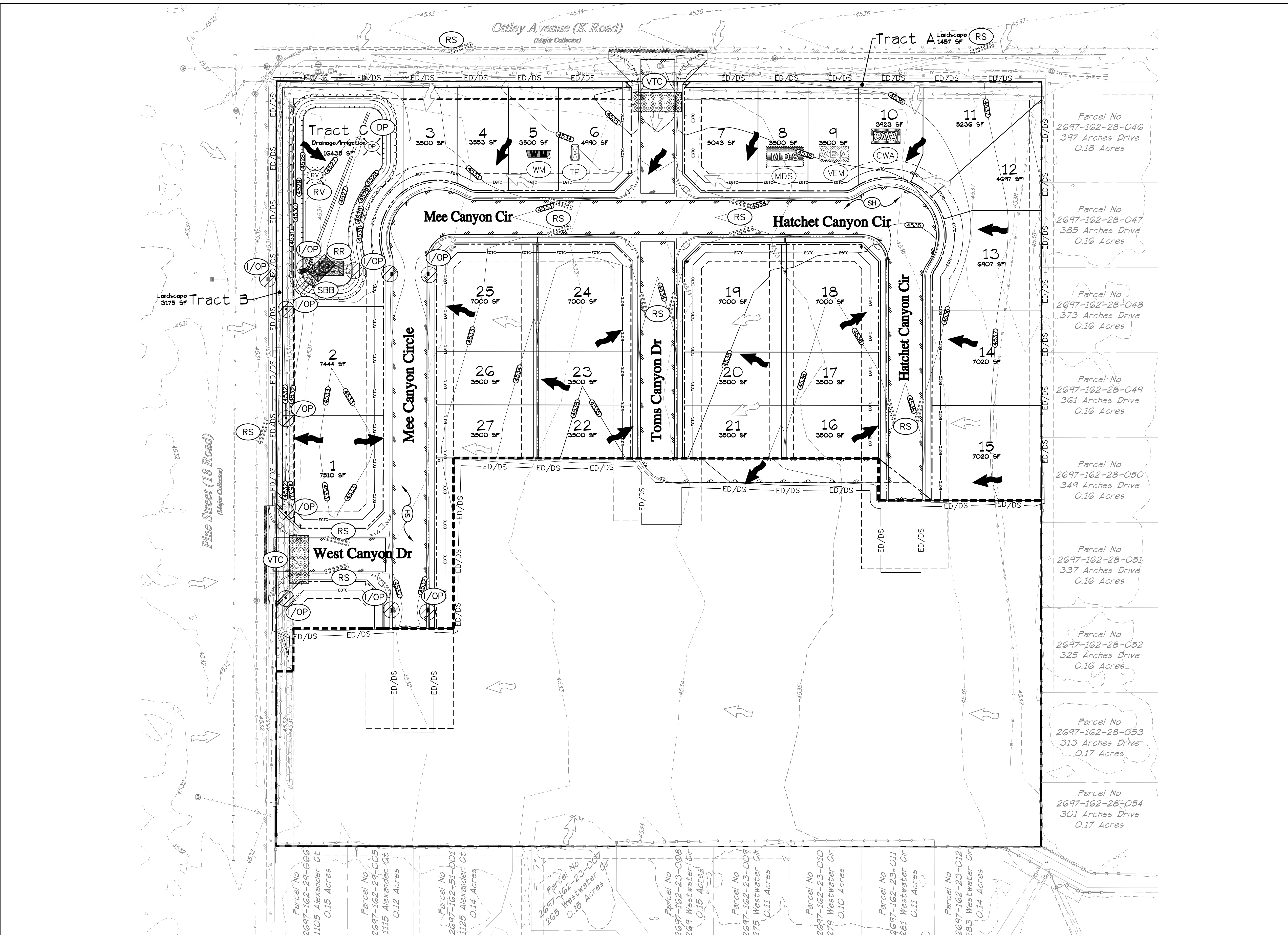
**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841  
 DRAWN BY: ksc PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Stormwater Management Plan  
 Preliminary - Phase 1

**C15**

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 SWMP.dwg [Preliminary] 12/3/2023 8:52:59 PM





**STORMWATER CONTROL MEASURES LEGEND**

Installation details and maintenance guidelines for the above erosion control measures can be found in the written Construction Stormwater Management Plan for this project, CDOT standards, on Denver's Urban Drainage and Flood Control District website, and various manufacturer's websites. Variations from these standards shall be approved by the Qualified Stormwater Manager prior to installation. This list is not considered complete or absolute, additional methods can and should be added to this plan if required. This CSWMP should be kept current and modified appropriately by the Qualified Stormwater Manager based on actual field conditions and the Contractor's means and methods.

- (CD) CHECK DAM
- (CWA) CONCRETE WASHOUT AREA
- (DP) DETENTION POND
- (ED/DS) EARTHEN DIKE/DRAINAGE SWALE
- (I/OP) INLET/OUTLET PROTECTION
- (LG) LAND GRADING
- (LoD) LIMIT OF DISTURBANCE
- (MDS) MATERIALS DELIVERY & STORAGE
- (PEV) PROTECT EXISTING VEGETATION
- (RV) REVEGETATION
- (RR) RIPRAP
- (RS) ROCK SOCK
- (SCL) SEDIMENT CONTROL LOG
- (SEW) STABILIZED ENTRY WAY
- (SBB) STRAW BALE BARRIER
- (SP) STOCKPILE MANAGEMENT
- (SH) SURFACE HARDENING
- (TP) TOILETS (PORTABLE)
- (VEM) VEHICLE EQUIPMENT & MAINTENANCE
- (VTC) VEHICLE TRACKING CONTROL
- (WM) WASTE MANAGEMENT
- EXISTING FLOW ARROW
- PROPOSED FLOW ARROW

See Sheet C15 for General Stormwater Management Notes.

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**811 UNCC**  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSCM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
 0 40 80  
 HORIZONTAL  
 VERTICAL: N/A  
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

P.R.E.L.I.M.I.N.A.R.Y.

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: ksc PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

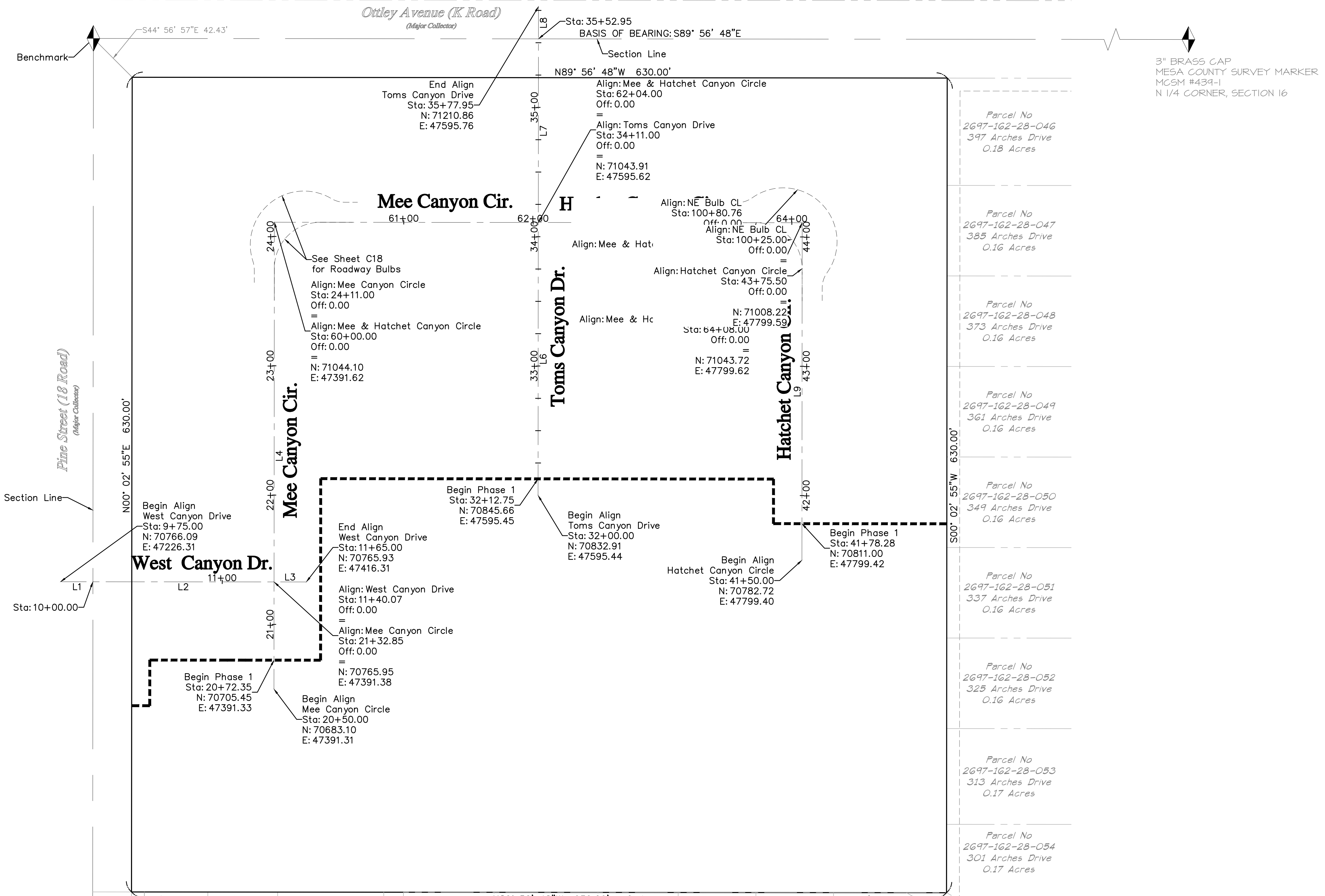
**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Stormwater Management Plan  
 Interim - Phase 1

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

C16

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 SWMP.dwg [Interim] 12/3/2023 8:53:03 PM





3" BRASS CAP  
MESA COUNTY SURVEY MARKER  
MCSM #439-1  
N 1/4 CORNER, SECTION 16

Alignment: West Canyon Drive

Number	Line/Chord Length	Radius	Line/Chord Direction	Start Point (N,E)	End Point (N,E)	Start Sta
L1	25.00		S89° 57' 05"E	(70766.09,47226.31)	(70766.07,47251.31)	9+75.00
L2	140.07		S89° 57' 05"E	(70766.07,47251.31)	(70765.95,47391.38)	10+00.00
L3	24.93		S89° 57' 05"E	(70765.95,47391.38)	(70765.93,47416.31)	11+40.07

Alignment: Mee Canyon Circle

Number	Line/Chord Length	Radius	Line/Chord Direction	Start Point (N,E)	End Point (N,E)	Start Sta
L4	361.00		N00° 02' 55"E	(70683.10,47391.31)	(71044.10,47391.62)	20+50.00

Alignment: Mee & Hatchet Canyon Circle

Number	Line/Chord Length	Radius	Line/Chord Direction	Start Point (N,E)	End Point (N,E)	Start Sta
L5	408.00		S89° 56' 48"E	(71044.10,47391.62)	(71043.72,47799.62)	60+00.00

Alignment: Toms Canyon Drive

Number	Line/Chord Length	Radius	Line/Chord Direction	Start Point (N,E)	End Point (N,E)	Start Sta
L6	211.00		N00° 02' 55"E	(70832.91,47595.44)	(71043.91,47595.62)	32+00.00
L7	141.95		N00° 02' 55"E	(71043.91,47595.62)	(71185.86,47595.74)	34+11.00
L8	25.00		N00° 02' 55"E	(71185.86,47595.74)	(71210.86,47595.76)	35+52.95

Alignment: Hatchet Canyon Circle

Number	Line/Chord Length	Radius	Line/Chord Direction	Start Point (N,E)	End Point (N,E)	Start Sta
L9	261.00		N00° 02' 55"E	(70782.72,47799.40)	(71043.72,47799.62)	41+50.00

**ACCEPTANCE BLOCK**  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
UNCC  
Know what's below.  
Call before you dig.  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
(FEET)  
0 40 80  
HORIZONTAL  
VERTICAL: N/A

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

**PRELIMINARY**

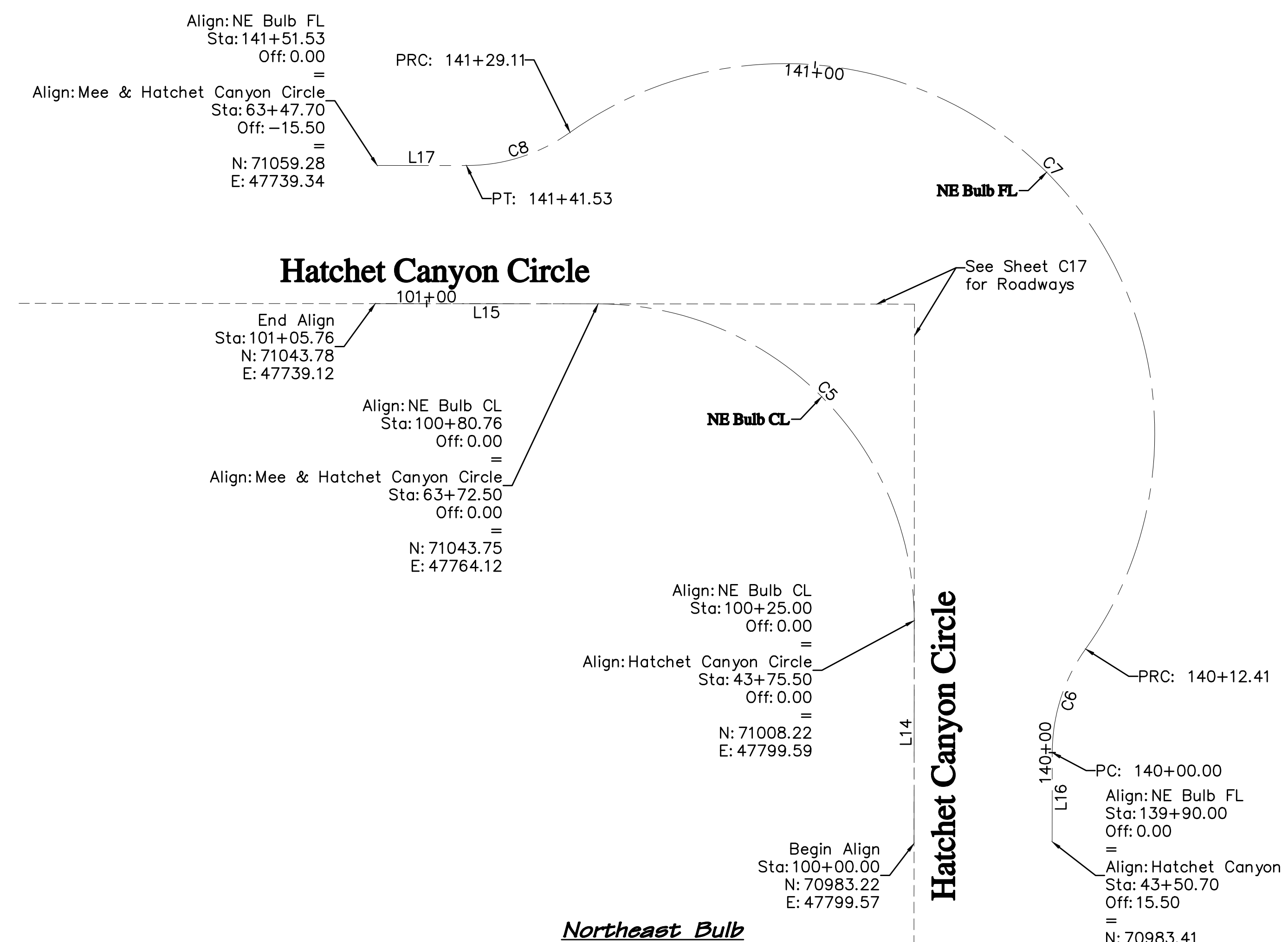
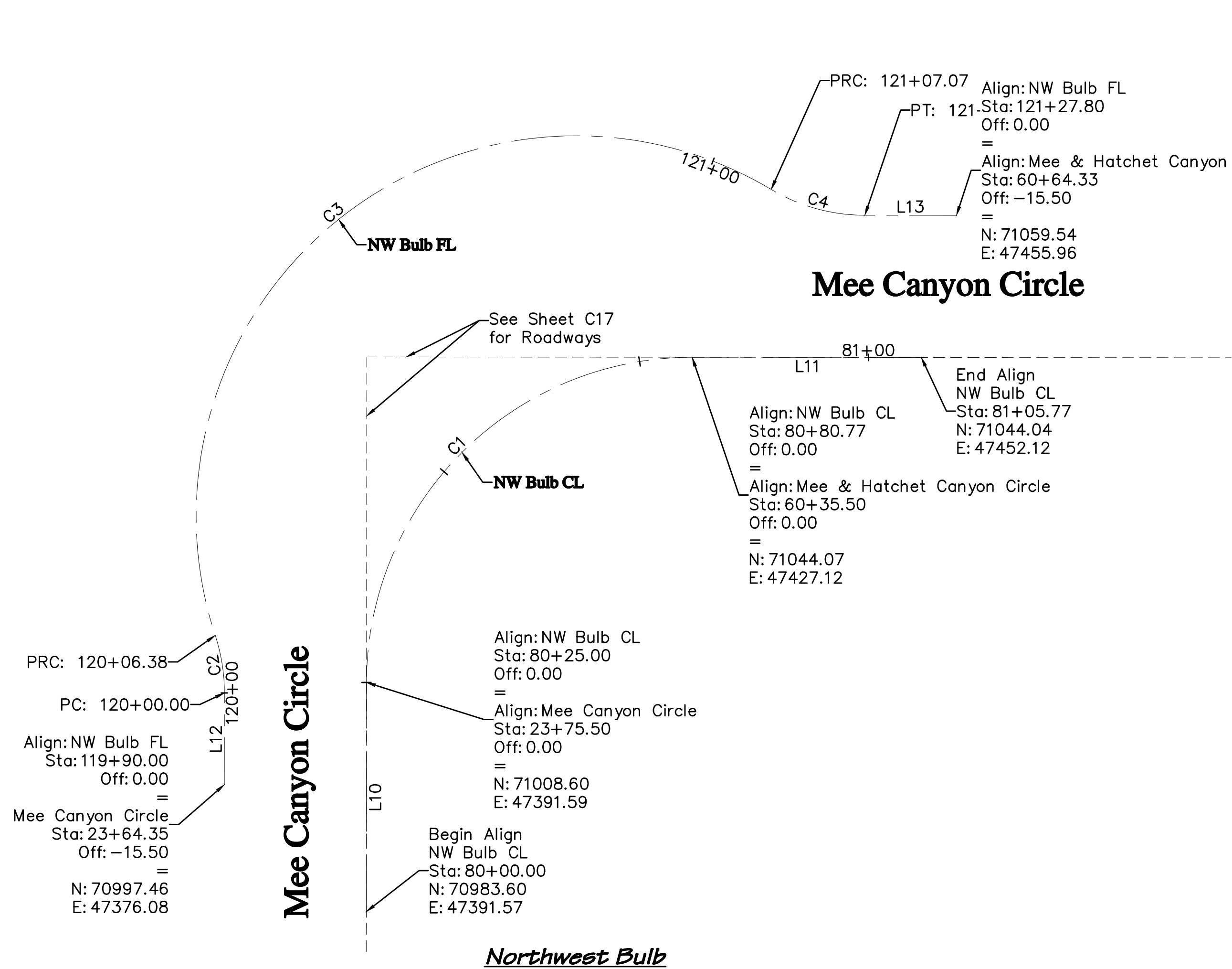
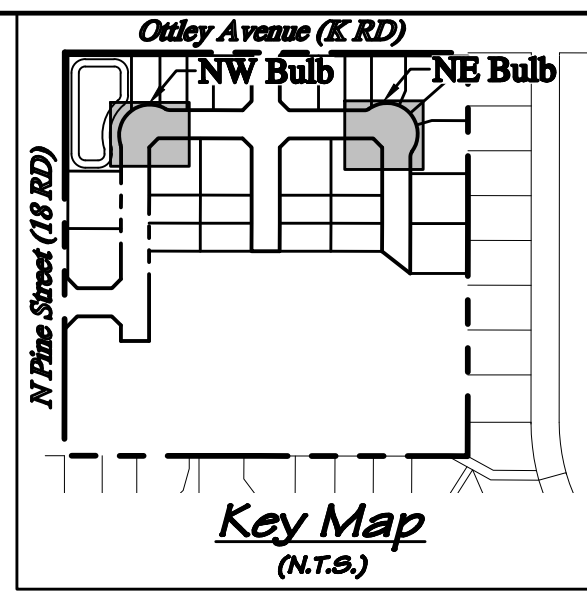
**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841  
DRAWN BY: jdg PROJECT: 0208-029  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
West Canyon  
Horizontal Control Plan  
Roadways - Phase 1

C17

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Horz CTL.dwg [Roadways] 12/3/2023 8:08:32 PM





Alignment: NW Bulb CL

Number	Line/Chord Length	Radius	Line/Chord Direction	Start Point (N,E)	End Point (N,E)	Start Sta
L10	25.00		N00° 02' 55"E	(70983.60,47391.57)	(71008.60,47391.59)	80+00.00
C1	50.21	35.50	N45° 03' 03"E	(71008.60,47391.59)	(71044.07,47427.12)	80+25.00
L11	25.00		S89° 56' 48"E	(71044.07,47427.12)	(71044.04,47452.12)	80+80.77

Alignment: NE Bulb CL

Number	Line/Chord Length	Radius	Line/Chord Direction	Start Point (N,E)	End Point (N,E)	Start Sta
L14	25.00		N00° 02' 55"E	(70983.22,47799.57)	(71008.22,47799.59)	100+00.00
C5	50.20	35.50	N44° 56' 57"W	(71008.22,47799.59)	(71043.75,47764.12)	100+25.00
L15	25.00		N89° 56' 48"W	(71043.75,47764.12)	(71043.78,47739.12)	100+80.76

Alignment: NW Bulb FL

Number	Line/Chord Length	Radius	Line/Chord Direction	Start Point (N,E)	End Point (N,E)	Start Sta
L12	10.00		N00° 02' 55"E	(70997.46,47376.08)	(71007.46,47376.09)	119+90.00
C2	6.35	20.00	N09° 05' 25"W	(71007.46,47376.09)	(71013.73,47375.08)	120+00.00
C3	77.75	41.50	N51° 16' 43"E	(71013.73,47375.08)	(71062.37,47435.74)	120+06.38
C4	10.60	20.00	S74° 34' 48"E	(71062.37,47435.74)	(71059.55,47445.96)	121+07.07
L13	10.00		S89° 56' 48"E	(71059.55,47445.96)	(71059.54,47455.96)	121+17.80

Alignment: NE Bulb FL

Number	Line/Chord Length	Radius	Line/Chord Direction	Start Point (N,E)	End Point (N,E)	Start Sta
L16	10.00		N00° 02' 55"E	(70983.41,47815.07)	(70993.41,47815.08)	139+90.00
C6	12.21	20.00	N17° 49' 45"E	(70993.41,47815.08)	(71005.04,47818.82)	140+00.00
C7	81.88	41.50	N44° 56' 57"W	(71005.04,47818.82)	(71062.99,47760.97)	140+12.41
C8	12.21	20.00	S72° 16' 22"W	(71062.99,47760.97)	(71059.27,47749.34)	141+29.11
L17	10.00		N89° 56' 48"W	(71059.27,47749.34)	(71059.28,47739.34)	141+41.53

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
 HORIZONTAL: 0 10 20  
 VERTICAL: N/A

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJ\ECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Horz CTL.dwg [Roadway Bulbs] 12/3/2023 8:08:36 PM

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

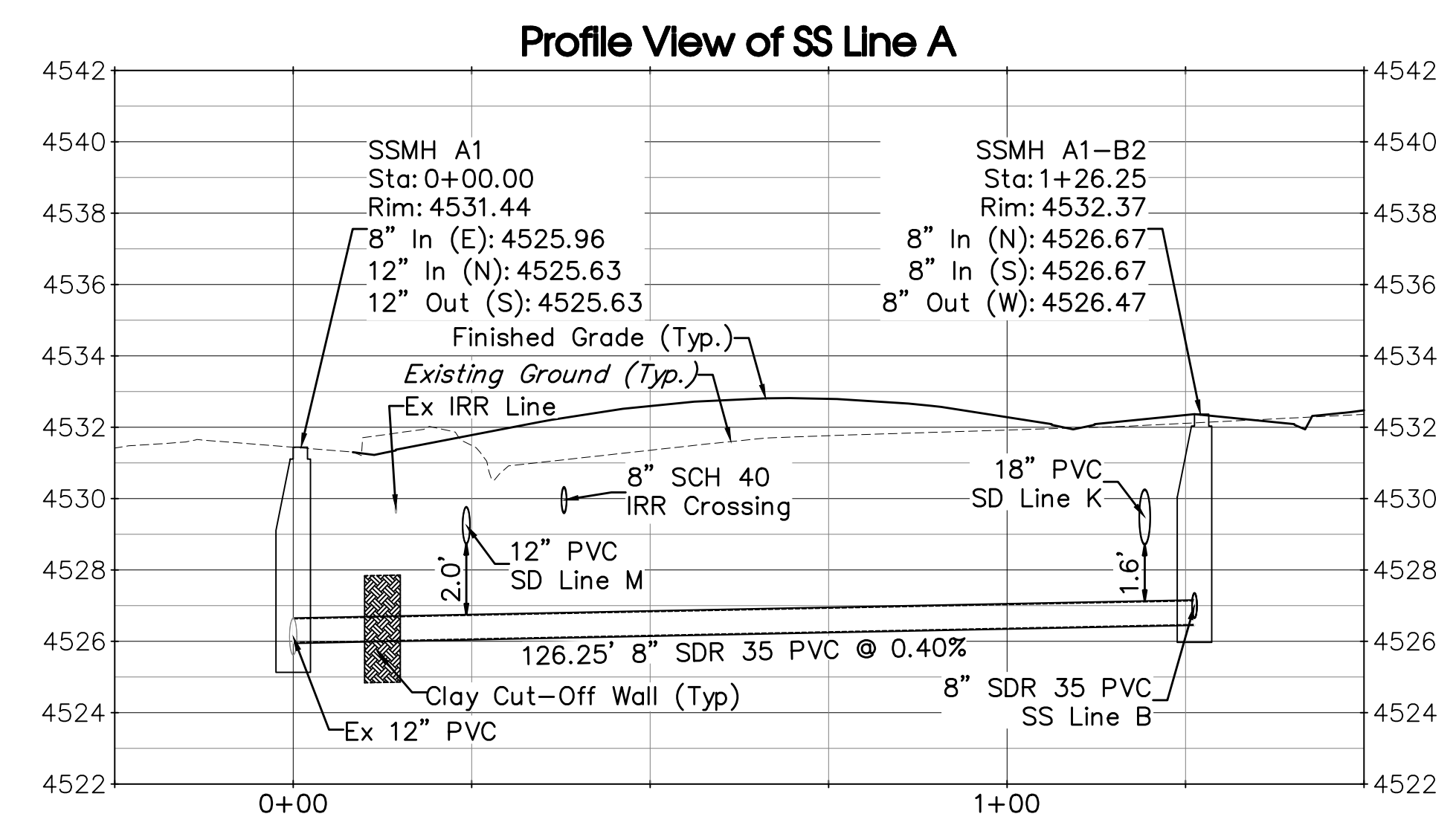
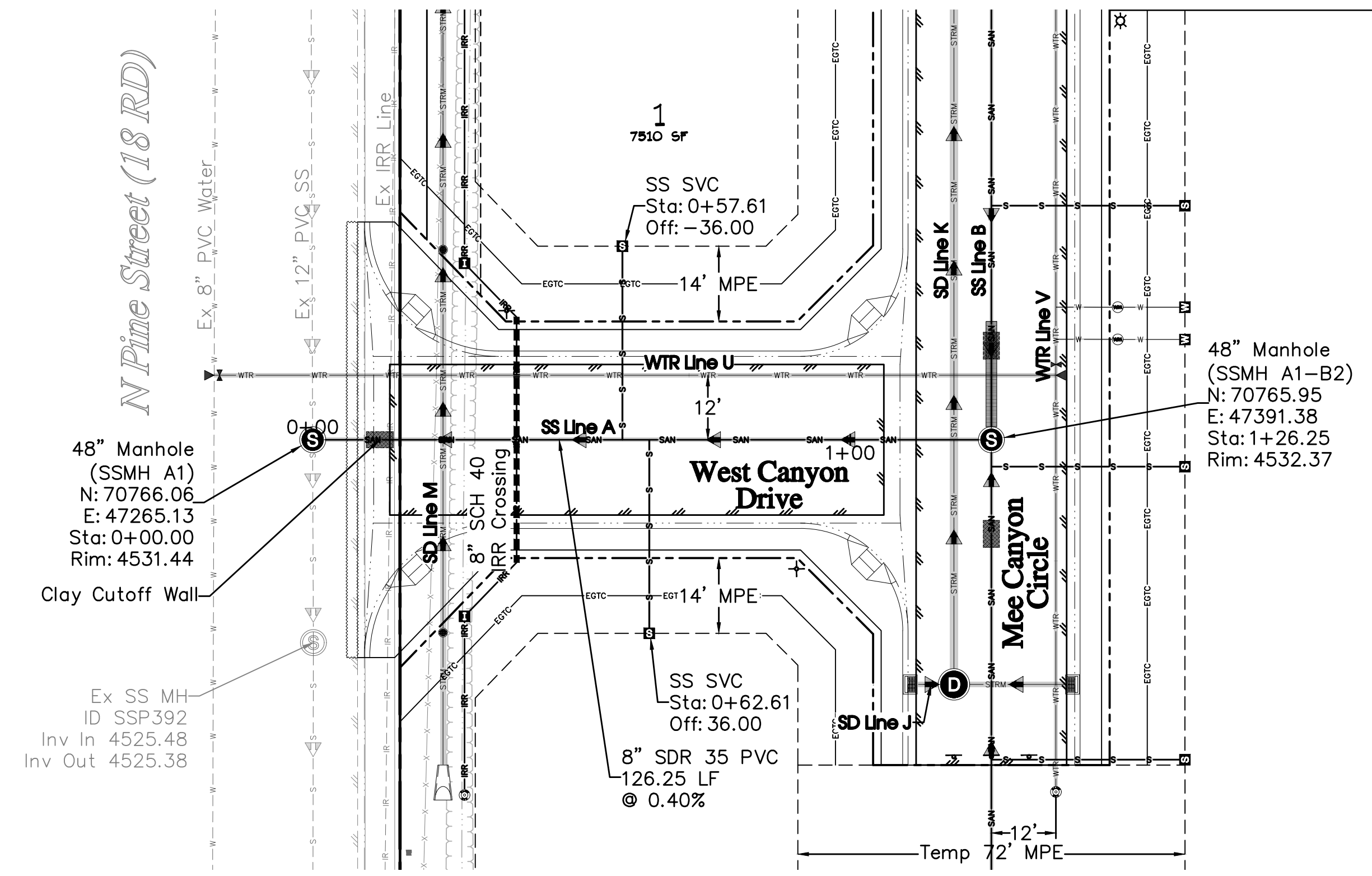
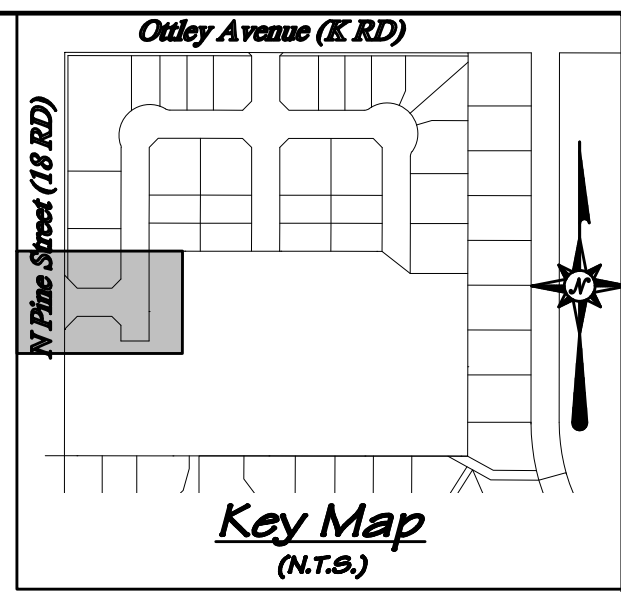
DRAWN BY: idg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Horizontal Control Plan  
 Roadway Bulbs - Phase 1

**C18**

**PRELIMINARY**





**UTILITY SHEETS**

- SS Line B..... Sheet C20
- SD Line J..... Sheet C24
- SD Line K..... Sheet C23
- SD Line M..... Sheet C25
- WTR Line U..... Sheet C26
- WTR Line V..... Sheet C27

**Note:**

- Sewer mains and service lines within the roadway right of way which have less than 4 feet of cover shall be installed using PVC pressure pipe, AWWA C-900.
- Where Cover is less than 2' from the top of sewer pipe to bottom of roadway base course, flowable fill concrete shall be used as backfill, per City of Fruita Design Criteria and Construction Specifications Manual section 3.6 (O).

**ACCEPTANCE BLOCK**

The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**UNCC** 811 Know what's below. Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**

HORIZONTAL: 0 20 40  
 VERTICAL: 1" = 4'

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\04-Utility\0208-029 PR SS.dwg [SS Line A] 12/3/2023 8:05:45 PM

**RIVER CITY CONSULTANTS**

215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501 Phone: 970.241.4722 Fax: 970.241.8841 www.rcwest.com

DRAWN BY: idg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**

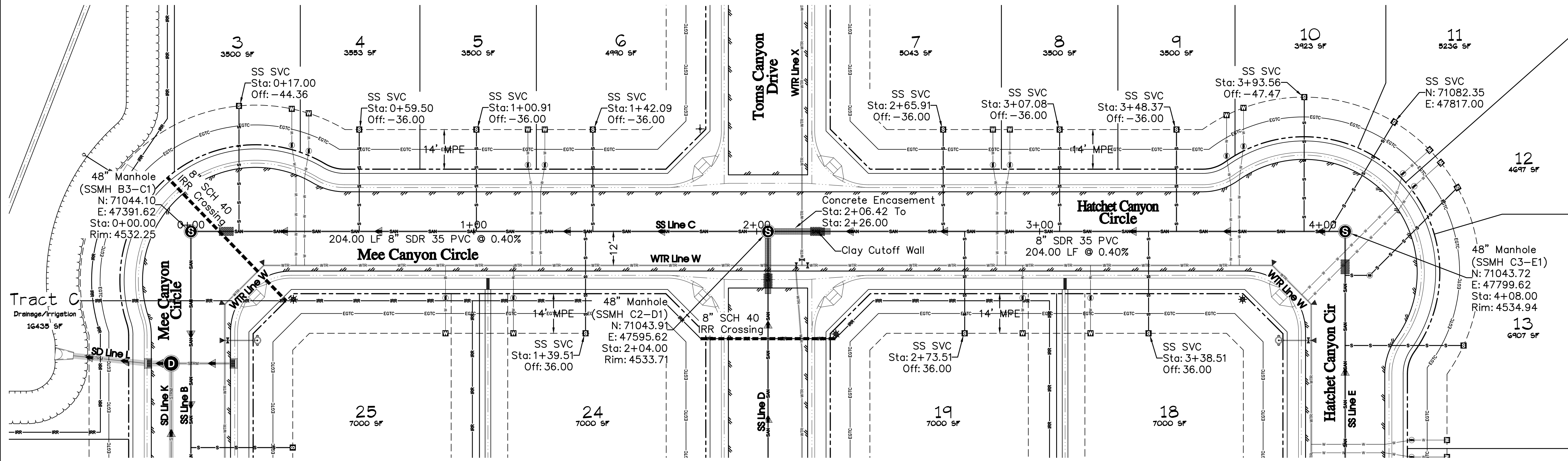
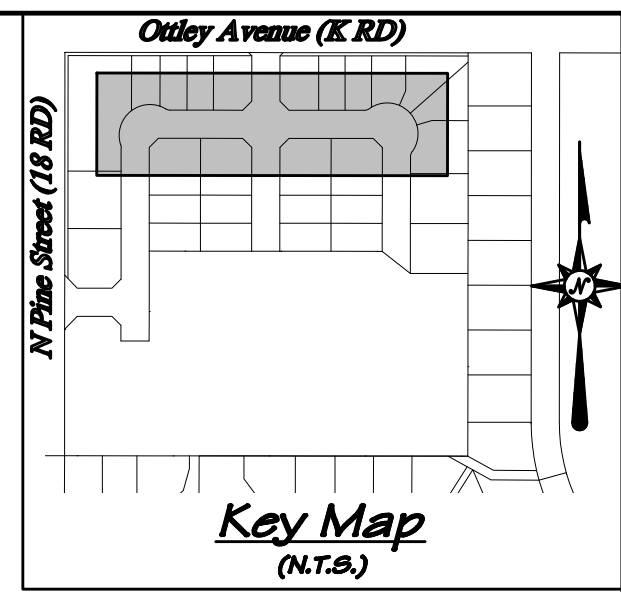
West Canyon  
 Sanitary Sewer Plan & Profile  
 SS Line A

C19

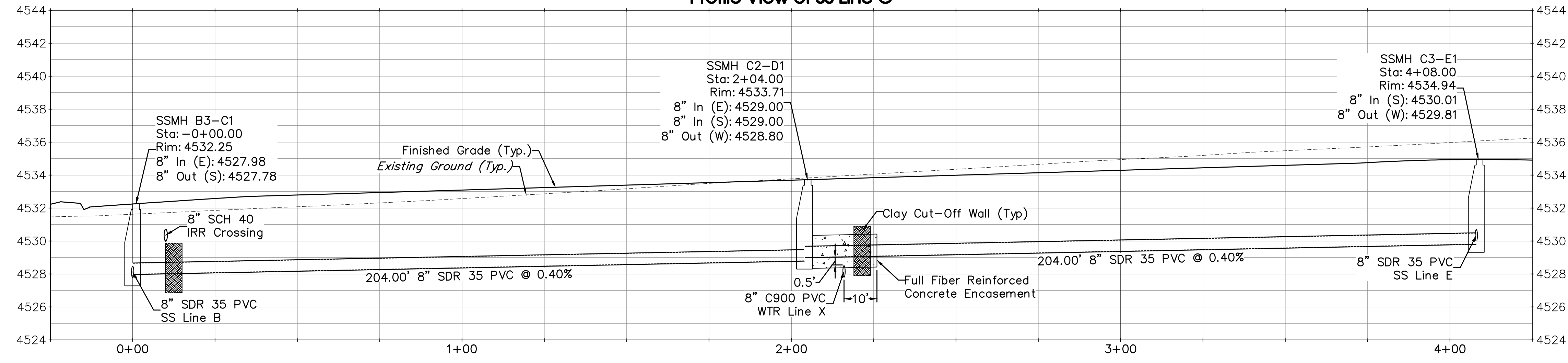








Profile View of SS Line C



**UTILITY SHEETS**

- SS Line B..... Sheet C20
- SS Line D..... Sheet C22
- SS Line E..... Sheet C22
- SD Line L..... Sheet C24
- SD Line K..... Sheet C23
- WTR Line V..... Sheet C27
- WTR Line W..... Sheet C28
- WTR Line X..... Sheet C29
- WTR Line Y..... Sheet C30

- Note:**
- Sewer mains and service lines within the roadway right of way which have less than 4 feet of cover shall be installed using PVC pressure pipe, AWWA C-900.
  - Where Cover is less than 2' from the top of sewer pipe to bottom of roadway base course, flowable fill concrete shall be used as backfill, per City of Fruita Design Criteria and Construction Specifications Manual section 3.6 (O).

**ACCEPTANCE BLOCK**  
 The City of Fruita constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
 (FEET)  
 0 20 40  
 HORIZONTAL  
 VERTICAL: 1" = 4'

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 Fax: 970.241.8841  
 www.rcwest.com  
 DRAWN BY: jdg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Sanitary Sewer Plan & Profile  
 SS Line C

**C21**

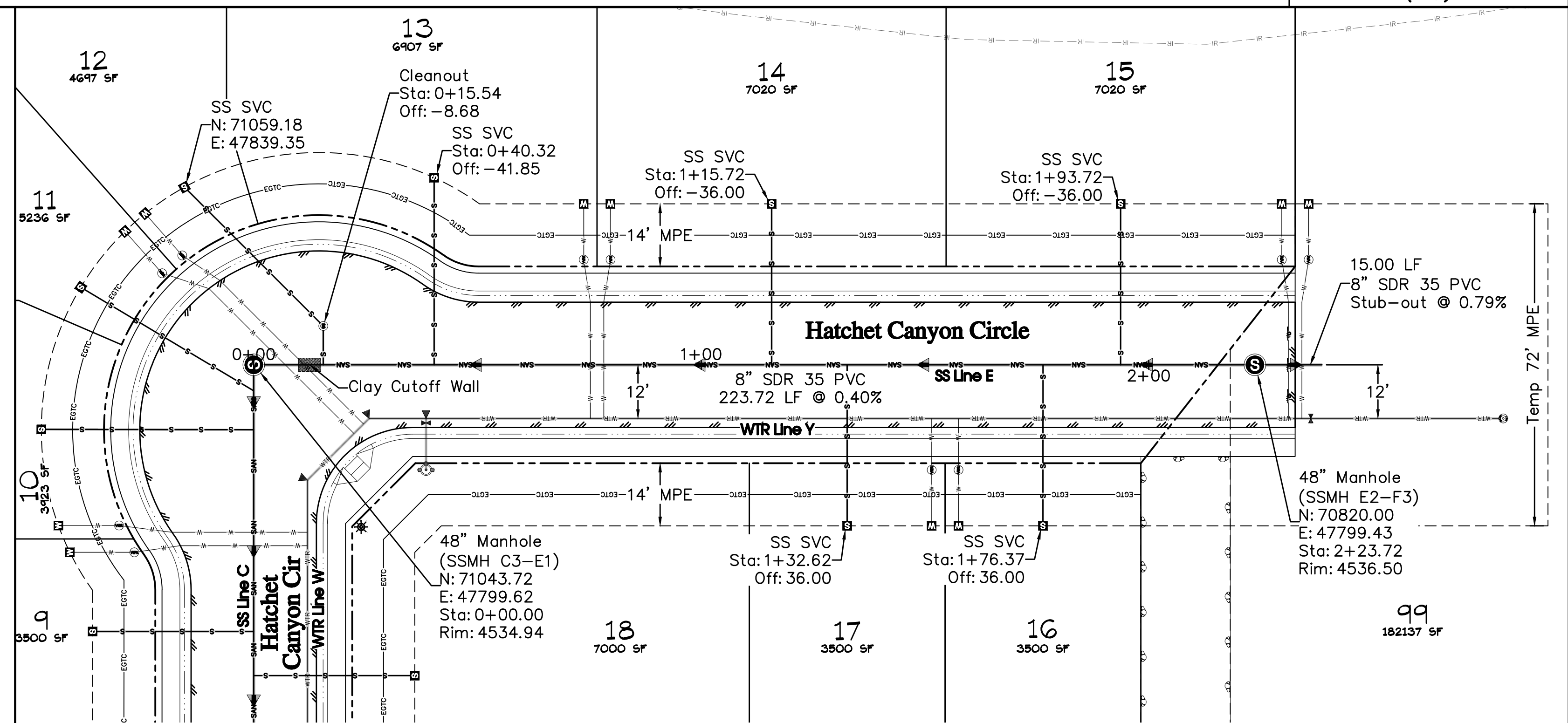
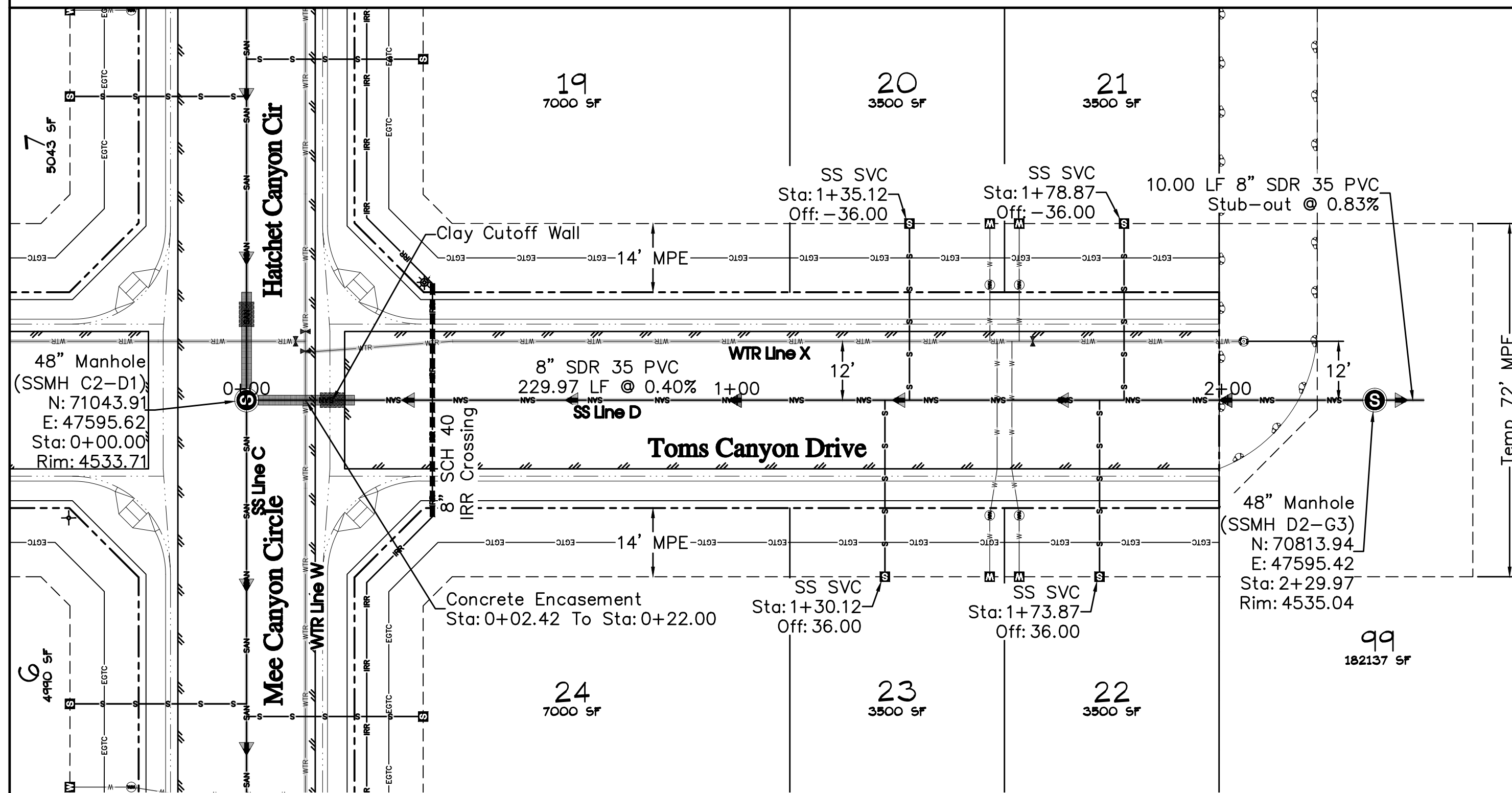
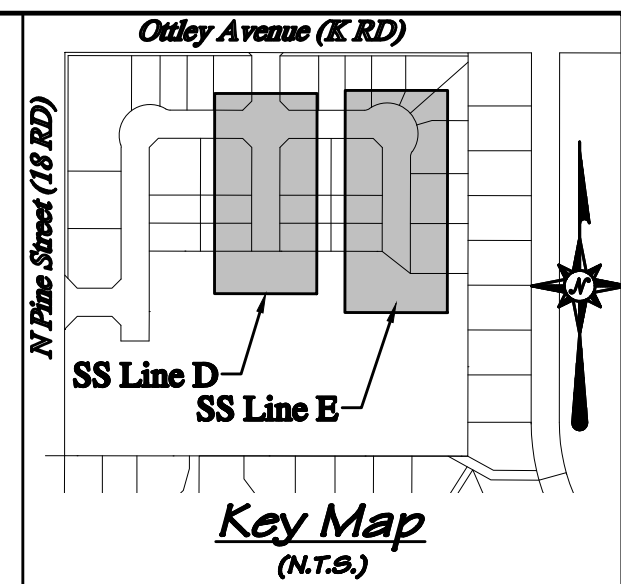


**Note:**

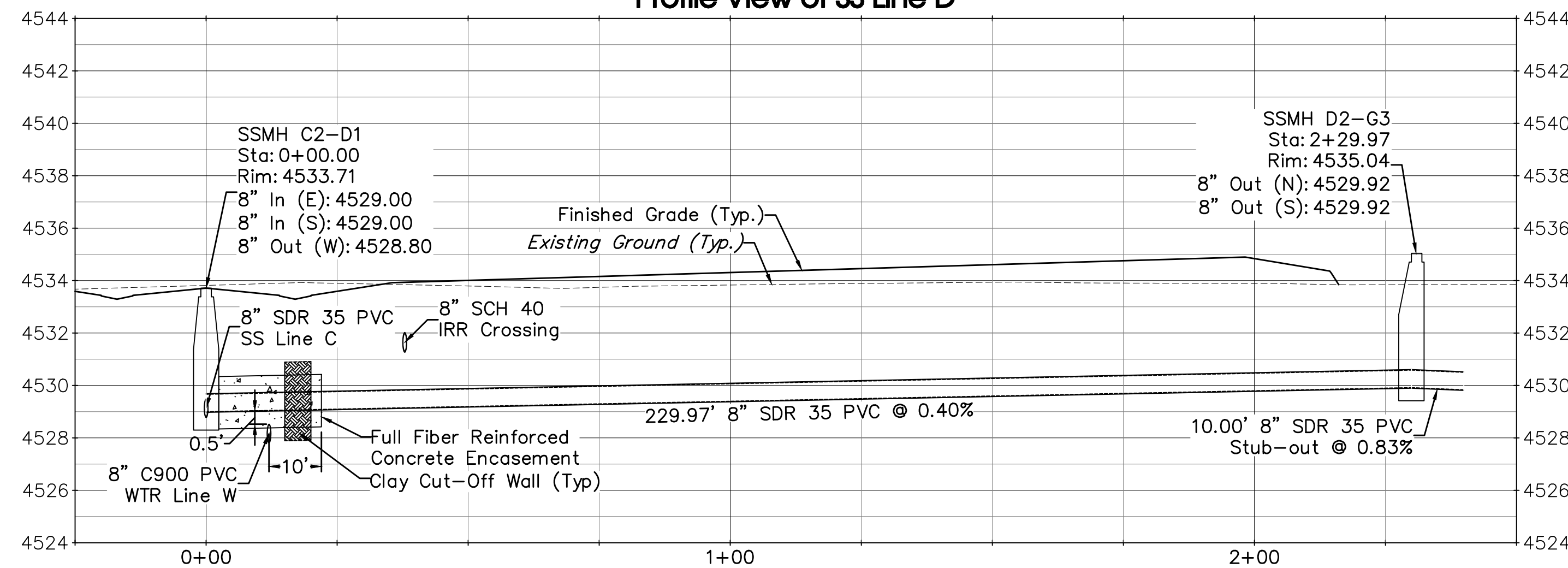
1. Sewer mains and service lines within the roadway right of way which have less than 4 feet of cover shall be installed using PVC pressure pipe, AWWA C-900.
2. Where Cover is less than 2' from the top of sewer pipe to bottom of roadway base course, flowable fill concrete shall be used as backfill, per City of Fruita Design Criteria and Construction Specifications Manual section 3.6 (0).

**UTILITY SHEETS**

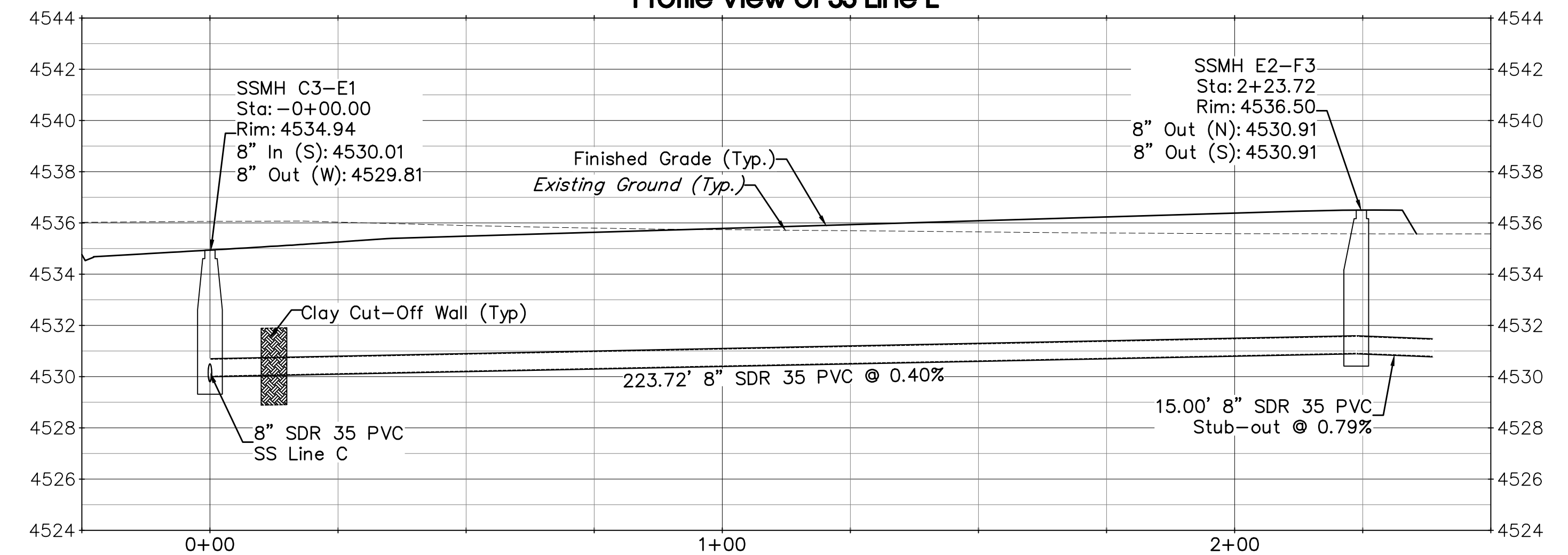
SS Line C..... Sheet C21  
 WTR Line W..... Sheet C28  
 WTR Line X..... Sheet C29  
 WTR Line Y..... Sheet C30



**Profile View of SS Line D**



**Profile View of SS Line E**



**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**811 UNCC**  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
 0 20 40  
 HORIZONTAL  
 VERTICAL: 1" = 4'

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

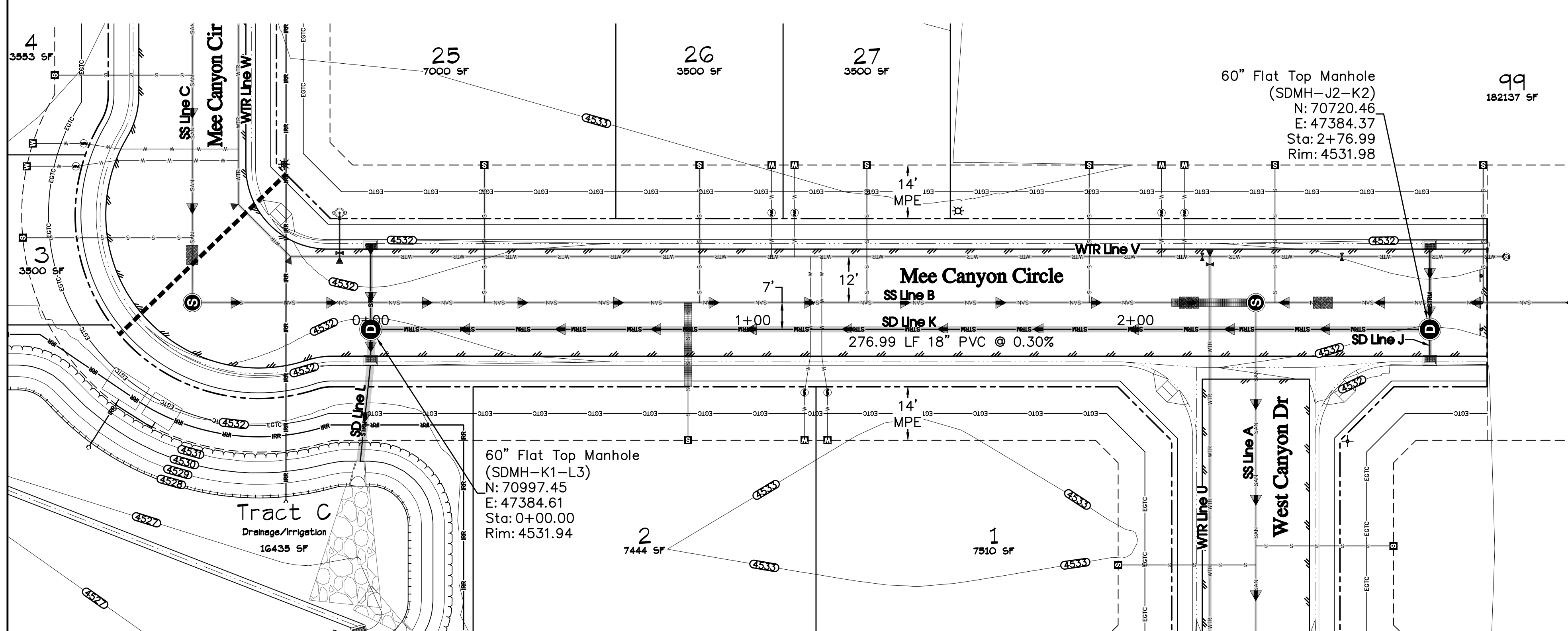
**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501  
 Phone: 970.241.4722 Fax: 970.241.8841  
 www.rcwest.com

DRAWN BY: jlg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Sanitary Sewer Plan & Profile  
 SS Line D & E

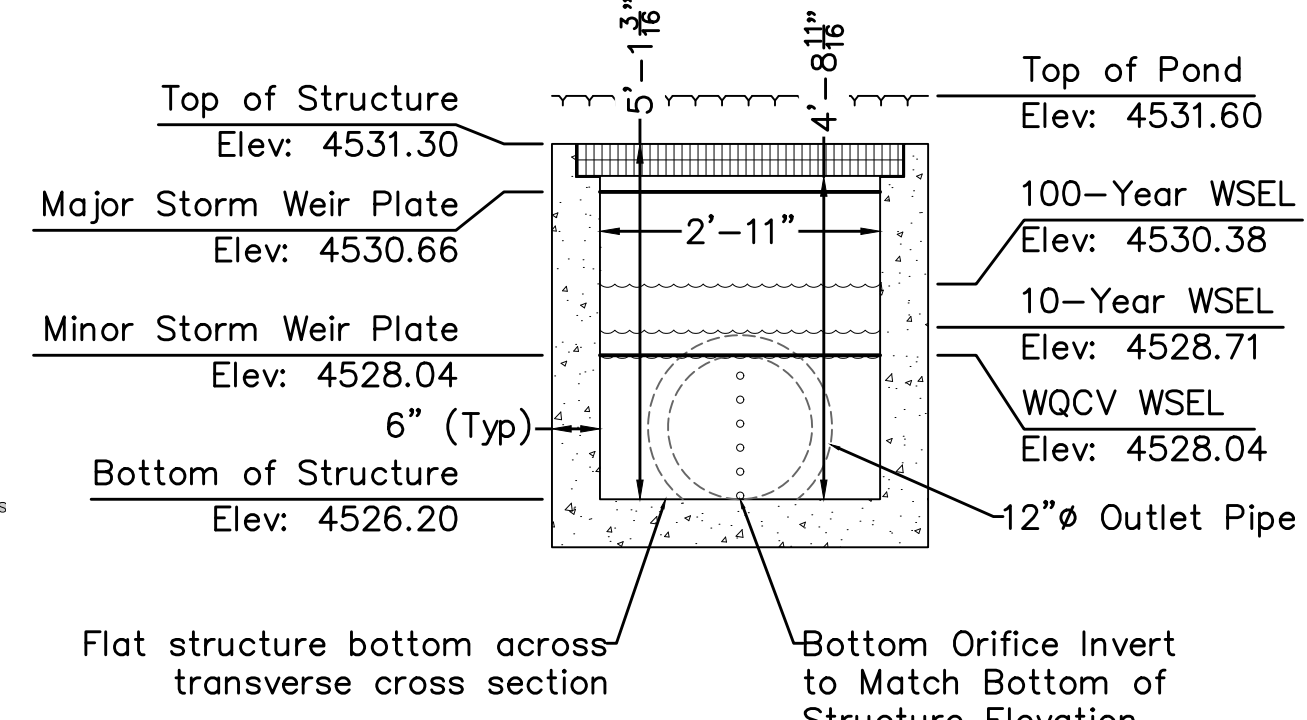
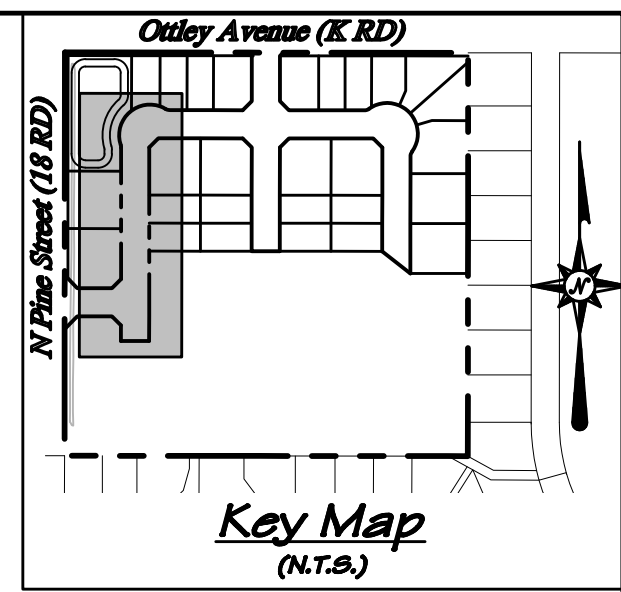
City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_



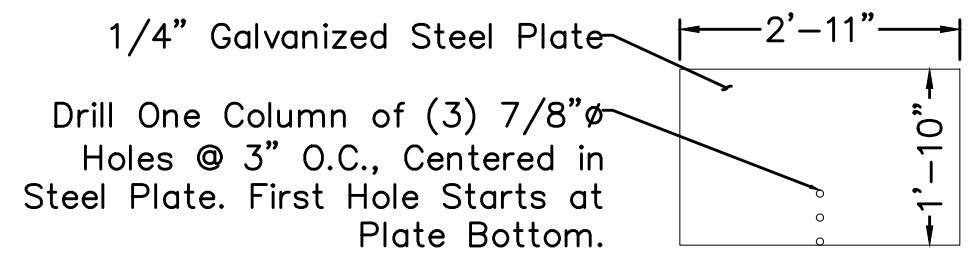


**Notes:**

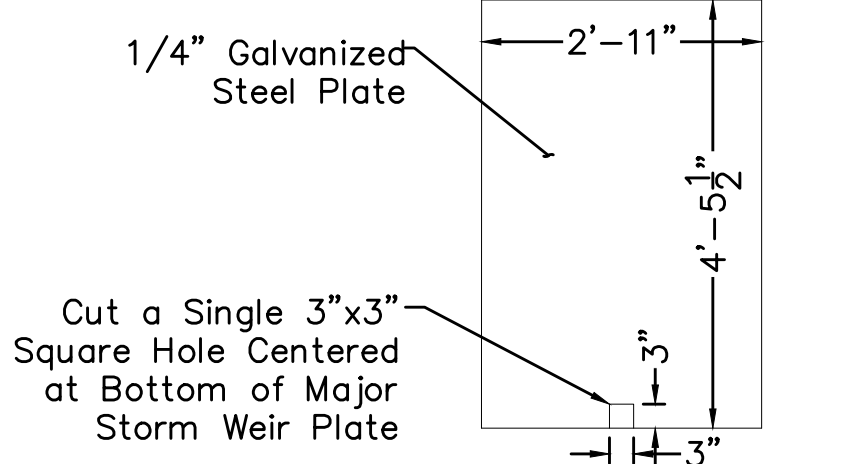
1. Precast manufacturer to submit shop drawings and calculations for Engineer to review.
2. Contractor to submit specifications for post installed anchor for approval.
3. Silicon seal all weir plates to walls.
4. Gate shall be removable for access and cleaning of structure. Gate shall also be lockable for security and safety.
5. Floor of structure shall be flat across the transverse and longitudinal cross sections (see section views) to allow for proper screening and weir plate installation.



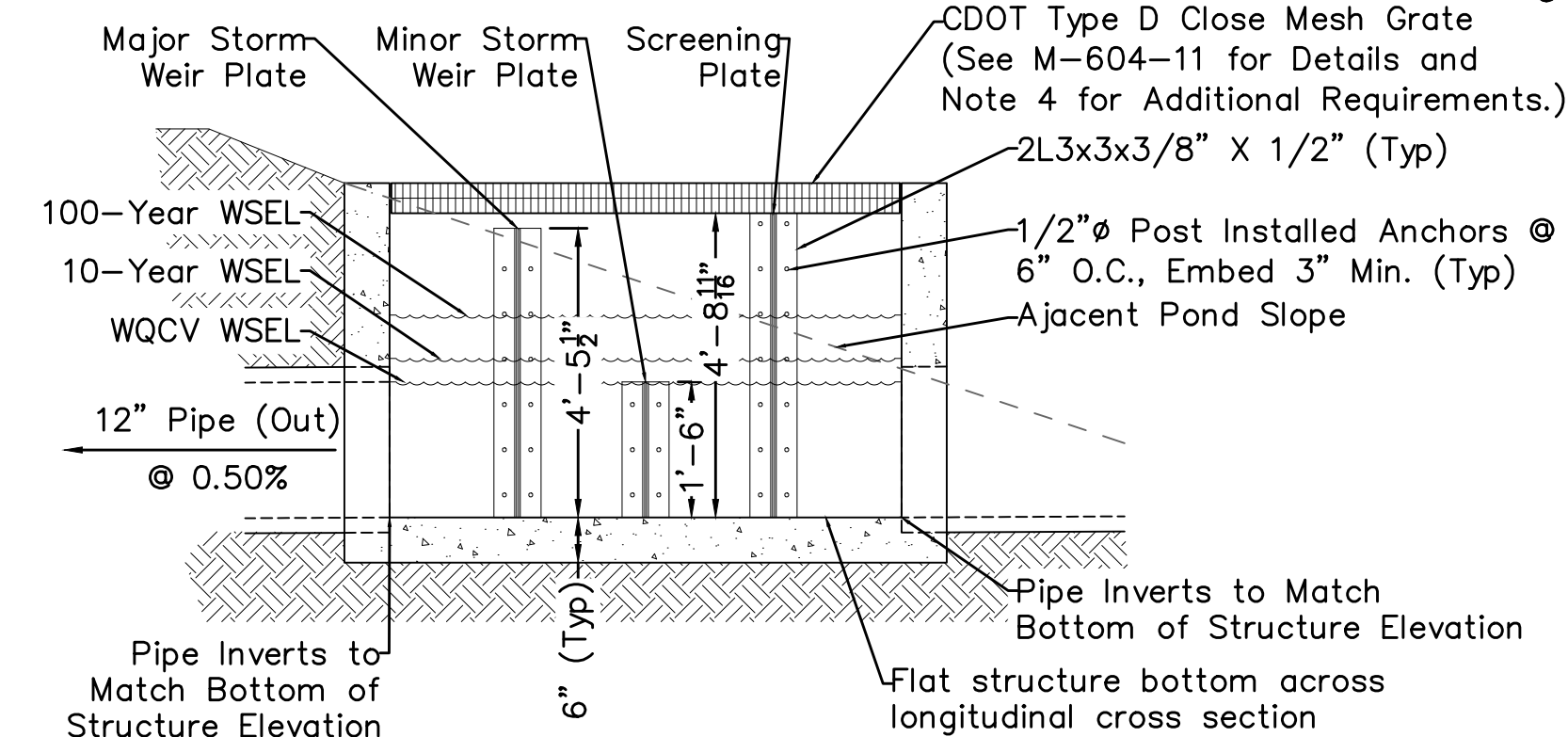
**Section View B-B**



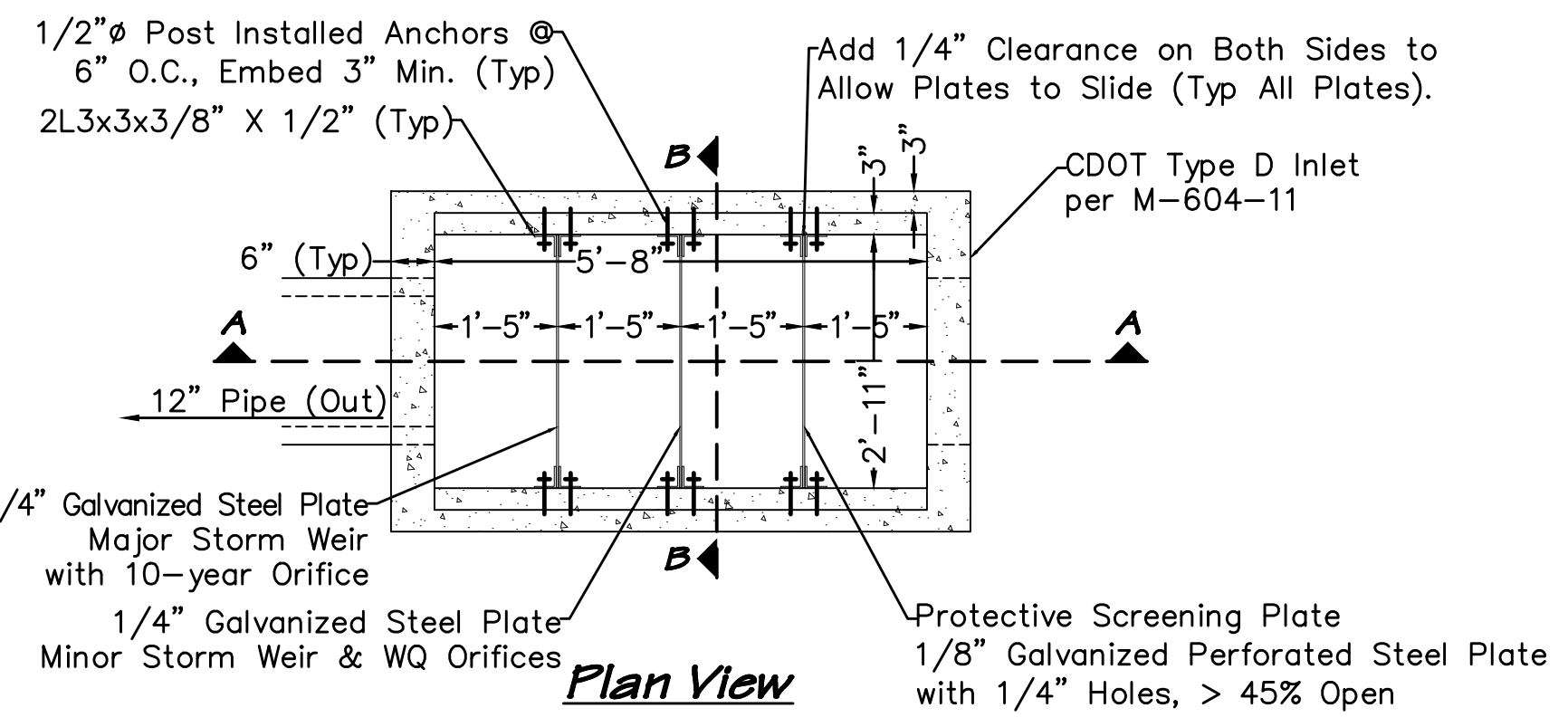
**Minor Storm Weir Plate**



**Major Storm Weir Plate**



**Section View A-A**



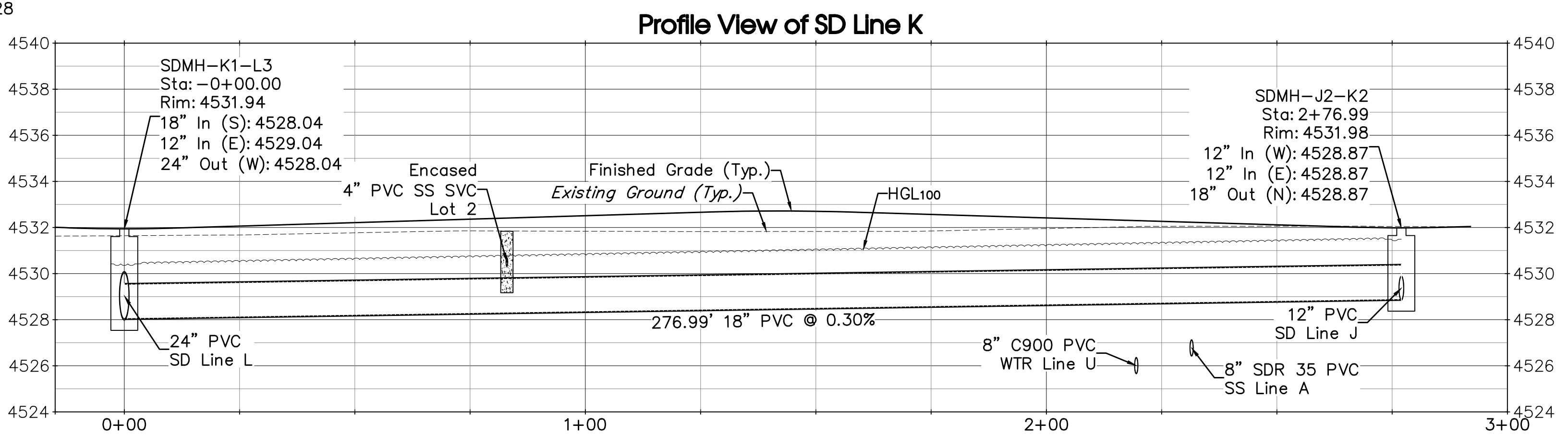
**Plan View**

**Detention Pond Outlet Structure Detail (NTS)**

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**UTILITY SHEETS**

- SS Line A..... Sheet C19
- SS Line B..... Sheet C20
- SS Line C..... Sheet C21
- SD Line J..... Sheet C24
- SD Line L..... Sheet C24
- SD Line M..... Sheet C25
- WTR Line U..... Sheet C26
- WTR Line V..... Sheet C27
- WTR Line W..... Sheet C28



**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
 HORIZONTAL: 0 20 40  
 VERTICAL: 1" = 4'  
 CONTOUR INTERVAL: 1 FT

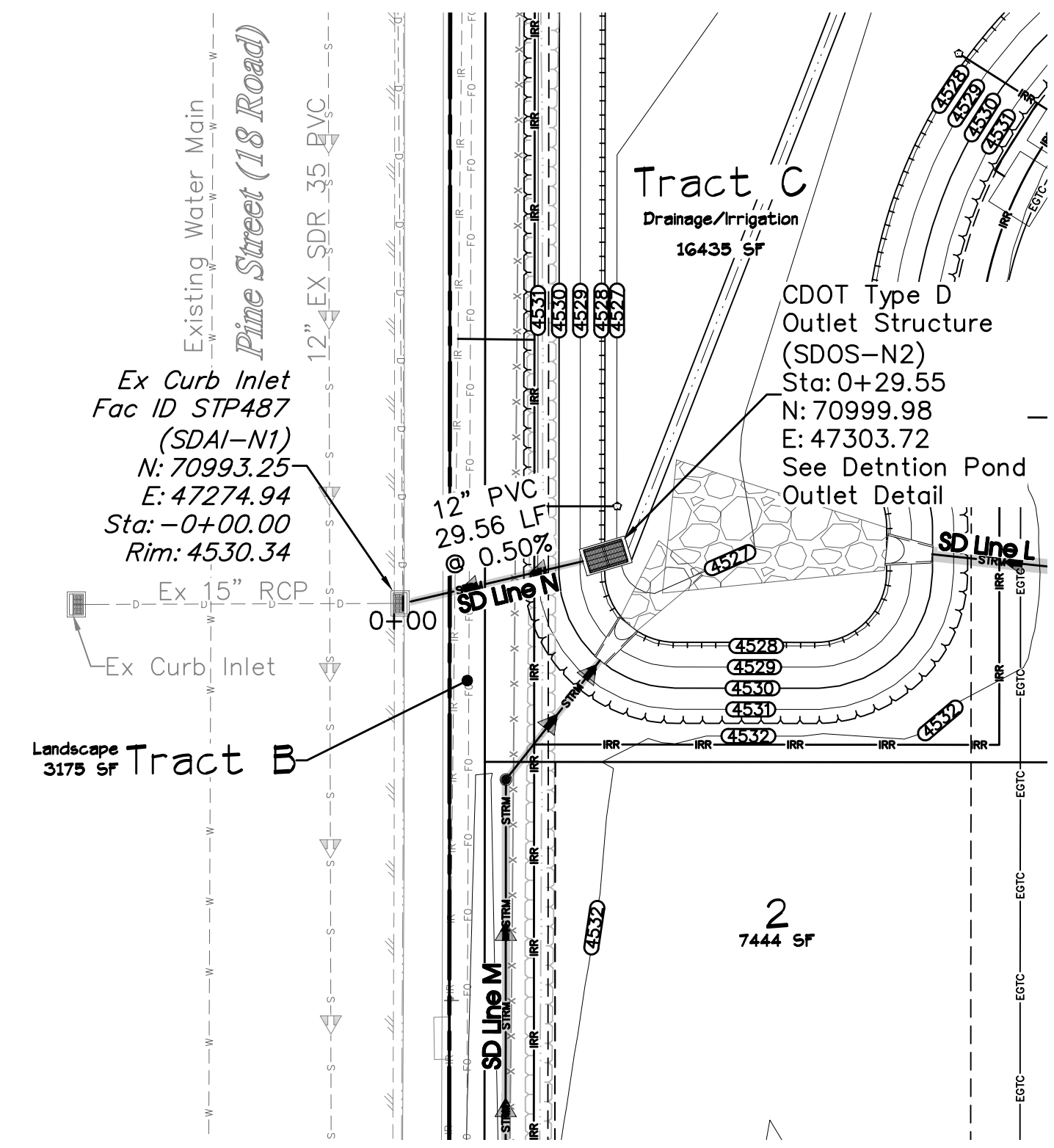
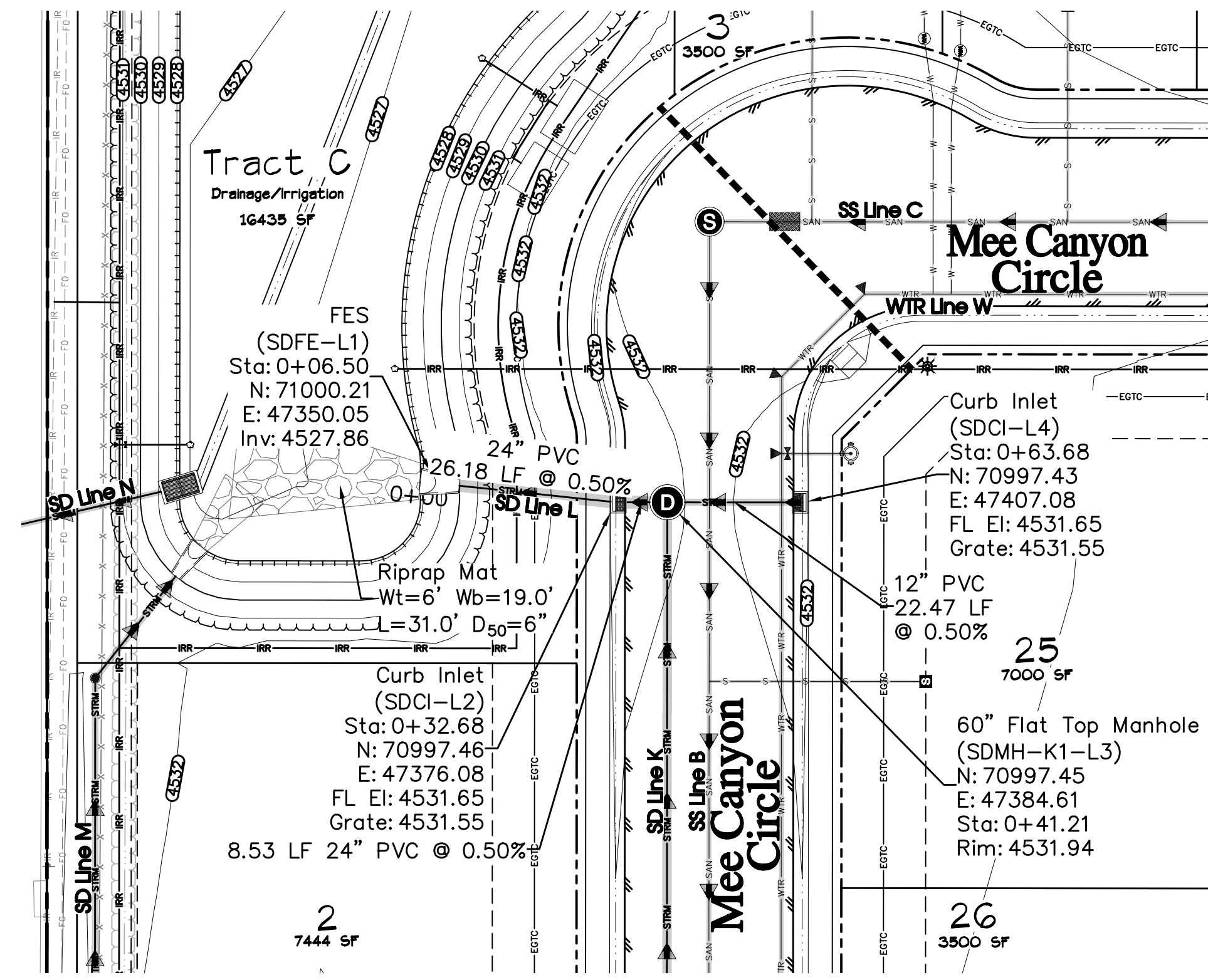
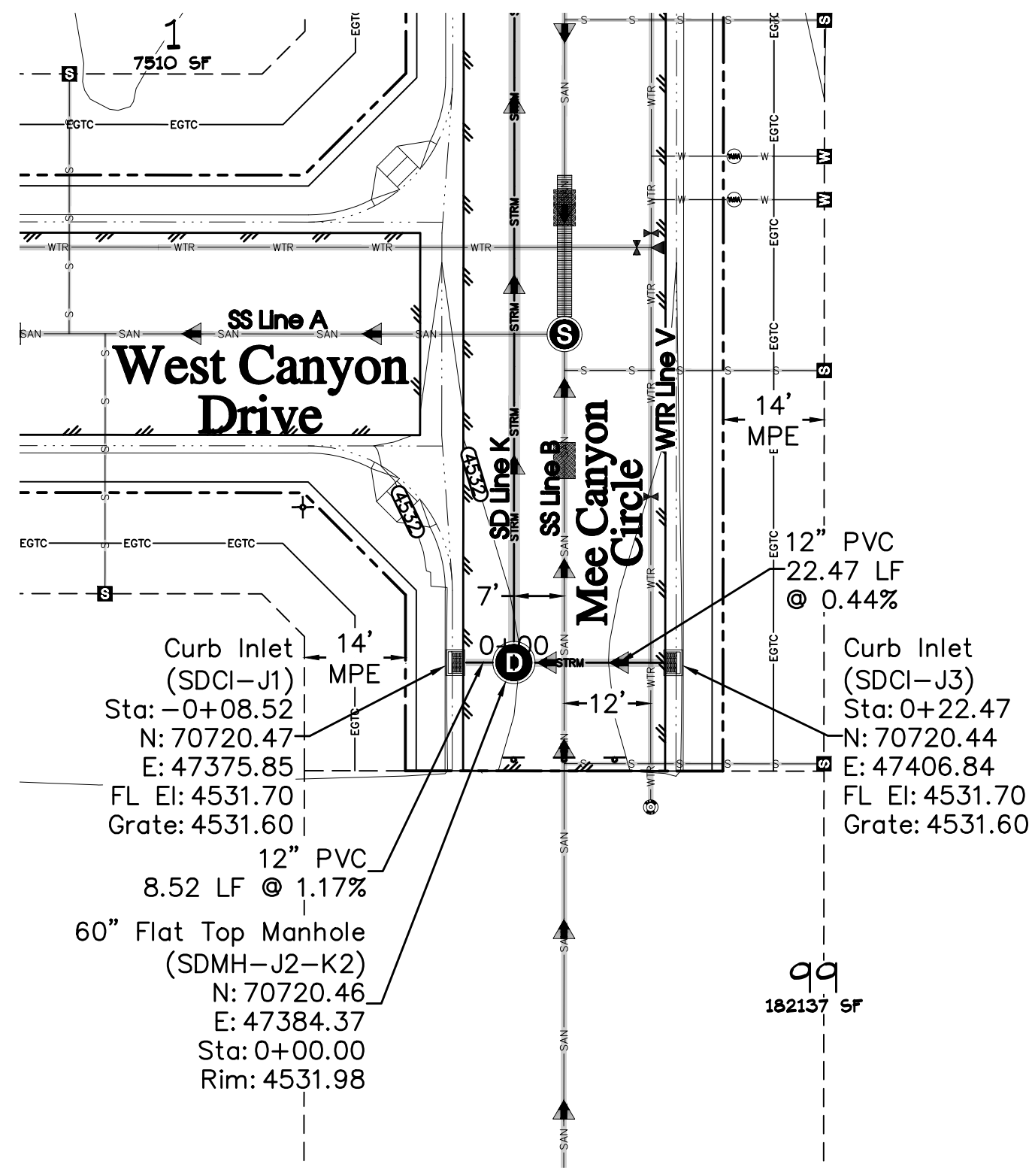
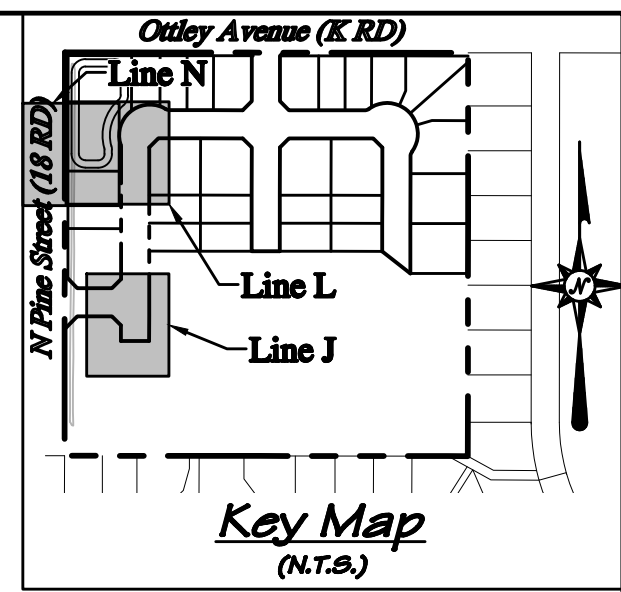
PROJECT PHASE: Preliminary/Review		DATE ISSUED: 01.DEC.2023	
NO.	DATE	REVISION	BY

**PRELIMINARY**

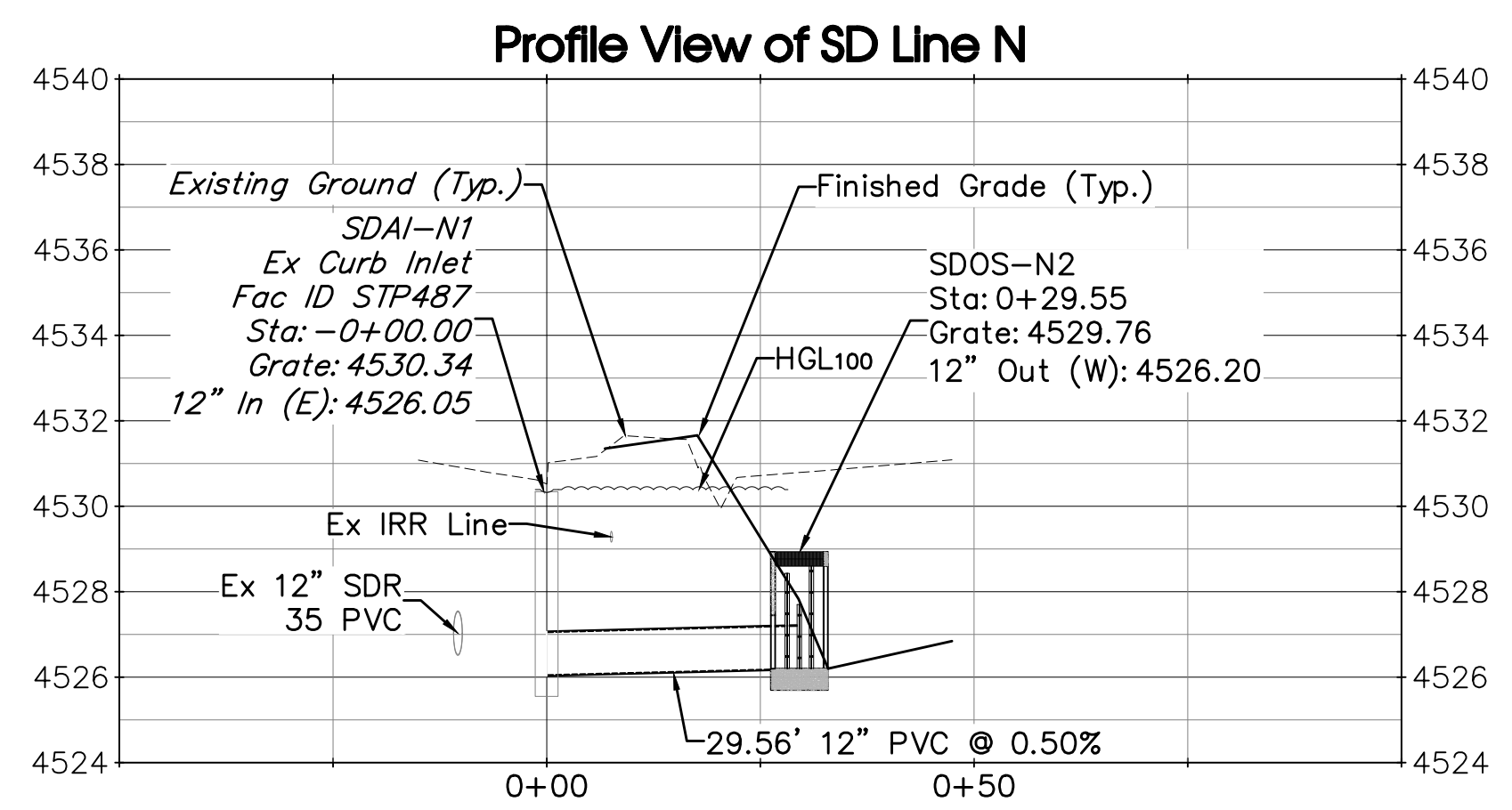
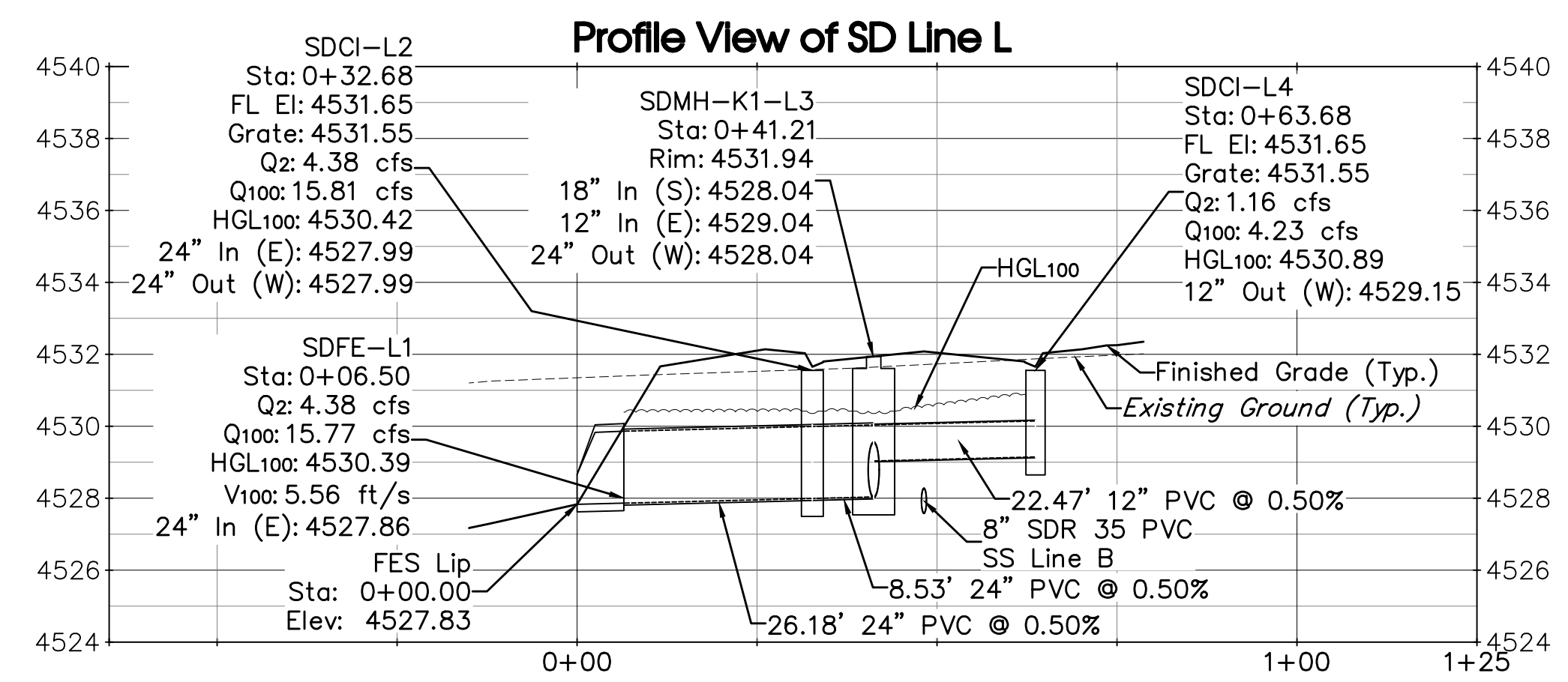
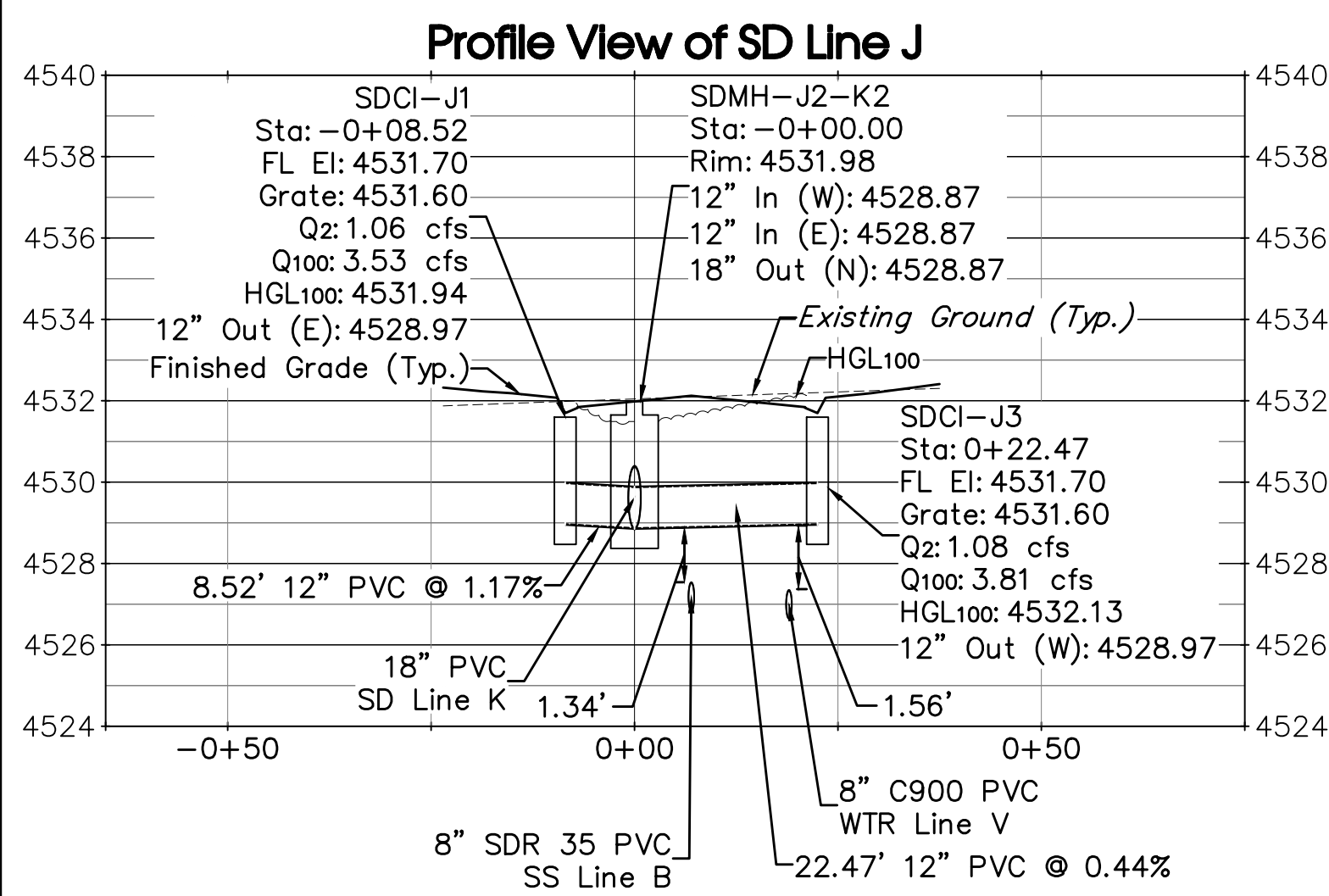
**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201  
 Grand Junction, CO 81501  
 Phone: 970.241.4722  
 Fax: 970.241.8941  
 www.rcwest.com

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Storm Drain Plan & Profile  
 SD Line K





**Note:**  
See Sheet C23 for more Outlet Structure Information



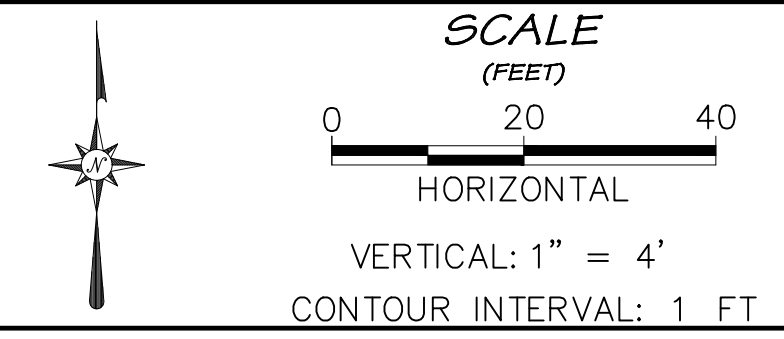
**UTILITY SHEETS**

SS Line A.....	Sheet C19
SS Line B.....	Sheet C20
SS Line C.....	Sheet C21
SD Line K.....	Sheet C23
SD Line M.....	Sheet C25
WTR Line U.....	Sheet C26
WTR Line V.....	Sheet C27
WTR Line W.....	Sheet C28

**ACCEPTANCE BLOCK**  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**811 UNCC**  
Know what's below. Call before you dig.  
800.922.1987  
www.uncc.org  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary/Review		DATE ISSUED: 01.DEC.2023	
NO.	DATE	REVISION	BY

**PRELIMINARY**

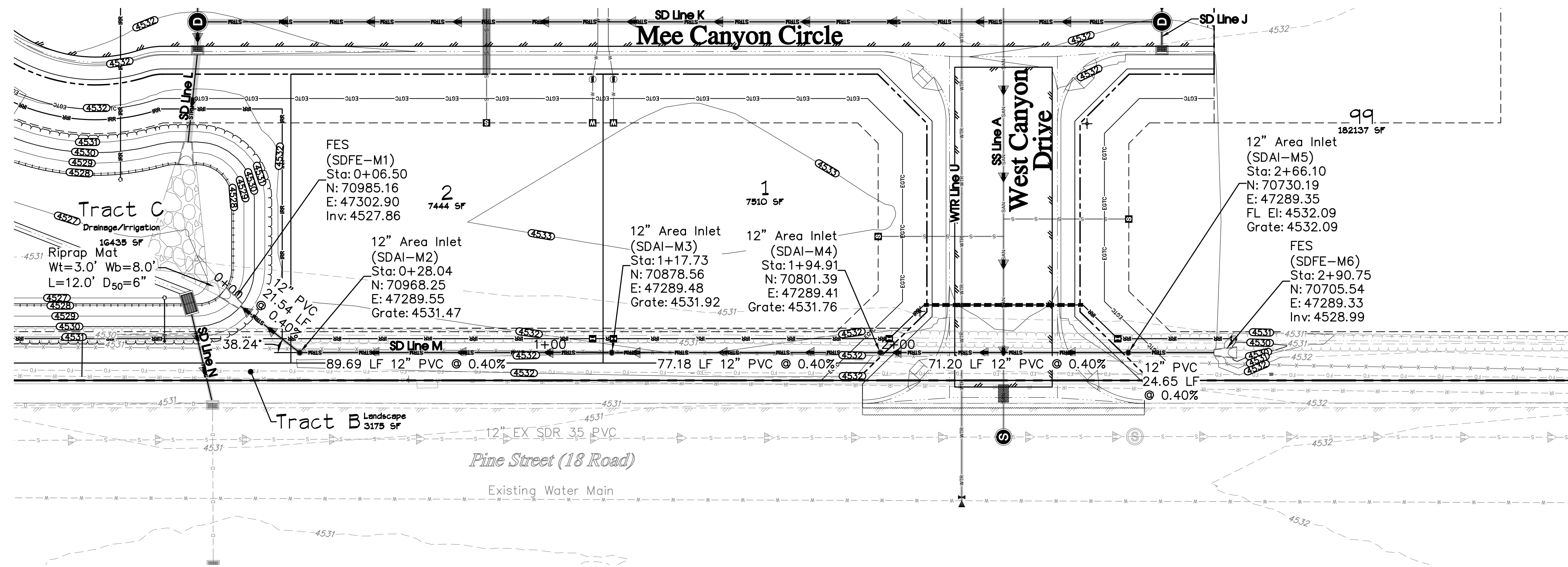
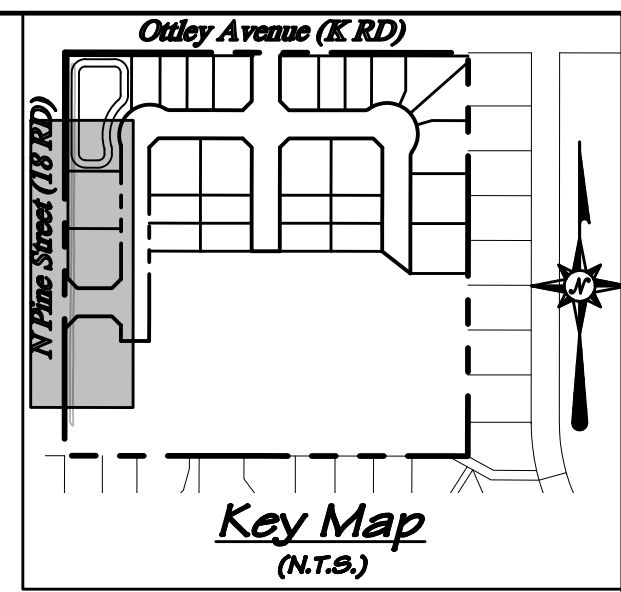
**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501  
Phone: 970.241.4722 Fax: 970.241.8841  
www.rcwest.com

DRAWN BY: idg PROJECT: 0208-029  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

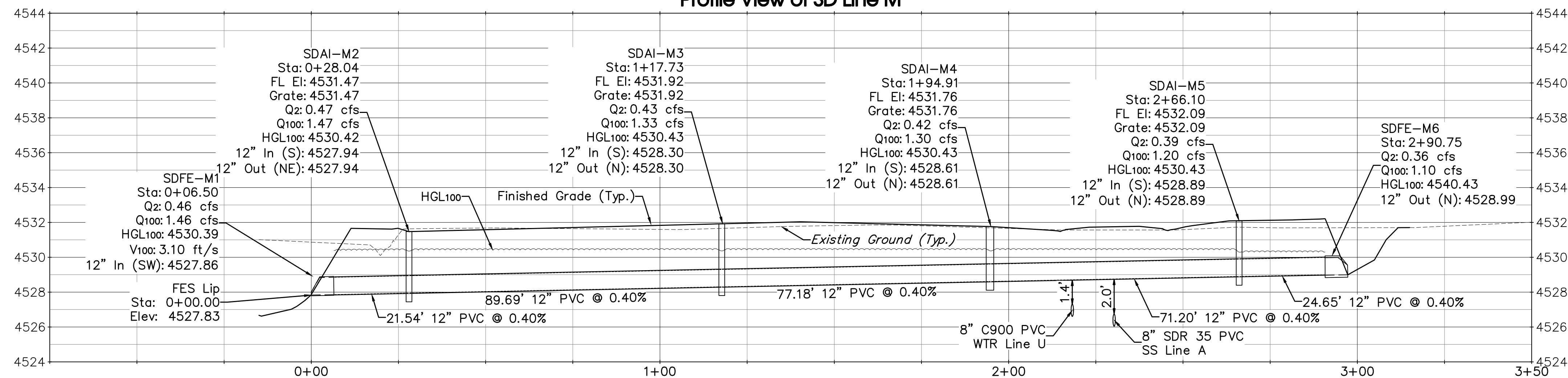
**WEST CANYON FRUITA, LLC**  
West Canyon  
Storm Drain Plan & Profile  
SD Line J, L & N

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_





Profile View of SD Line M



**UTILITY SHEETS**

SS Line A.....	Sheet C19
SD Line J.....	Sheet C24
SD Line K.....	Sheet C23
SD Line L.....	Sheet C24
SD Line N.....	Sheet C24
WTR Line U.....	Sheet C26

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
 (FEET)  
 0 20 40  
 HORIZONTAL  
 VERTICAL: 1" = 4'  
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

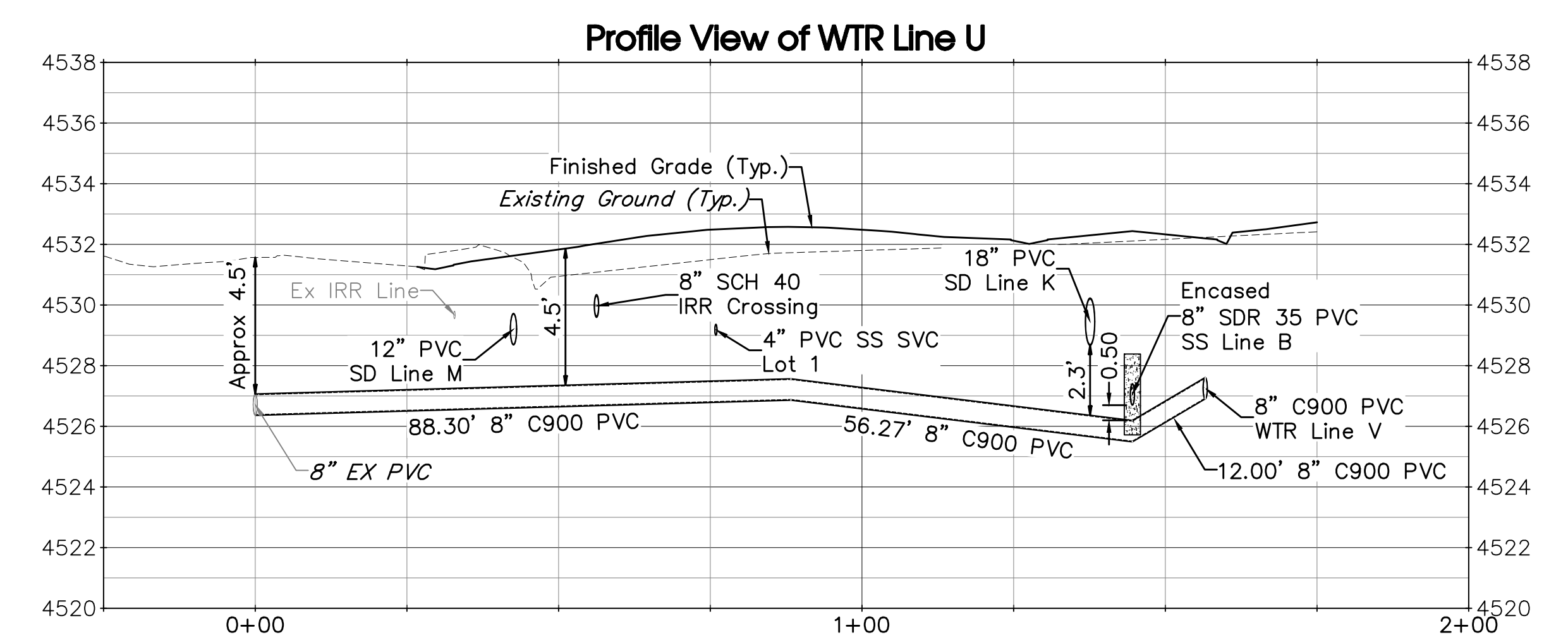
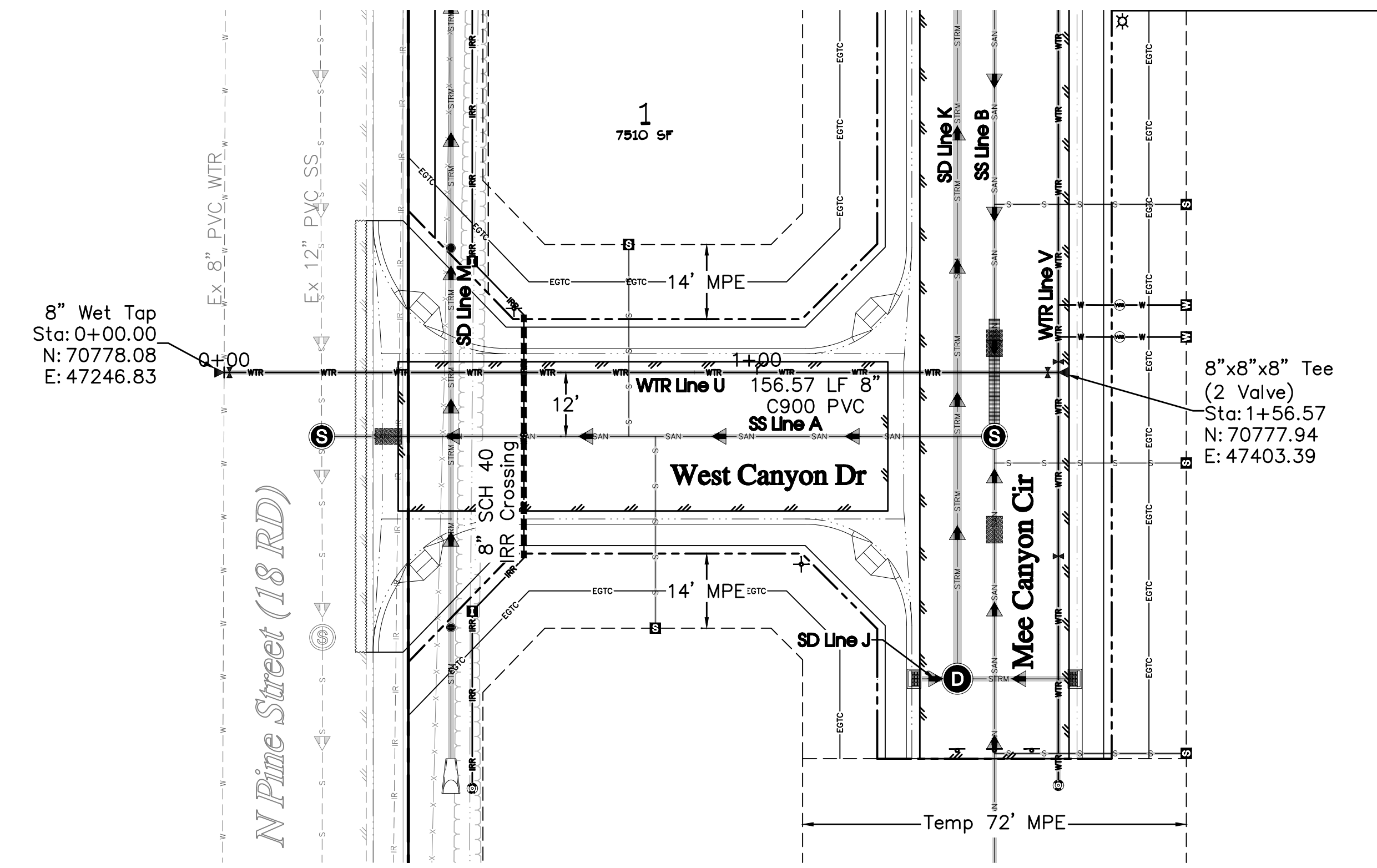
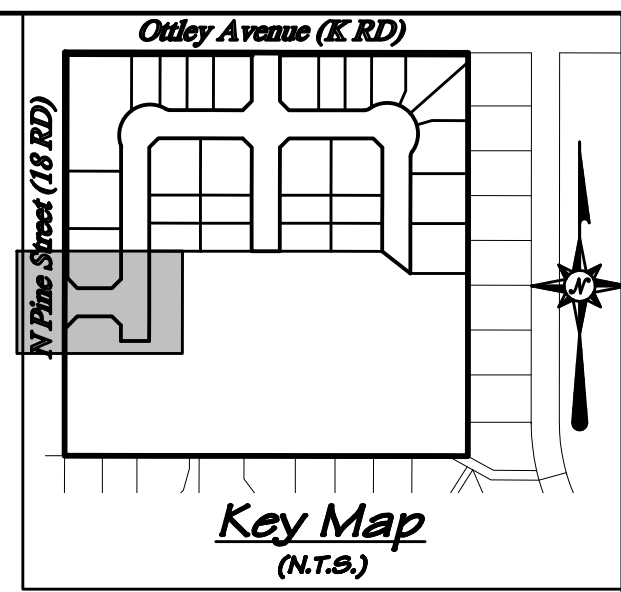
**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 Fax: 970.241.8841  
 www.rcwest.com  
 DRAWN BY: idg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Storm Drain Plan & Profile  
 SD Line M

**C25**





**UTILITY SHEETS**

- SS Line A..... Sheet C19
- SS Line B..... Sheet C20
- SD Line J..... Sheet C24
- SD Line K..... Sheet C23
- SD Line M..... Sheet C25
- WTR Line V..... Sheet C27

**General Notes**

1. Adjacent property lines are taken from the Mesa County GIS Website and are shown for reference only.
2. The legend and a list of abbreviations can be found on Sheet C4.
3. All Ute Water District waterlines to be tested in accordance with district standard drawings and specifications prior to street construction.

ACCEPTANCE BLOCK  
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Utility District Representative \_\_\_\_\_ Date \_\_\_\_\_

ACCEPTANCE BLOCK  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
UNCC  
Know what's below.  
Call before you dig.  
800.922.1987  
www.uncc.org  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
(FEET)  
0 20 40  
HORIZONTAL  
VERTICAL: 1" = 4'

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\04-Utility\0208-029 PR WTR.dwg [WTR Line U] 12/3/2023 7:59:40 PM

**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

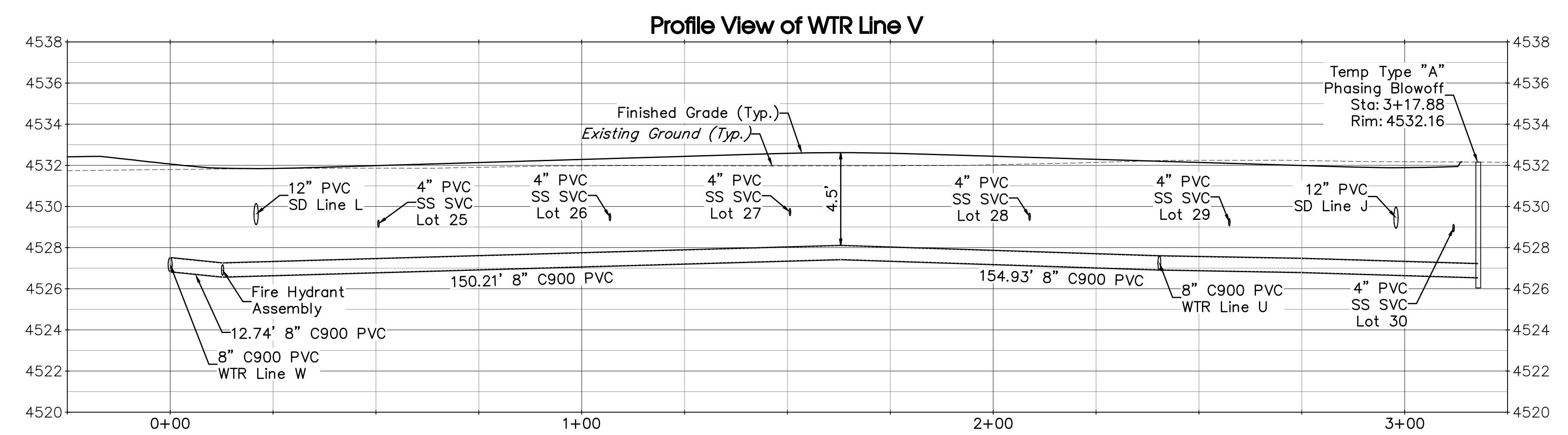
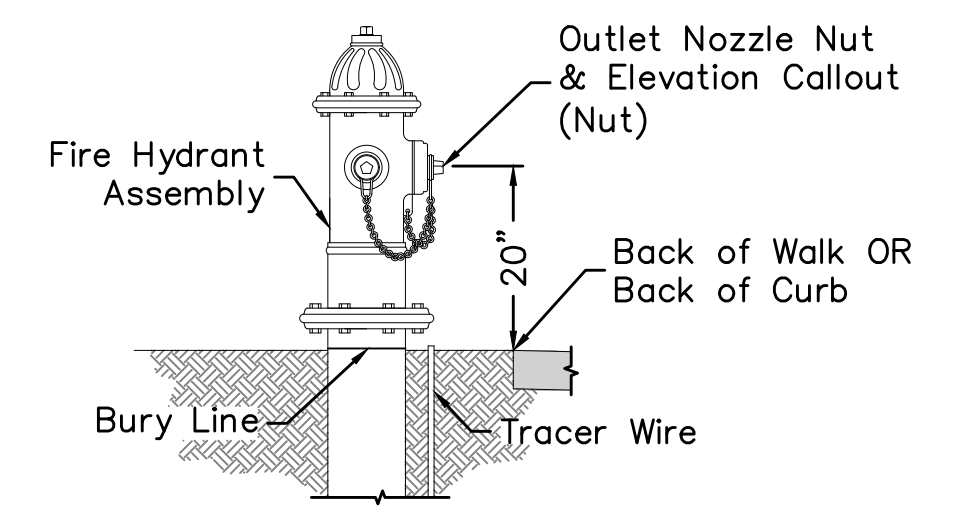
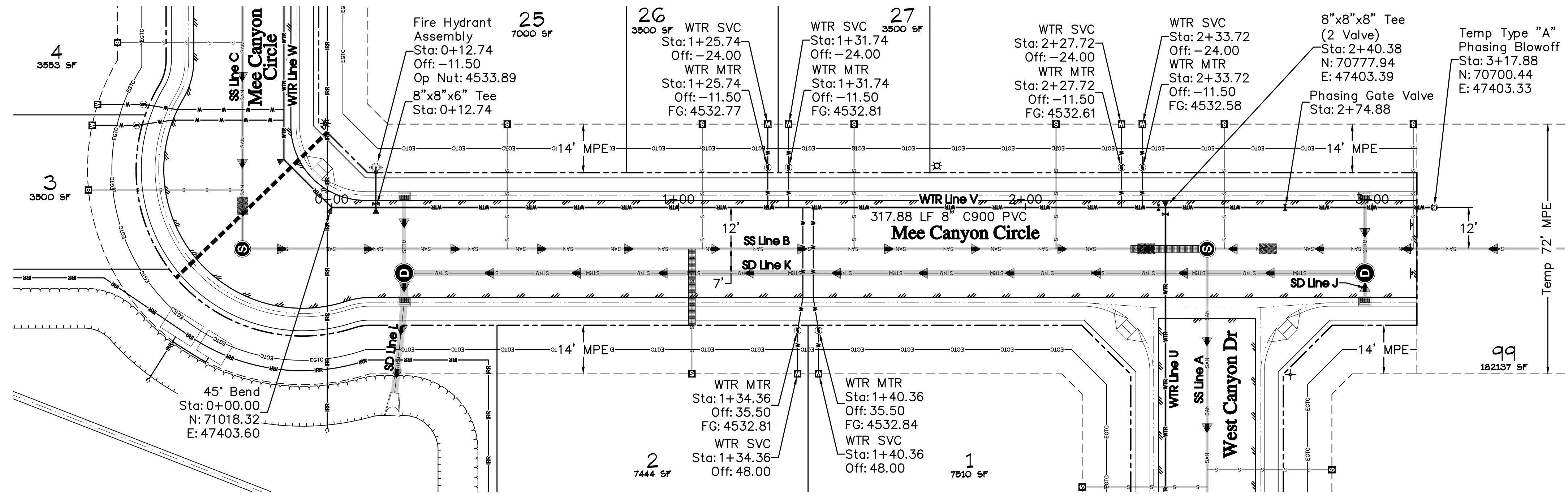
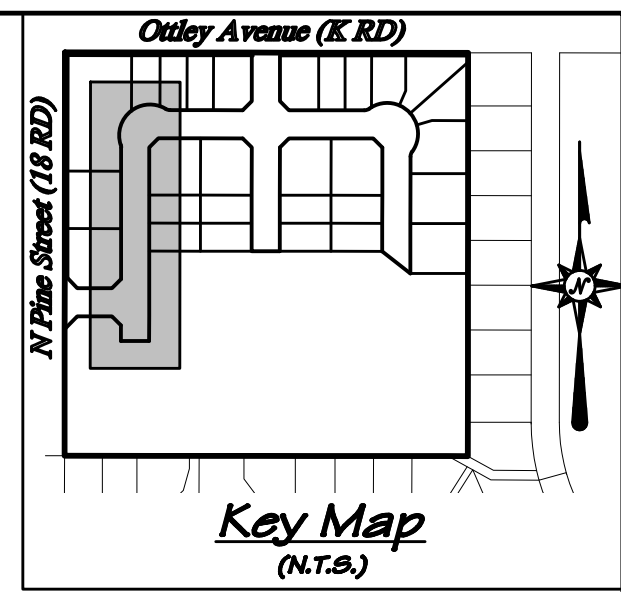
DRAWN BY: jlg PROJECT: 0208-029  
CHECKED BY: idg

ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
West Canyon  
Water Line Plan & Profile  
WTR Line U

**C26**





**UTILITY SHEETS**

- SS Line A..... Sheet C19
- SS Line B..... Sheet C20
- SS Line C..... Sheet C21
  
- SD Line J..... Sheet C24
- SD Line K..... Sheet C23
- SD Line L..... Sheet C24
  
- WTR Line U..... Sheet C26
- WTR Line W..... Sheet C28

**General Notes**

1. Adjacent property lines are taken from the Mesa County GIS Website and are shown for reference only.
2. The legend and a list of abbreviations can be found on Sheet C4.
3. All Ute Water District waterlines to be tested in accordance with district standard drawings and specifications prior to street construction.

ACCEPTANCE BLOCK  
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Utility District Representative \_\_\_\_\_ Date \_\_\_\_\_

ACCEPTANCE BLOCK  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
UNCC  
Know what's below.  
Call before you dig.  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
(FEET)  
0 20 40  
HORIZONTAL  
VERTICAL: 1" = 4'

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208\_John\_Thomas\_Dave\_Bagg\029\_K\_Road\_Fruita\Design\DWG\04-Utility\0208-029\_PR\_WTR.dwg [WTR Line V] 12/3/2023 7:59:50 PM

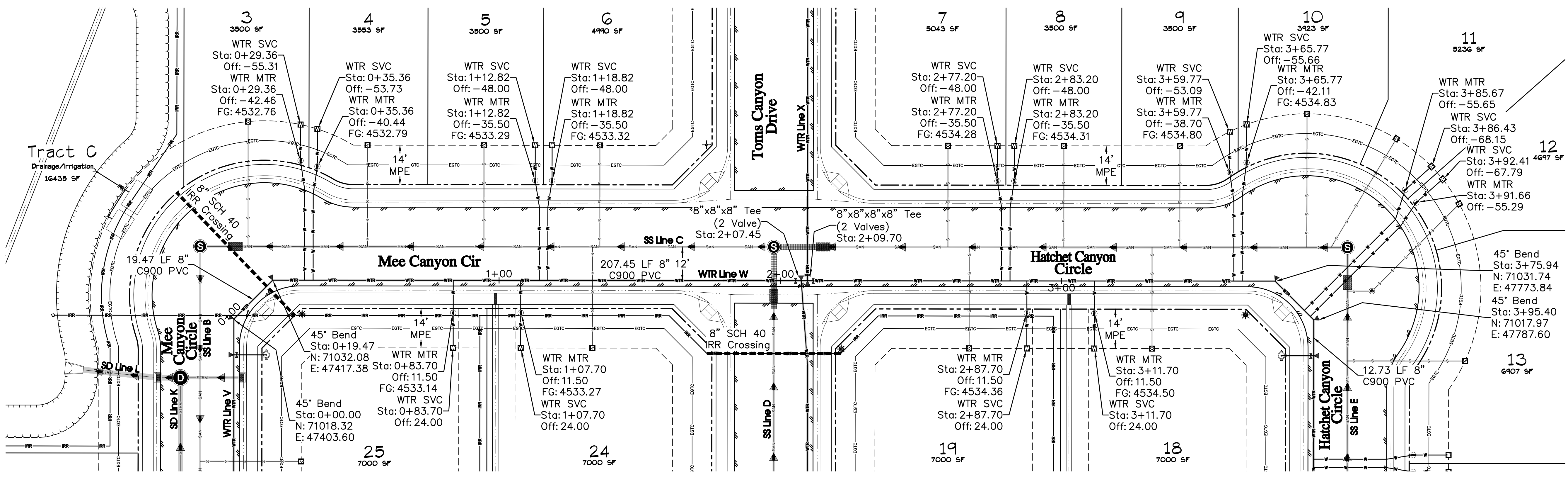
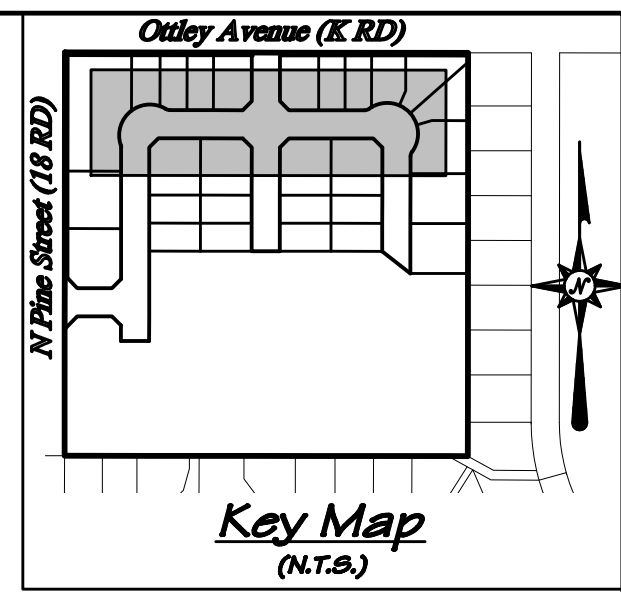
**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 Fax: 970.241.8841  
www.rcwest.com

DRAWN BY: jlg PROJECT: 0208-029  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

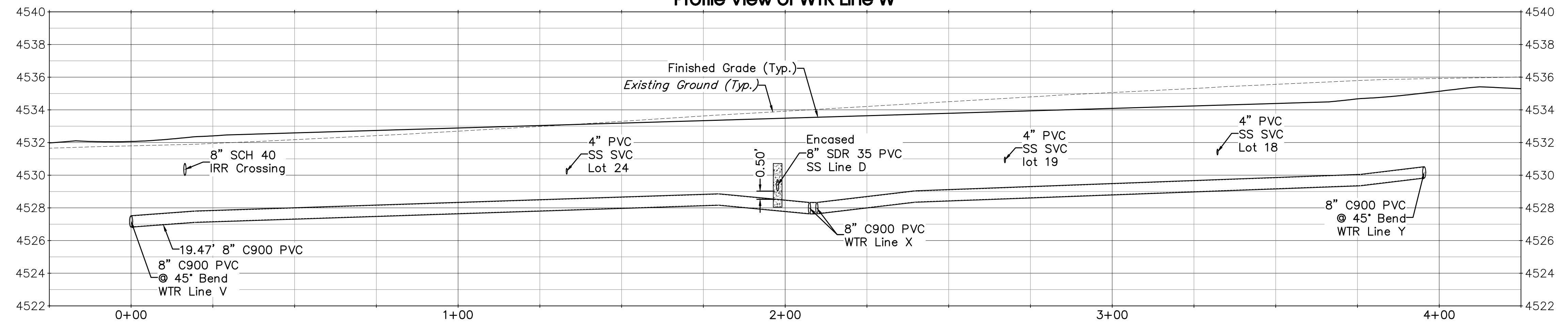
**WEST CANYON FRUITA, LLC**  
West Canyon  
Water Line Plan & Profile  
WTR Line V

C27





Profile View of WTR Line W



UTILITY SHEETS

- SS Line B..... Sheet C20
- SS Line C..... Sheet C21
- SS Line D & E..... Sheet C22
- SD Line L..... Sheet C24
- WTR Line V..... Sheet C27
- WTR Line X..... Sheet C29
- WTR Line Y..... Sheet C30

General Notes

- Adjacent property lines are taken from the Mesa County GIS Website and are shown for reference only.
- The legend and a list of abbreviations can be found on Sheet C4.
- All Ute Water District waterlines to be tested in accordance with district standard drawings and specifications prior to street construction.

ACCEPTANCE BLOCK  
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Utility District Representative \_\_\_\_\_ Date \_\_\_\_\_

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811 UNCC** Know what's below. Call before you dig. 800.922.1987 www.uncc.org

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**

HORIZONTAL: 0 40 80

VERTICAL: N/A

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

**RIVER CITY CONSULTANTS**

215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501 Phone: 970.241.4722 Fax: 970.241.8841

DRAWN BY: idg PROJECT: 0208-029  
CHECKED BY: idg

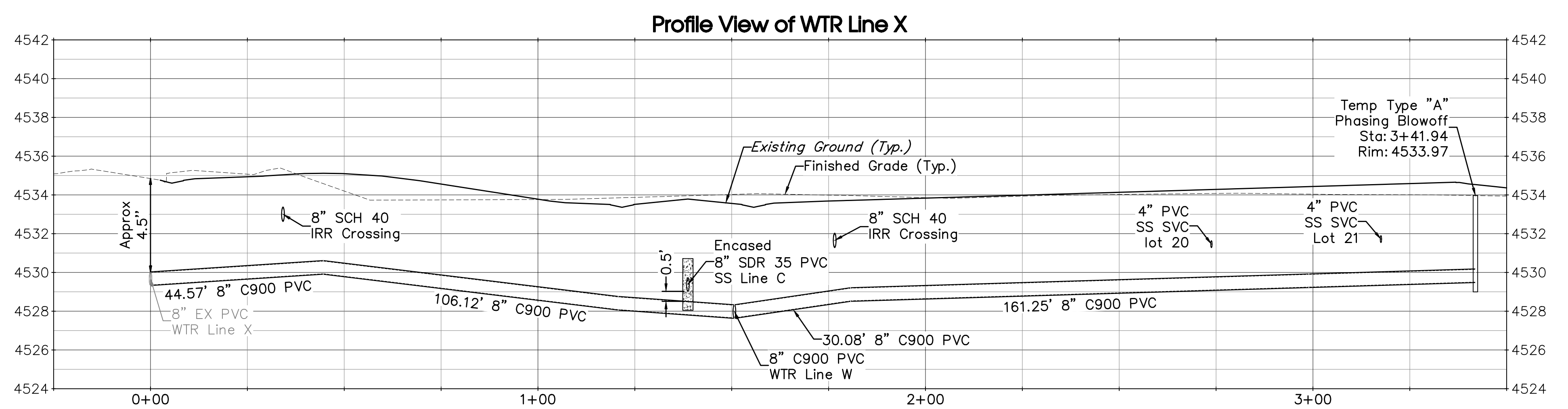
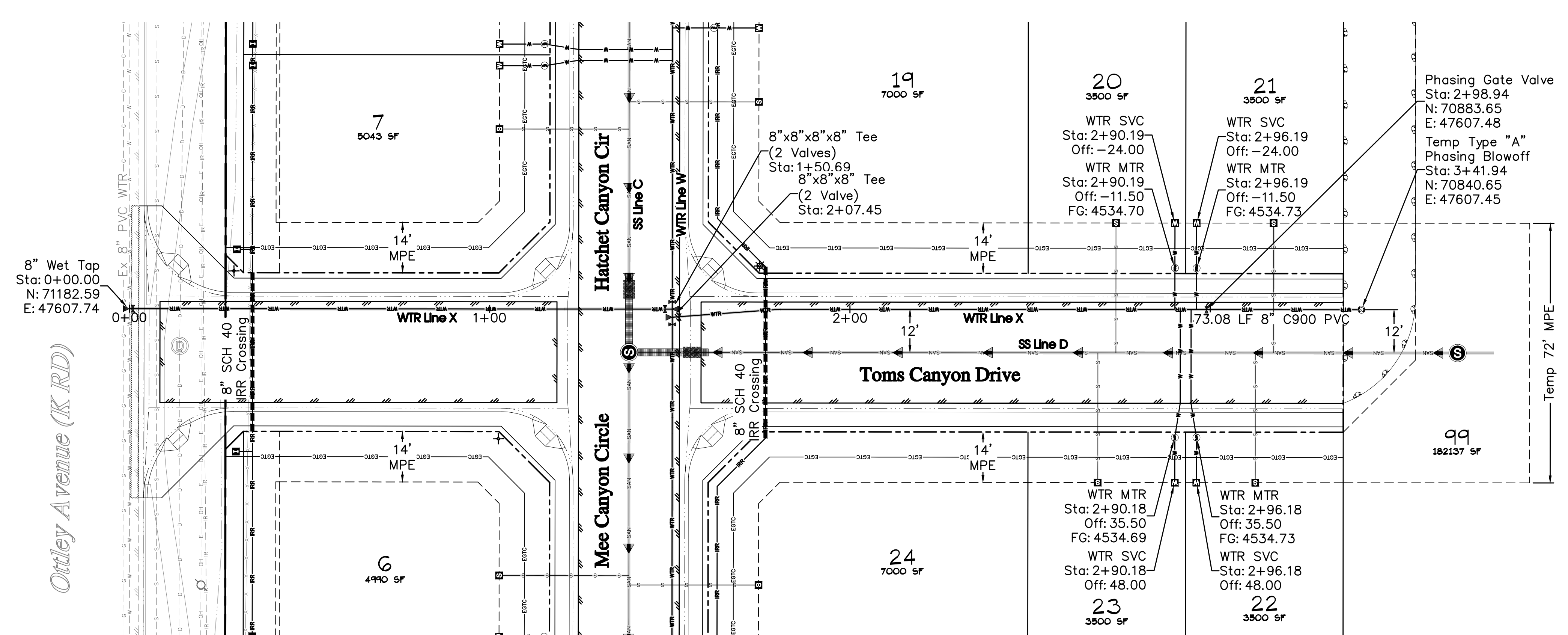
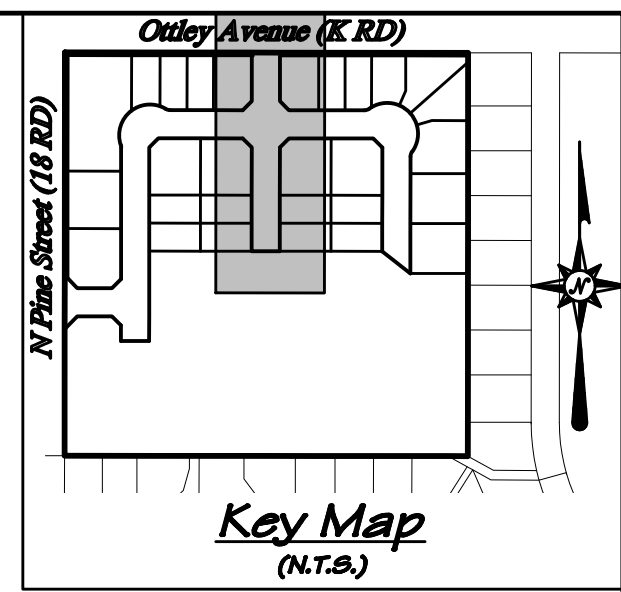
ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**

West Canyon  
Water Line Plan & Profile  
WTR Line W

C28





**UTILITY SHEETS**

- SS Line C..... Sheet C21
- SS Line D..... Sheet C22
- WTR Line W..... Sheet C28

**General Notes**

- Adjacent property lines are taken from the Mesa County GIS Website and are shown for reference only.
- The legend and a list of abbreviations can be found on Sheet C4.
- All Ute Water District waterlines to be tested in accordance with district standard drawings and specifications prior to street construction.

ACCEPTANCE BLOCK  
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Utility District Representative \_\_\_\_\_ Date \_\_\_\_\_

ACCEPTANCE BLOCK  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
UNCC  
Know what's below.  
Call before you dig.  
800.922.1987  
www.uncc.org  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
(FEET)  
0 40 80  
HORIZONTAL  
VERTICAL: N/A

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\04-Utility\0208-029 PR WTR.dwg [WTR Line X] 12/3/2023 8:00:12 PM

**PRELIMINARY**

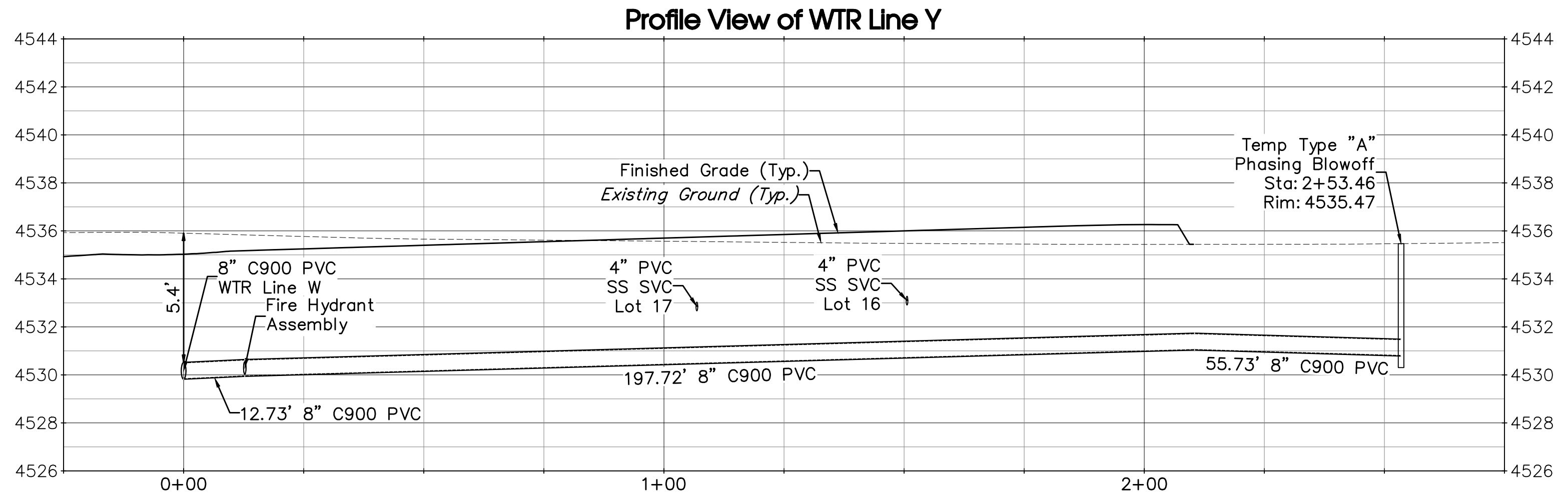
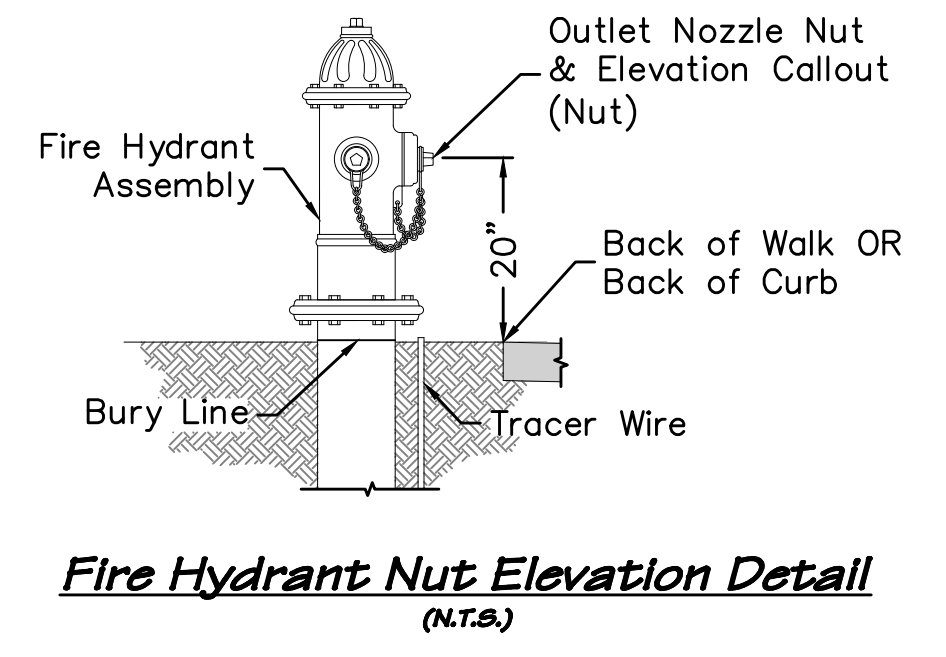
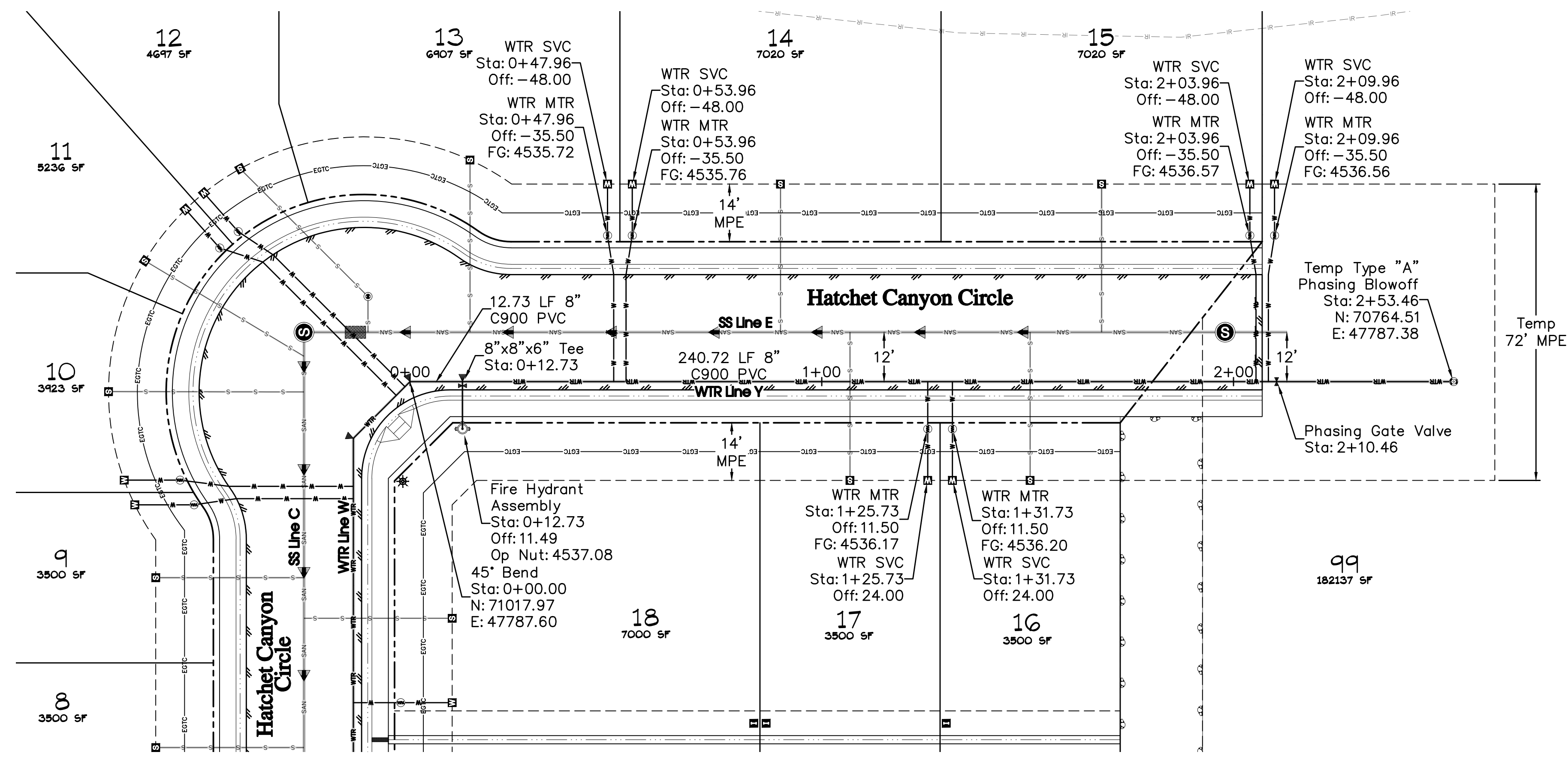
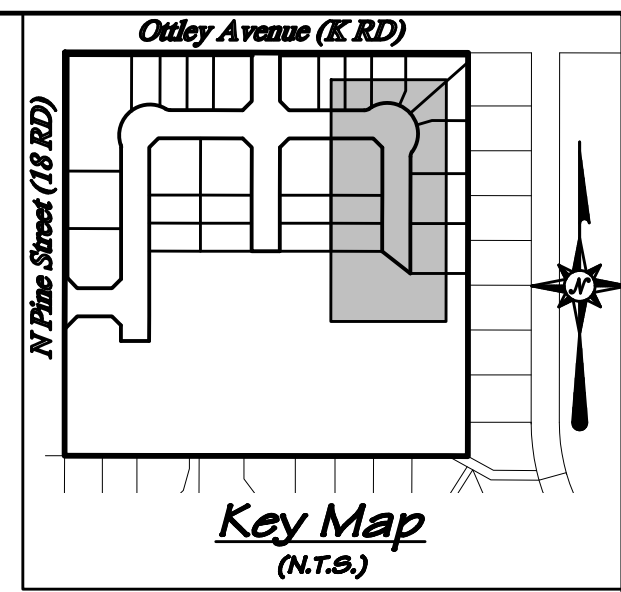
**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: jlg PROJECT: 0208-029  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
West Canyon  
Water Line Plan & Profile  
WTR Line X

C29





- UTILITY SHEETS**
- SS Line C..... Sheet C21
  - SS Line E..... Sheet C22
  - WTR Line W..... Sheet C28

- General Notes**
1. Adjacent property lines are taken from the Mesa County GIS Website and are shown for reference only.
  2. The legend and a list of abbreviations can be found on Sheet C4.
  3. All Ute Water District waterlines to be tested in accordance with district standard drawings and specifications prior to street construction.

ACCEPTANCE BLOCK  
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Utility District Representative \_\_\_\_\_ Date \_\_\_\_\_

ACCEPTANCE BLOCK  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
UNCC  
Know what's below.  
Call before you dig.  
800.922.1987  
www.uncc.org  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
(FEET)  
0 20 40  
HORIZONTAL  
VERTICAL: N/A

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\04-Utility\0208-029 PR WTR.dwg [WTR Line Y] 12/3/2023 8:00:21 PM

**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

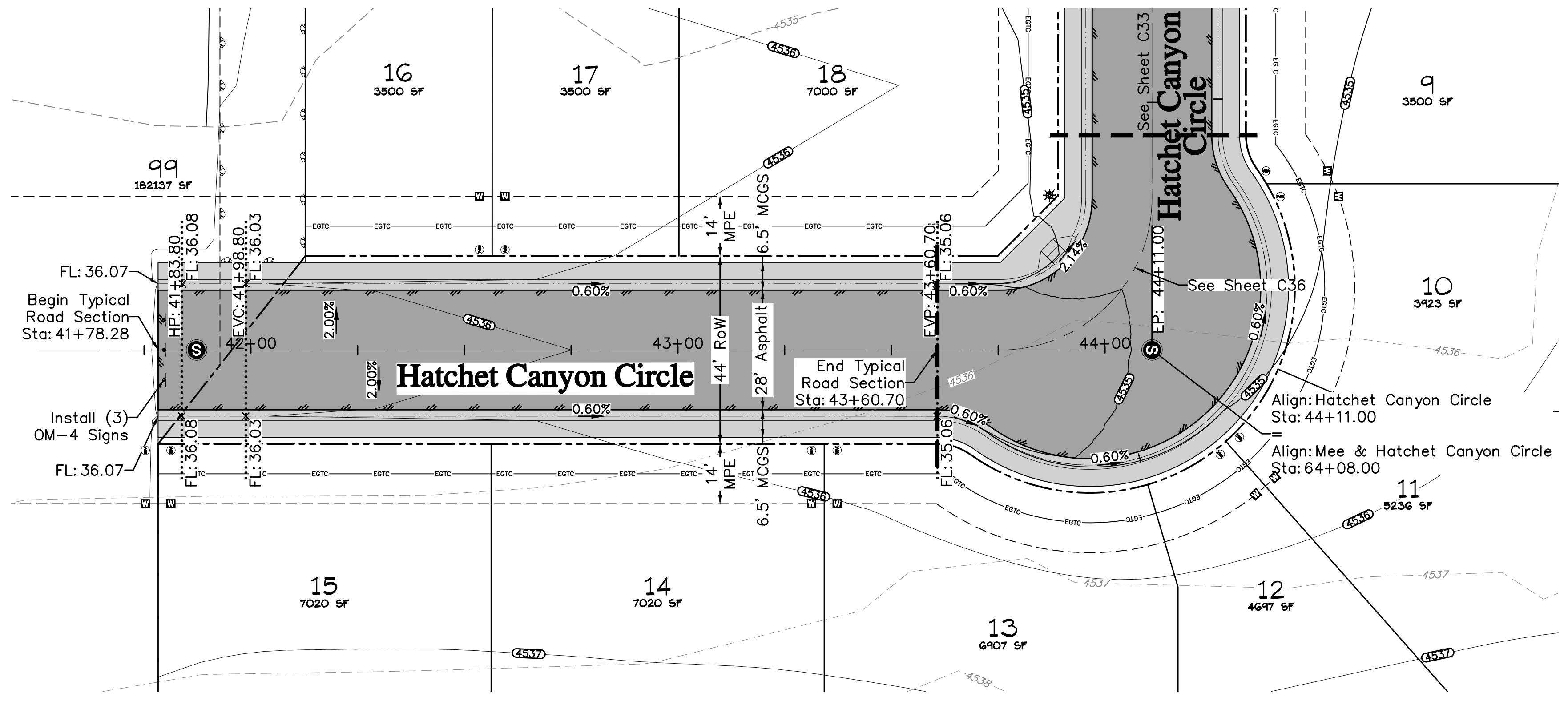
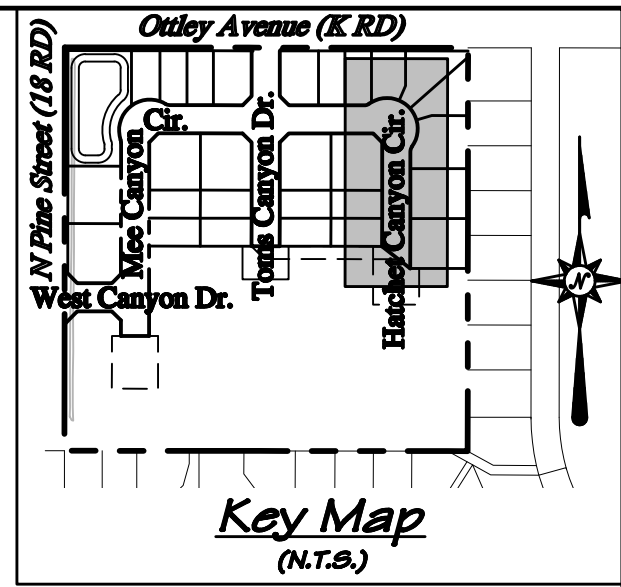
DRAWN BY: jdg PROJECT: 0208-029  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

**PRELIMINARY**

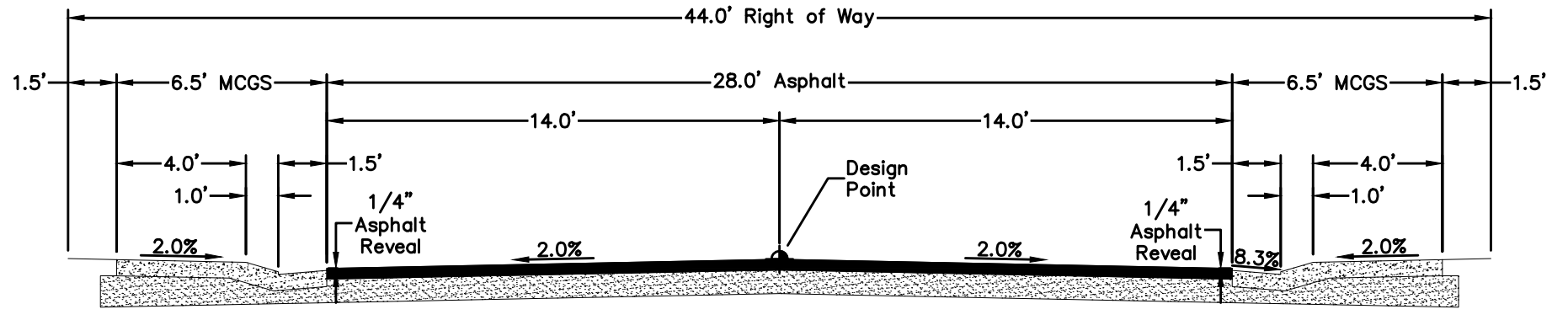
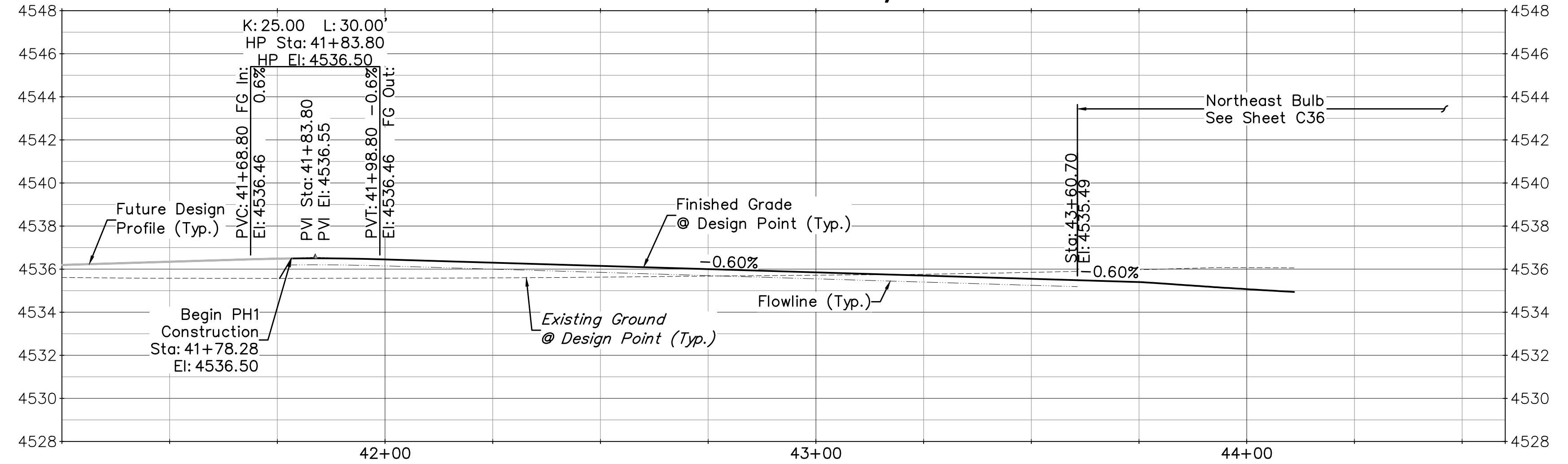
**WEST CANYON FRUITA, LLC**  
West Canyon  
Water Line Plan & Profile  
WTR Line Y

C30





Profile View of Hatched Canyon Circle



Typical Road Section (N.T.A.)



Typical Signs

ACCEPTANCE BLOCK	
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.	
City Development Engineer	Date

**811**  
UNCC  
Know what's below.  
Call before you dig.  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
MCSM 19-1 3.25" Aluminum Cap  
Intersection of 18 Rd. & K Rd.  
NE Corner, Sec.17 T.1N R.2W Ute Meridian  
NORTHING: 71186.17  
EASTING: 47251.63  
ELEVATION: 4531.79  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
0 20 40  
HORIZONTAL  
VERTICAL: 1" = 4'  
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary/Review		DATE ISSUED: 01.DEC.2023	
NO.	DATE	REVISION	BY

**PRELIMINARY**

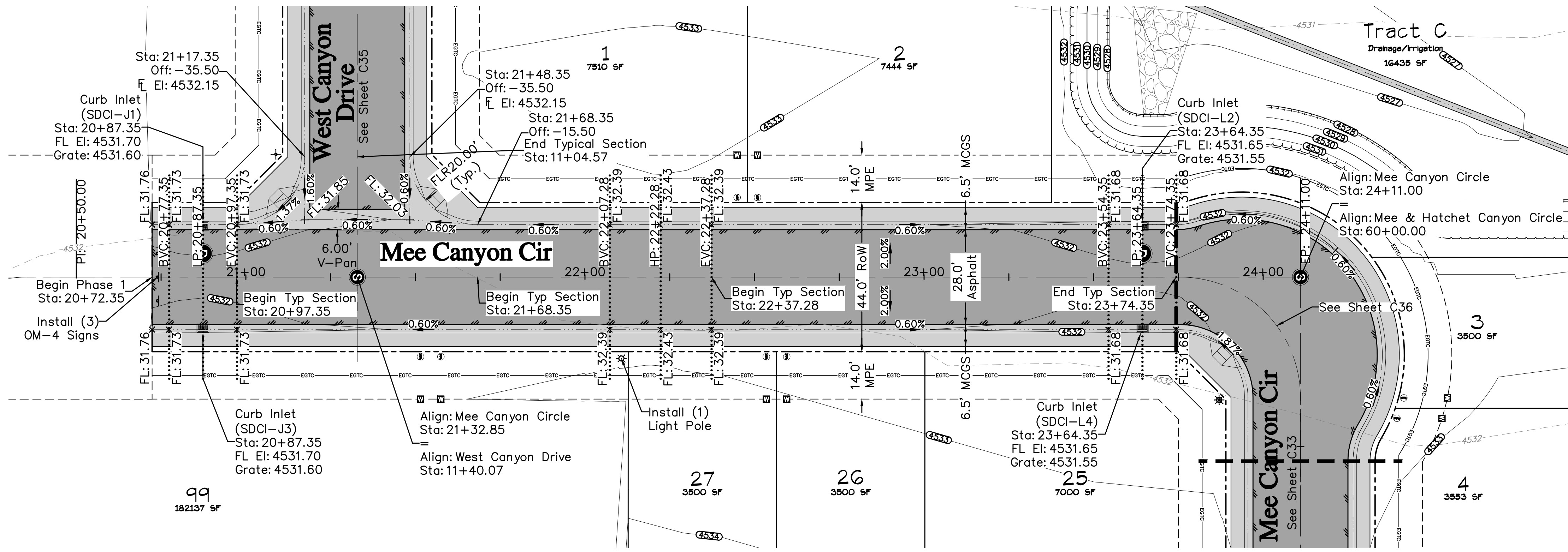
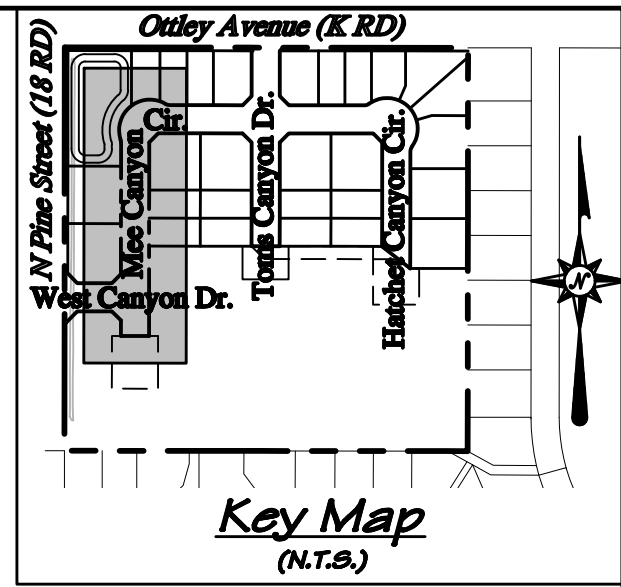
**RIVER CITY CONSULTANTS**  
215 Pitkin Avenue, Unit 201  
Grand Junction, CO 81501  
Phone: 970.241.4722  
Fax: 970.241.8841  
www.rcwest.com

DRAWN BY: jdg PROJECT: 0208-029  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

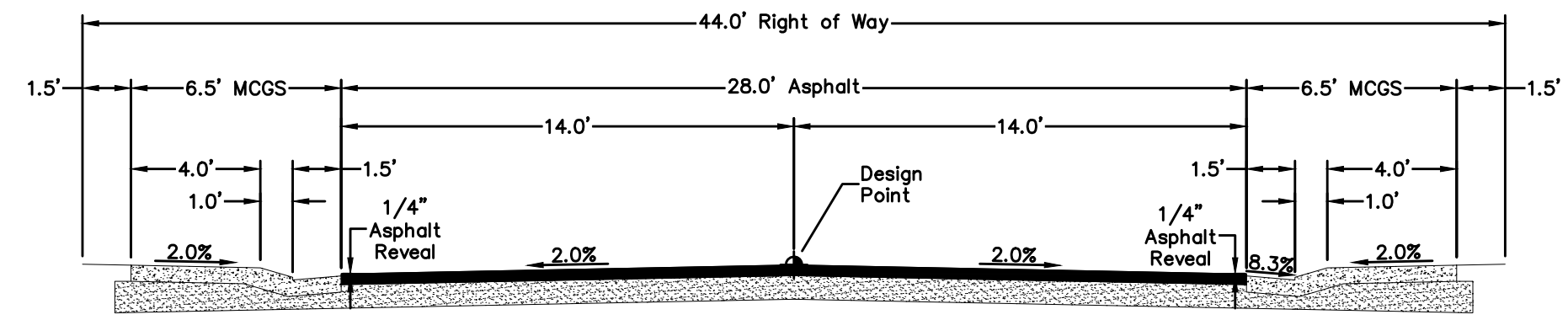
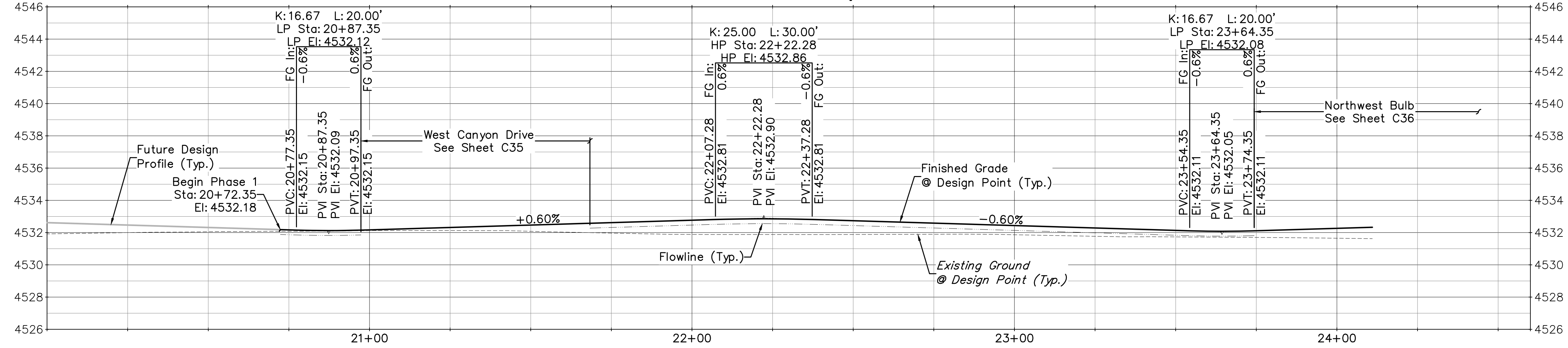
**WEST CANYON FRUITA, LLC**  
West Canyon  
Road Plan & Profile  
Hatched Canyon Circle

C31





Profile View of Mee Canyon Circle



Typical Signs

ACCEPTANCE BLOCK  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**UNCC**  
 800.922.1987  
 www.uncc.org  
**811**  
 Know what's below.  
 Call before you dig.  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
 0 20 40  
 HORIZONTAL  
 VERTICAL: 1" = 4'

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJ\ECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Road PnP.dwg [Mee Canyon Circle] 12/3/2023 7:49:05 PM

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

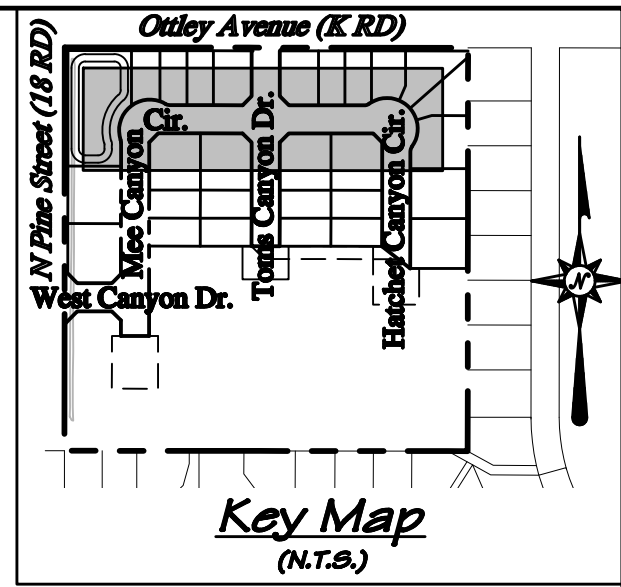
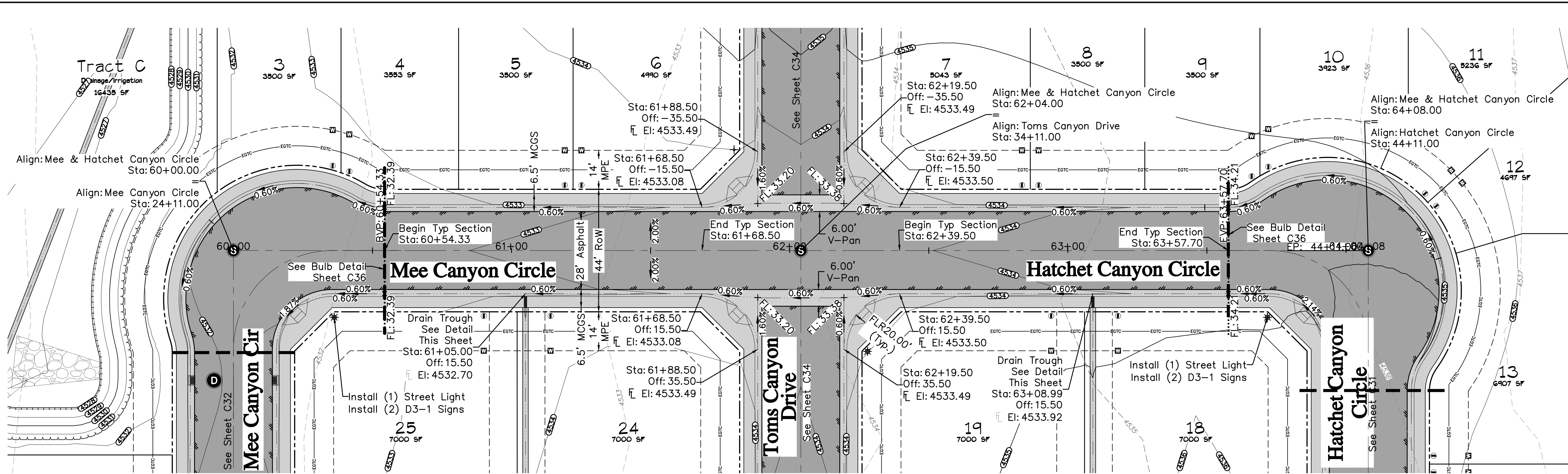
DRAWN BY: idg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Road Plan & Profile  
 Mee Canyon Circle

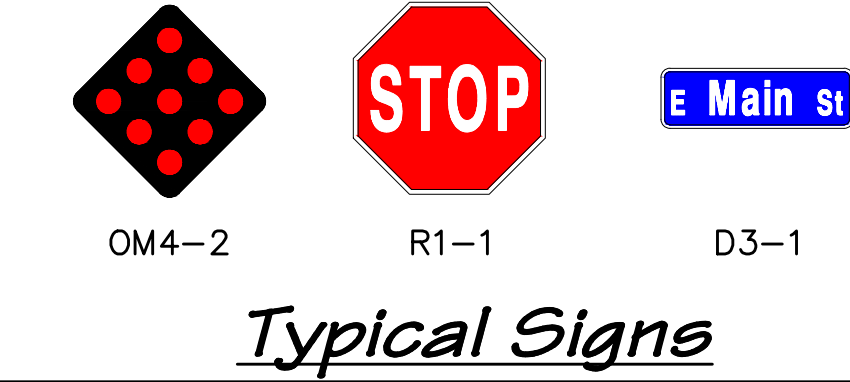
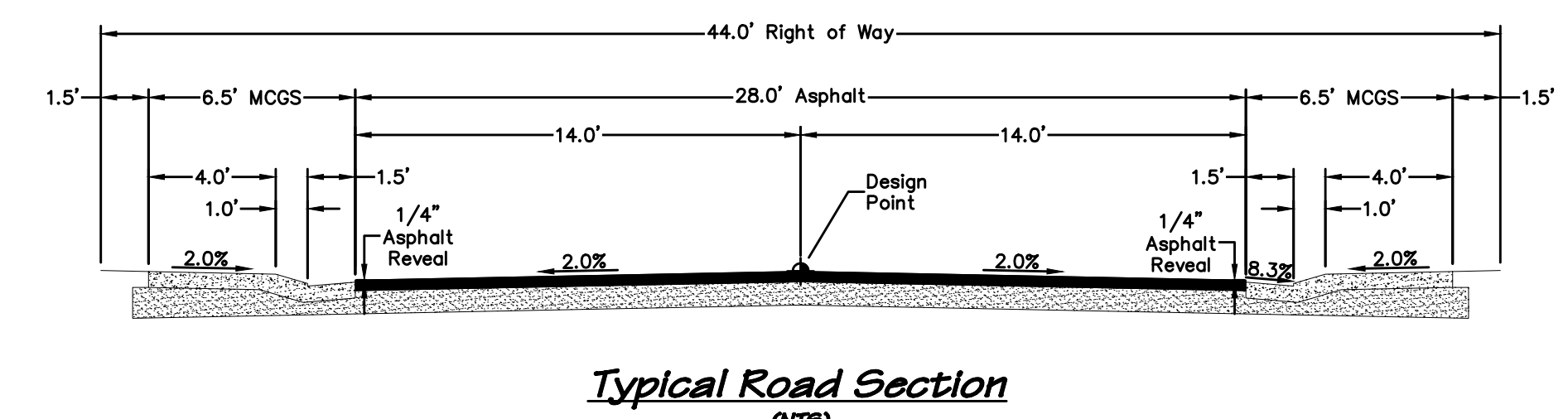
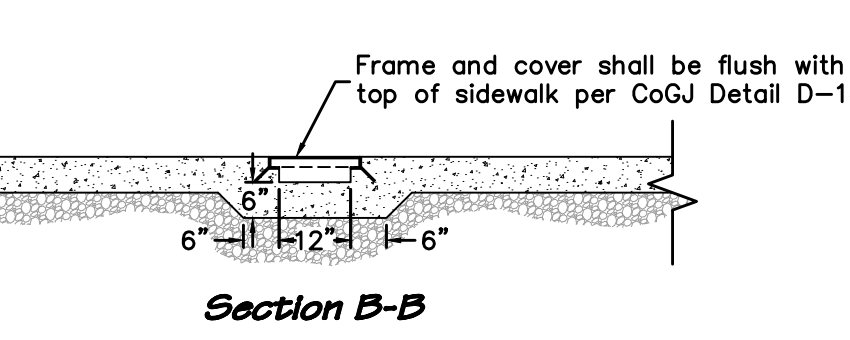
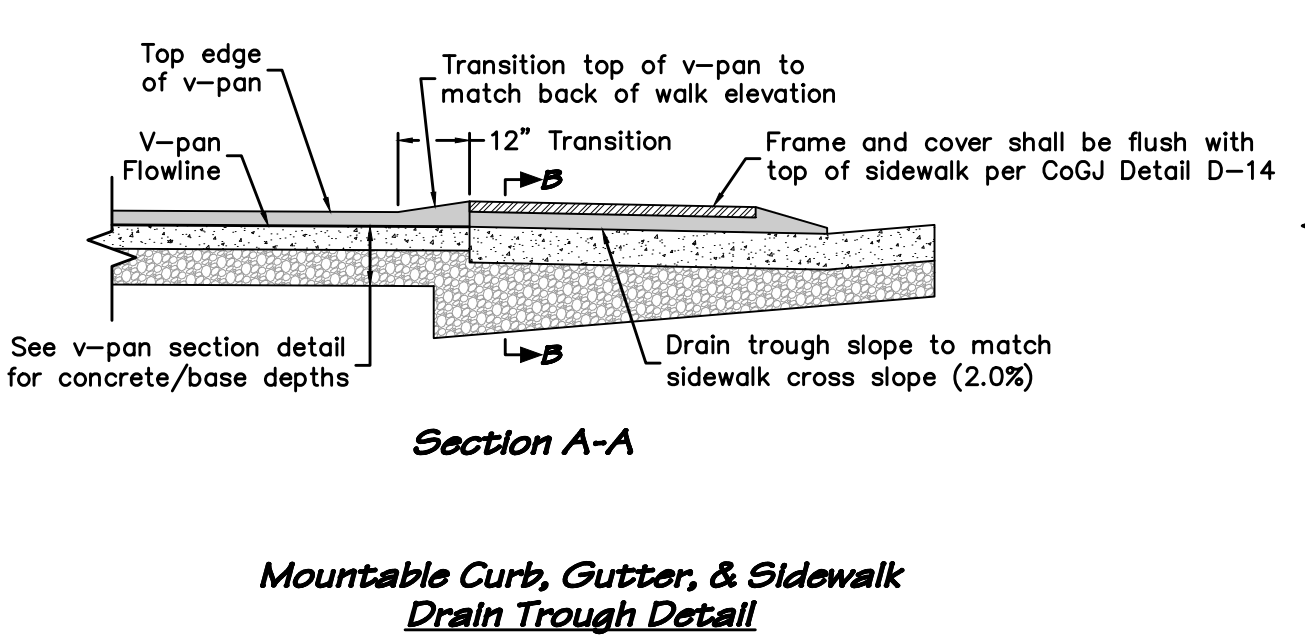
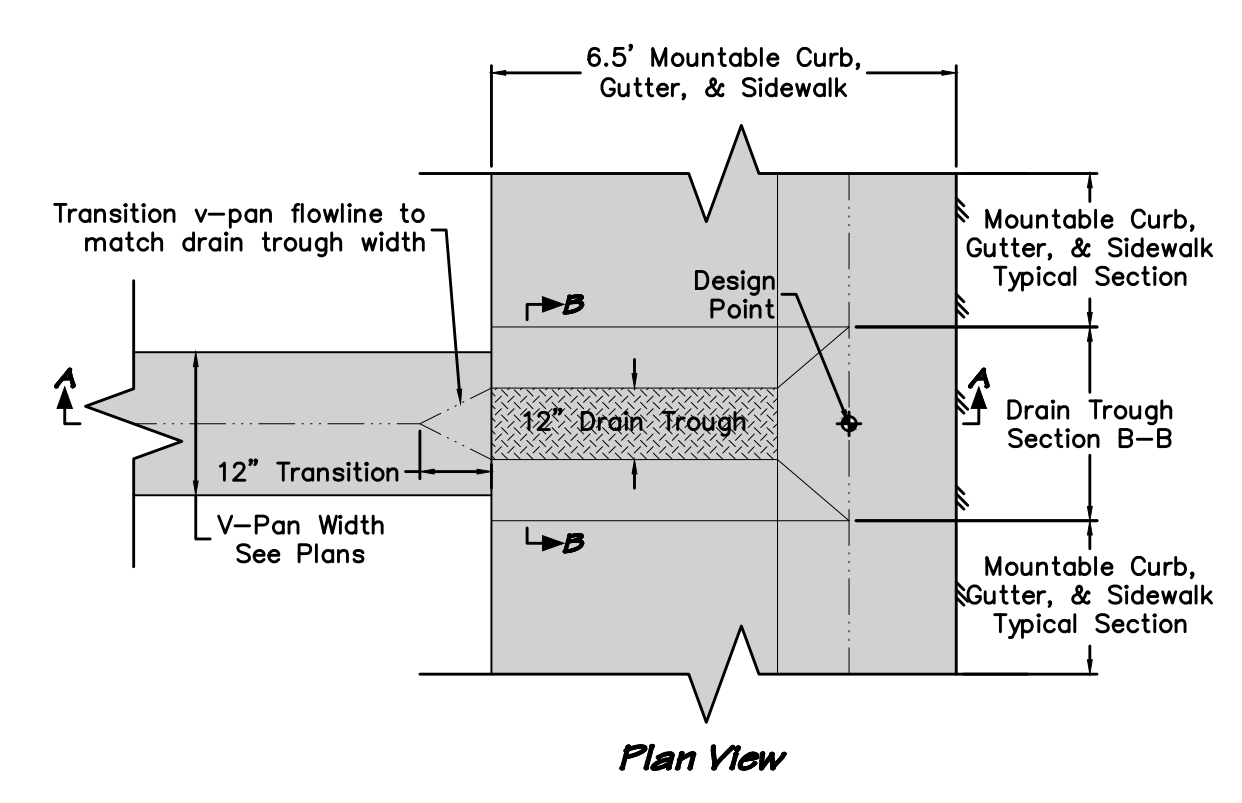
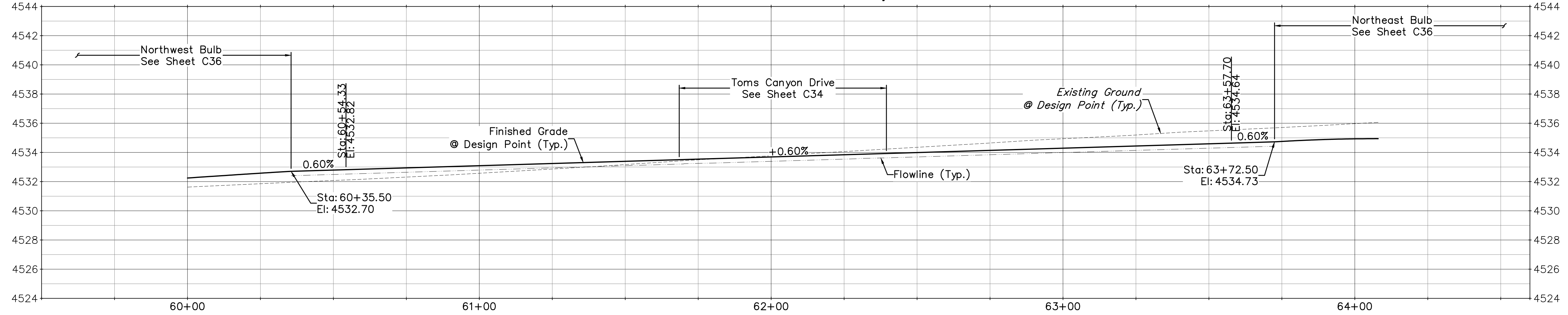
City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

C32





Profile View of Mee & Hatchet Canyon Circle



**ACCEPTANCE BLOCK**  
 The City of Fruita constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.  
 City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
 (FEET)  
 0 20 40  
 HORIZONTAL  
 VERTICAL: 1" = 4'  
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY
##			

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Road PnP.dwg [Mee and Hatchet Canyon Circle] 12/3/2023 7:49:20 PM

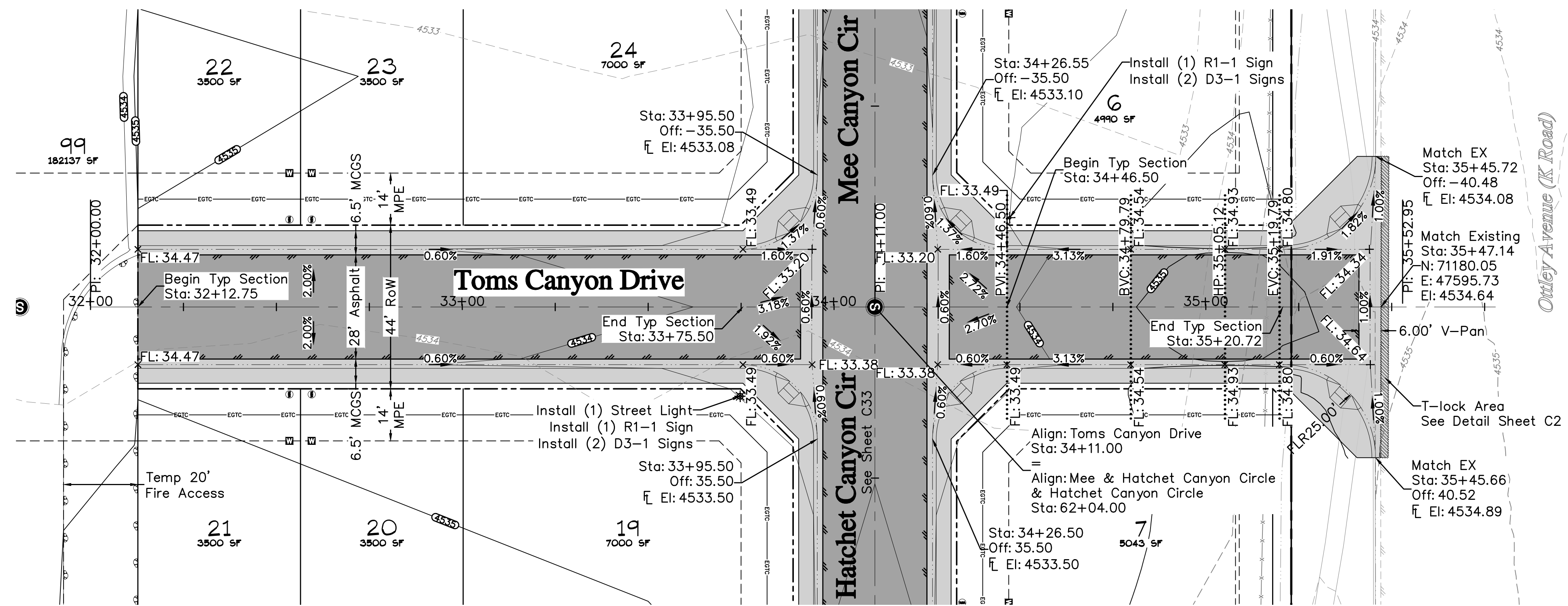
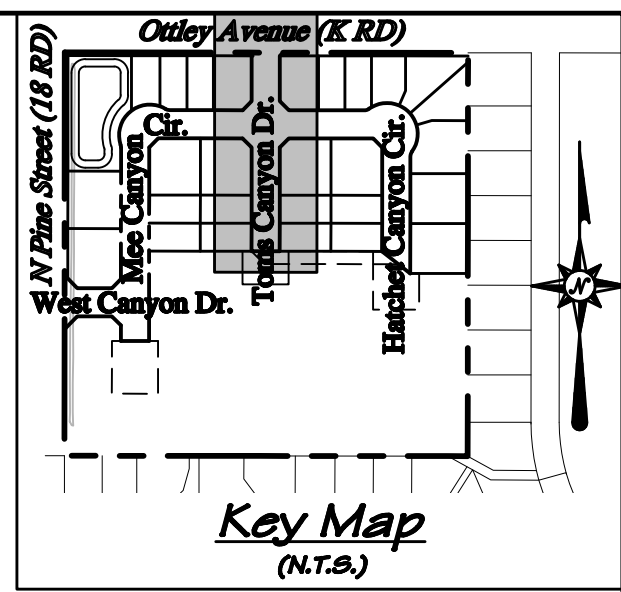
**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841  
 DRAWN BY: jg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

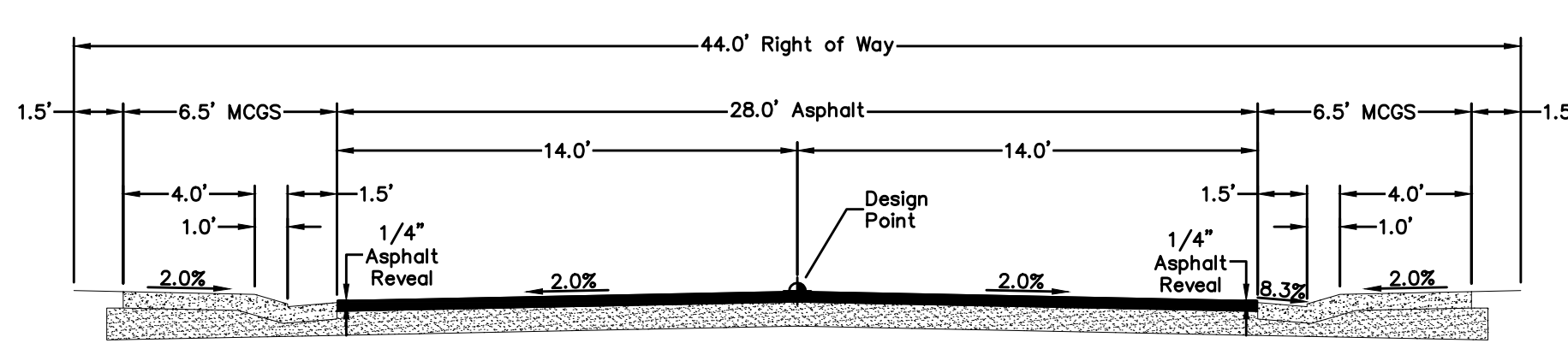
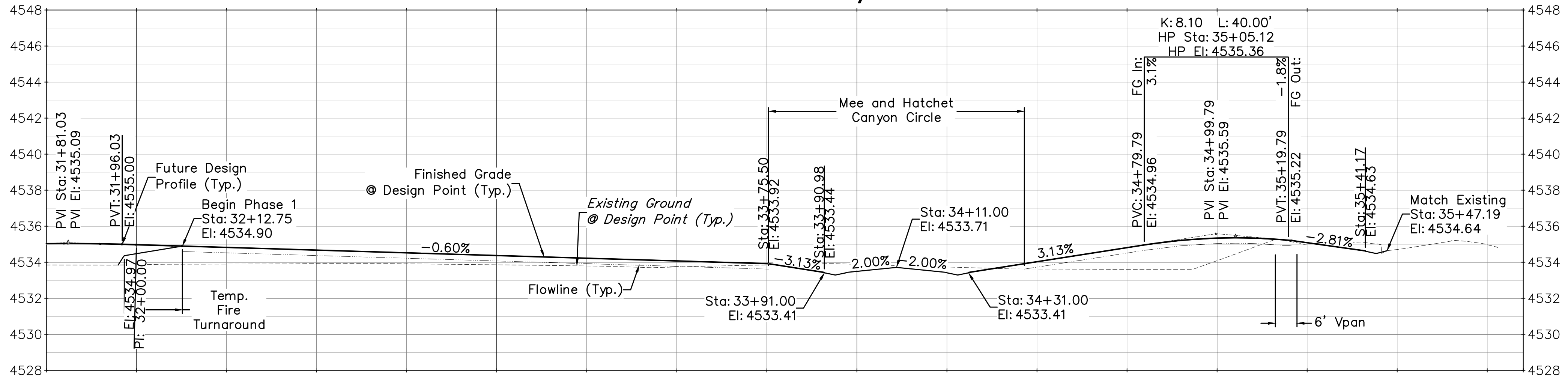
**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Road Plan & Profile  
 Mee and Hatchet Canyon Circle

C33

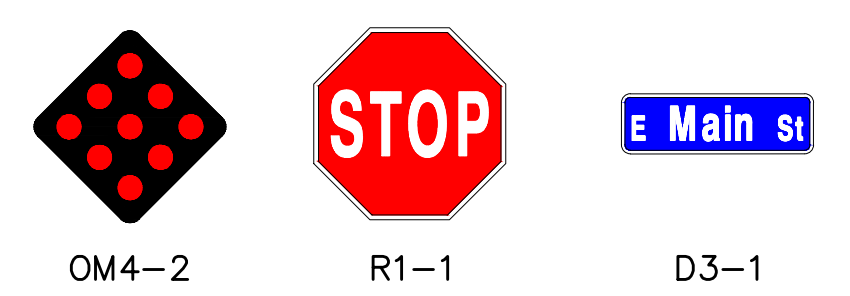




Profile View of Toms Canyon Drive



Typical Road Section (NTP)



Typical Signs

ACCEPTANCE BLOCK  
The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
 HORIZONTAL: 0 20 40  
 VERTICAL: 1" = 4'  
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

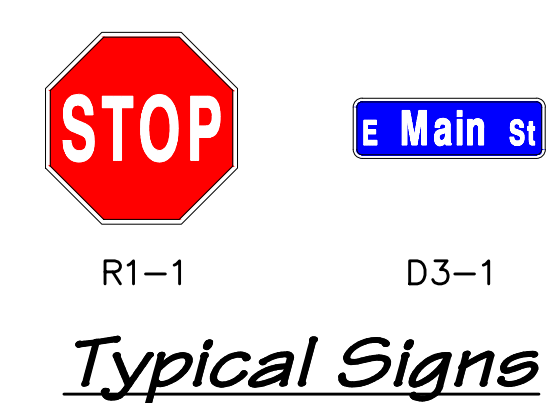
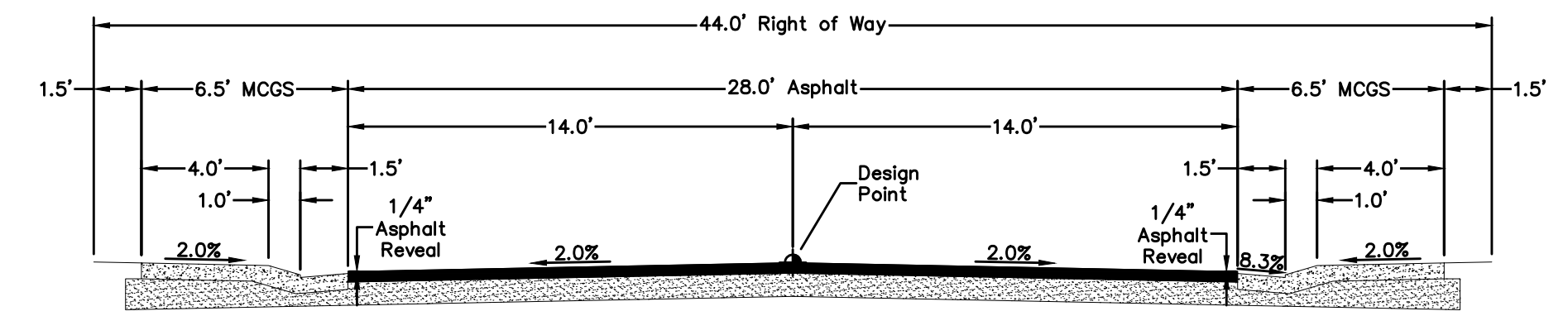
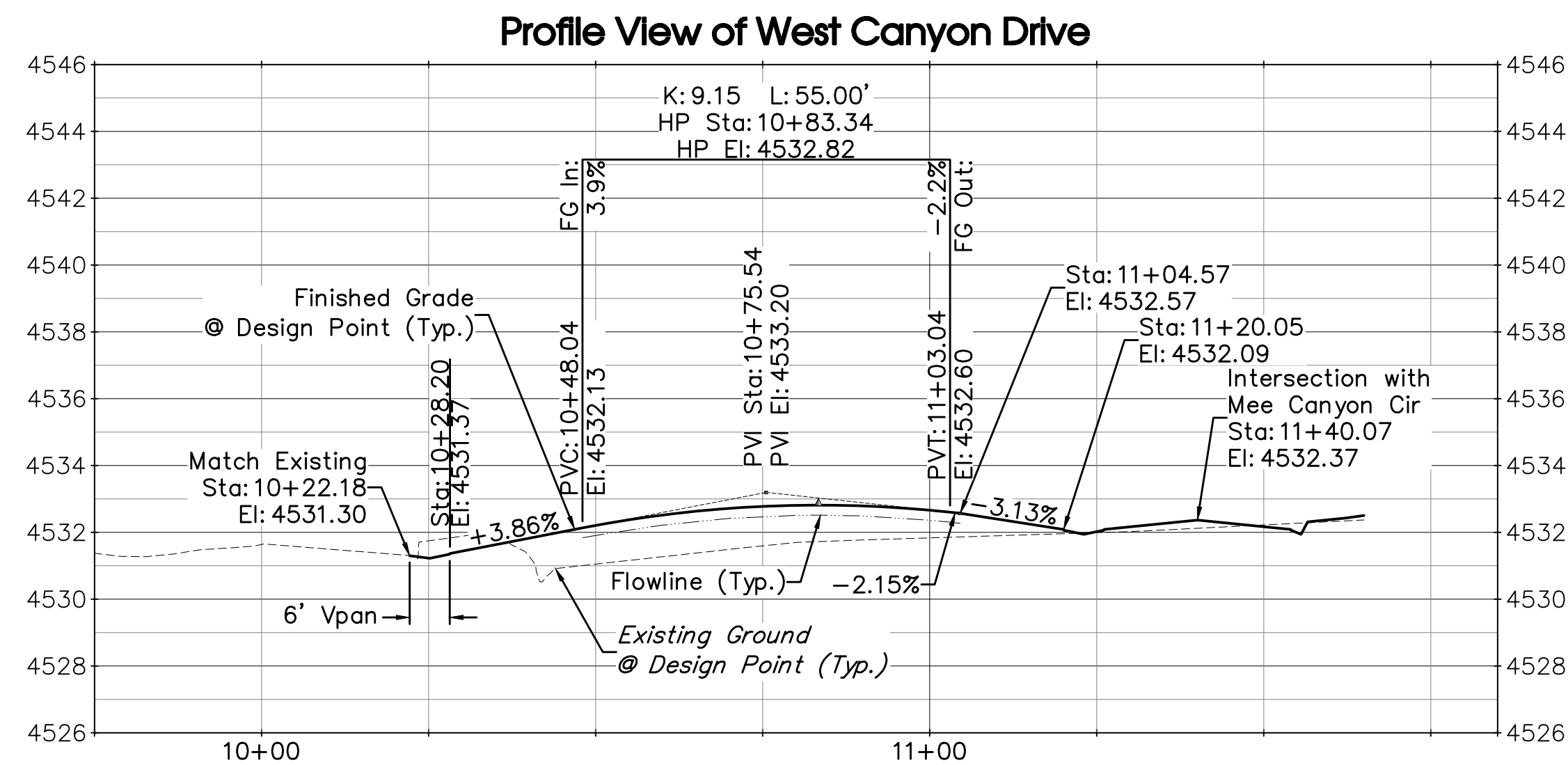
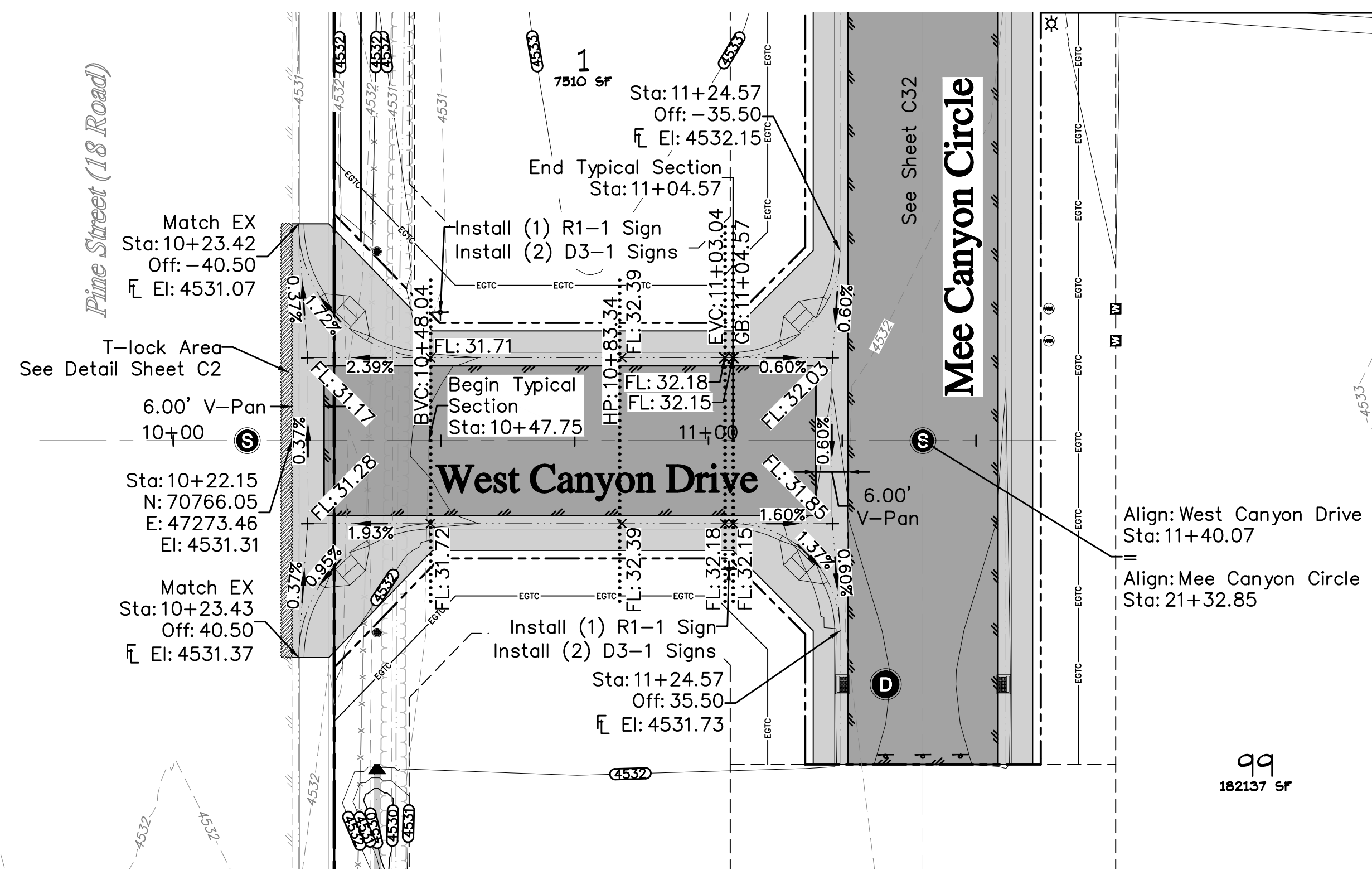
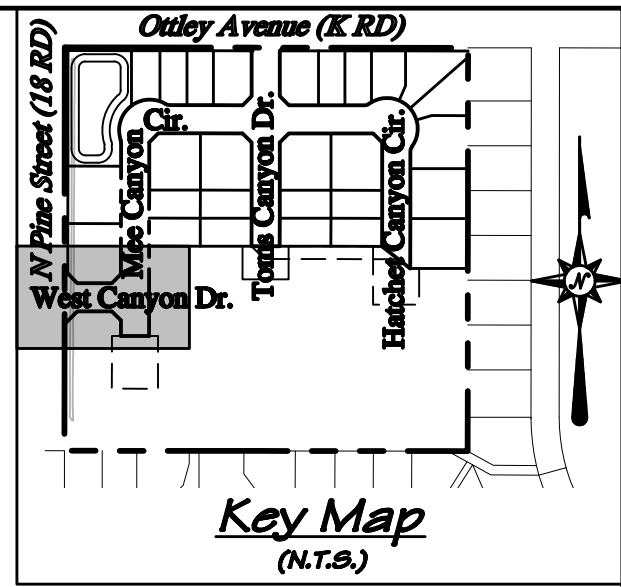
**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: idg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Road Plan & Profile  
 Toms Canyon Drive

C34



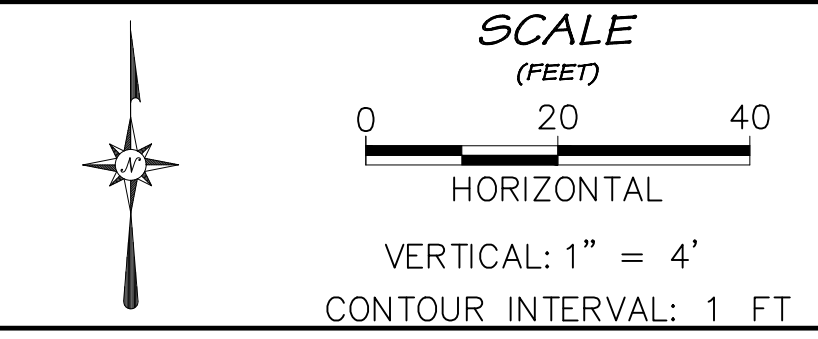


ACCEPTANCE BLOCK  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below.  
 Call before you dig.  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Road PnP.dwg [West Canyon Drive] 12/3/2023 7:49:38 PM

**PRELIMINARY**

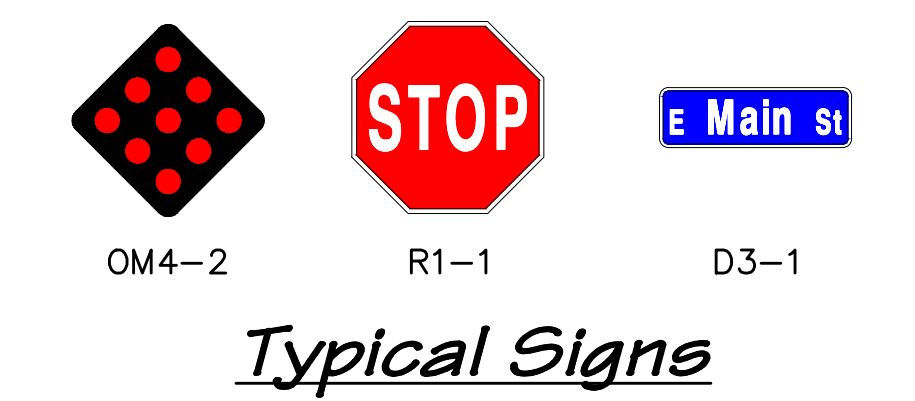
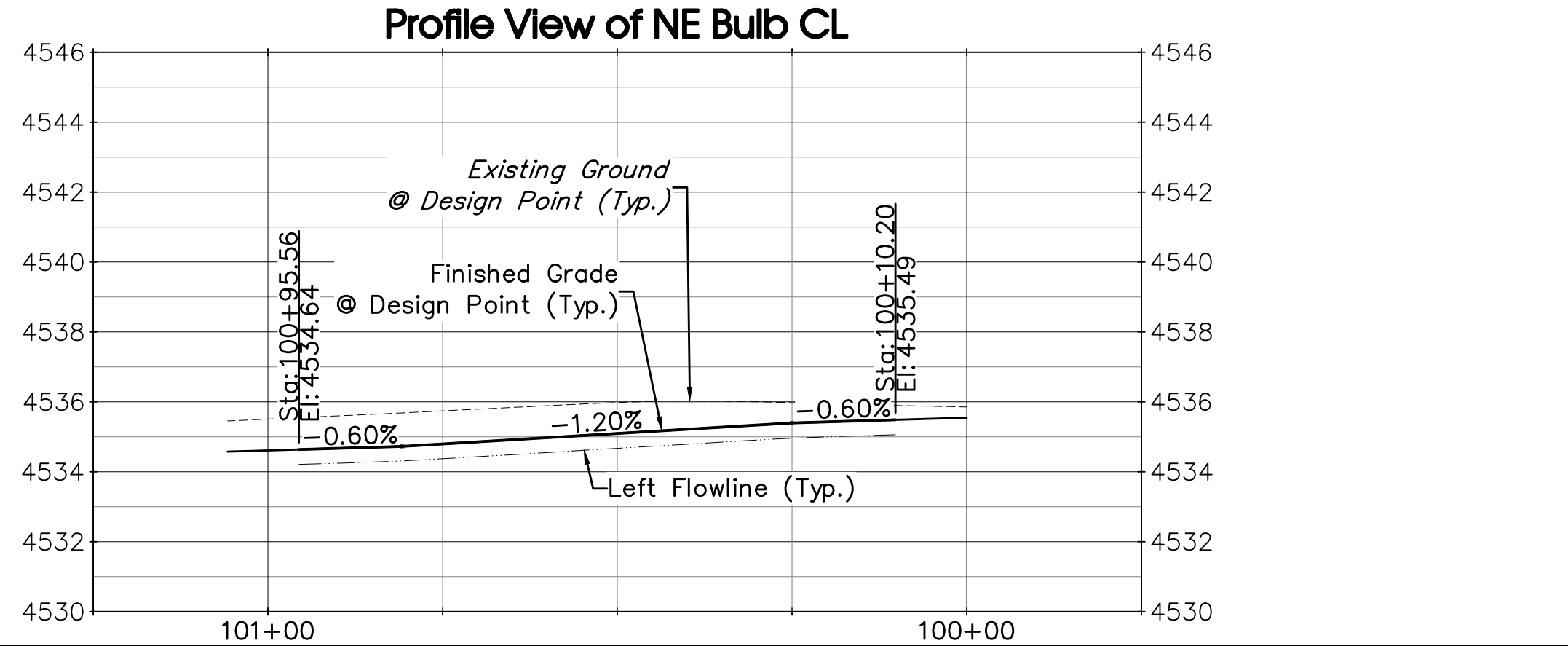
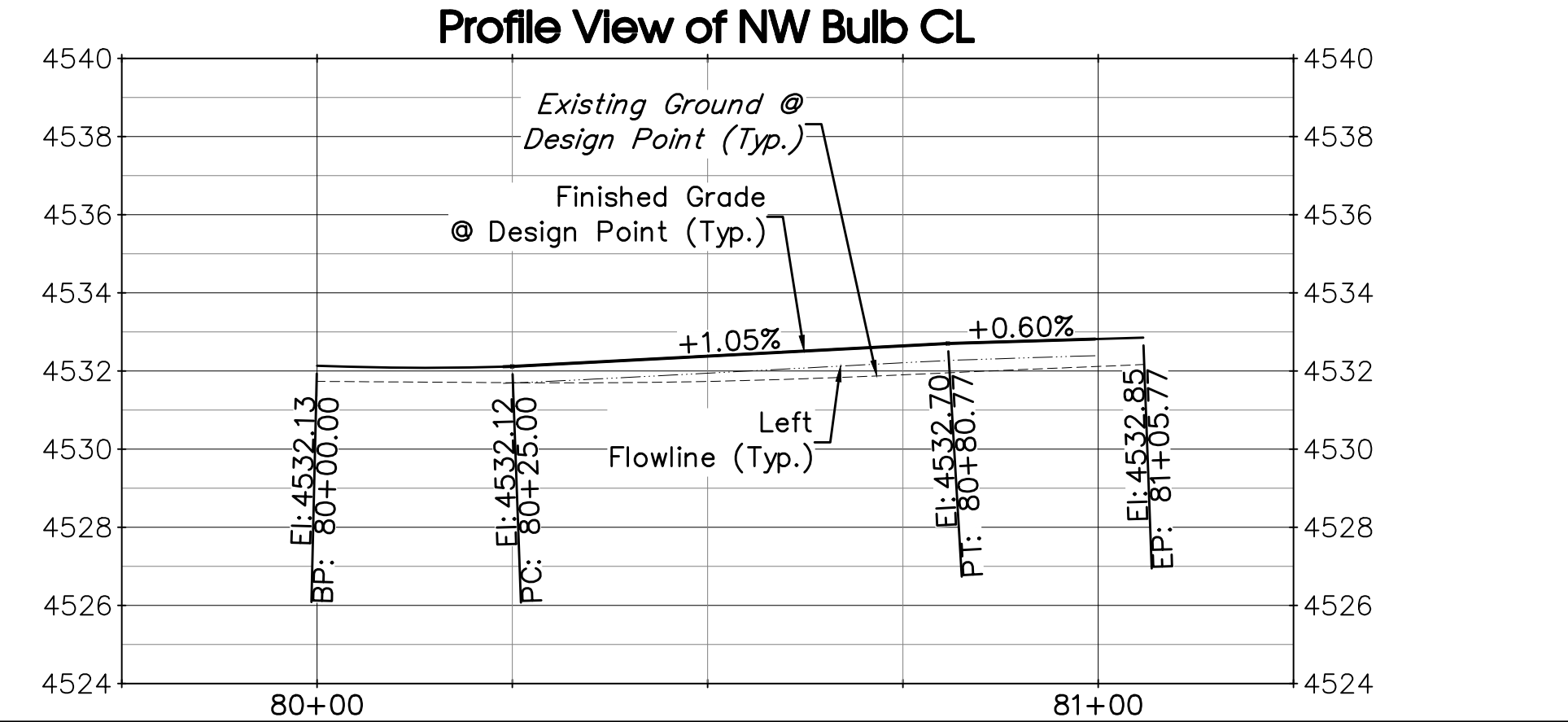
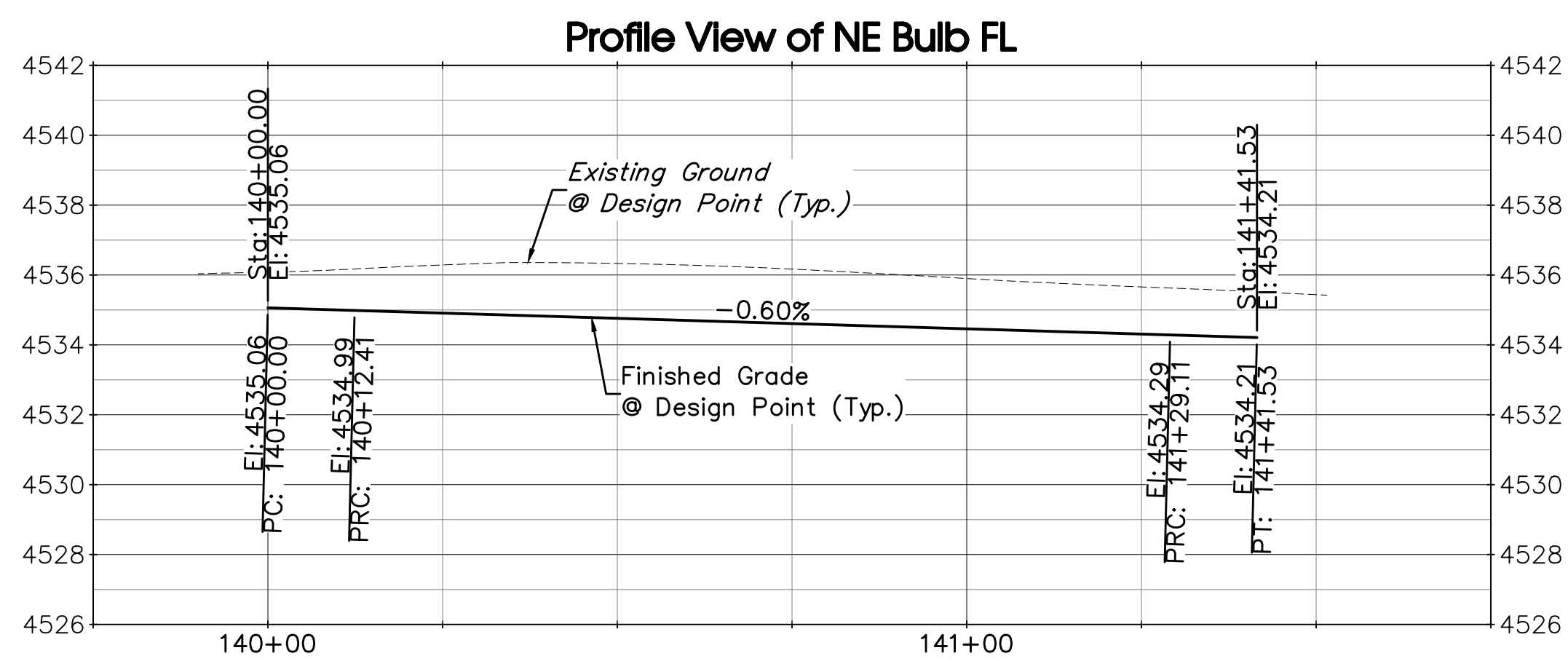
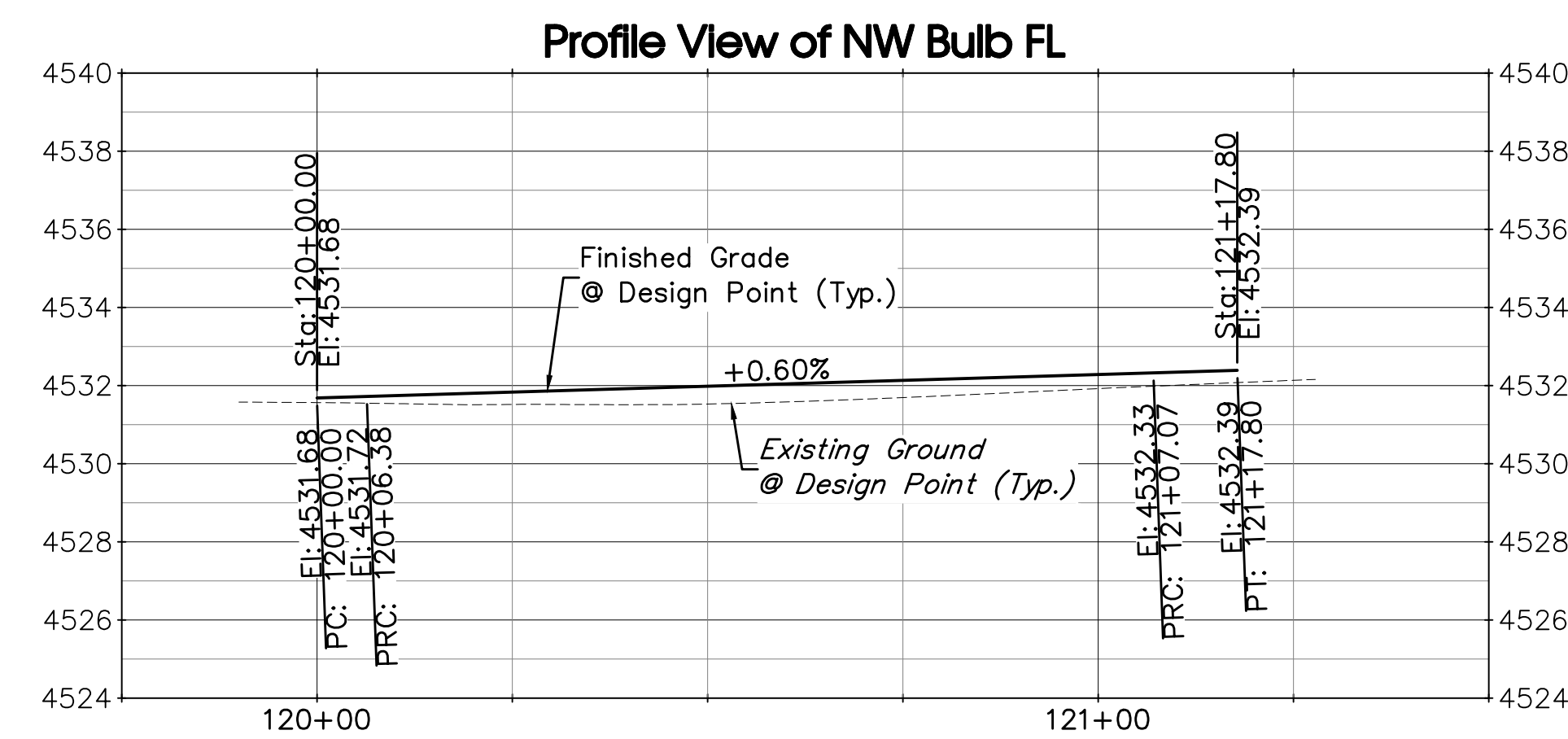
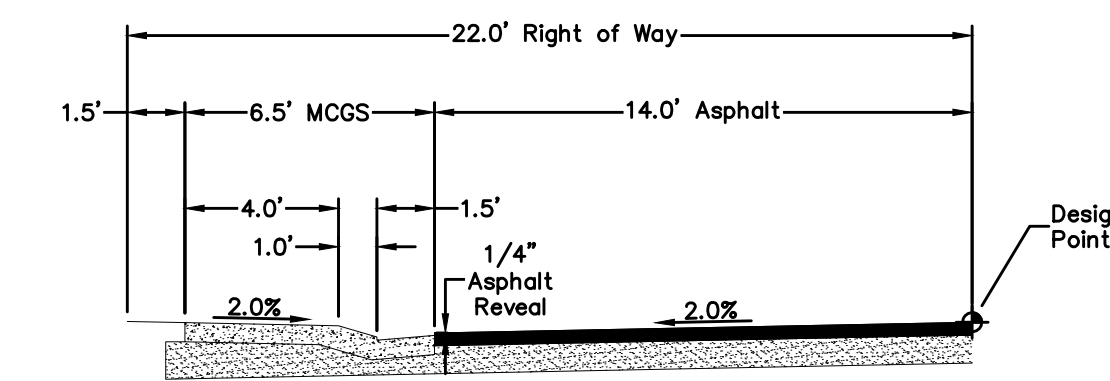
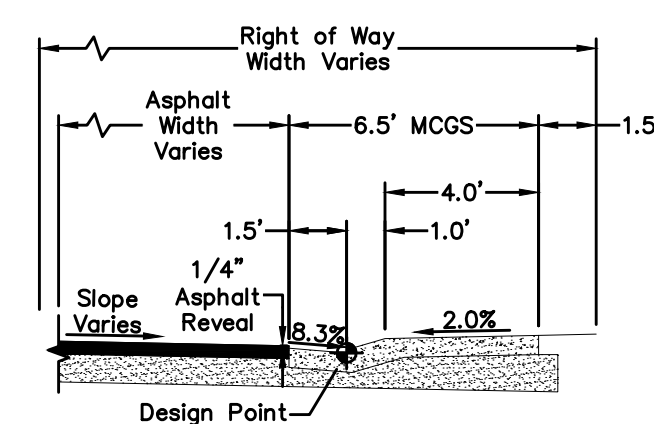
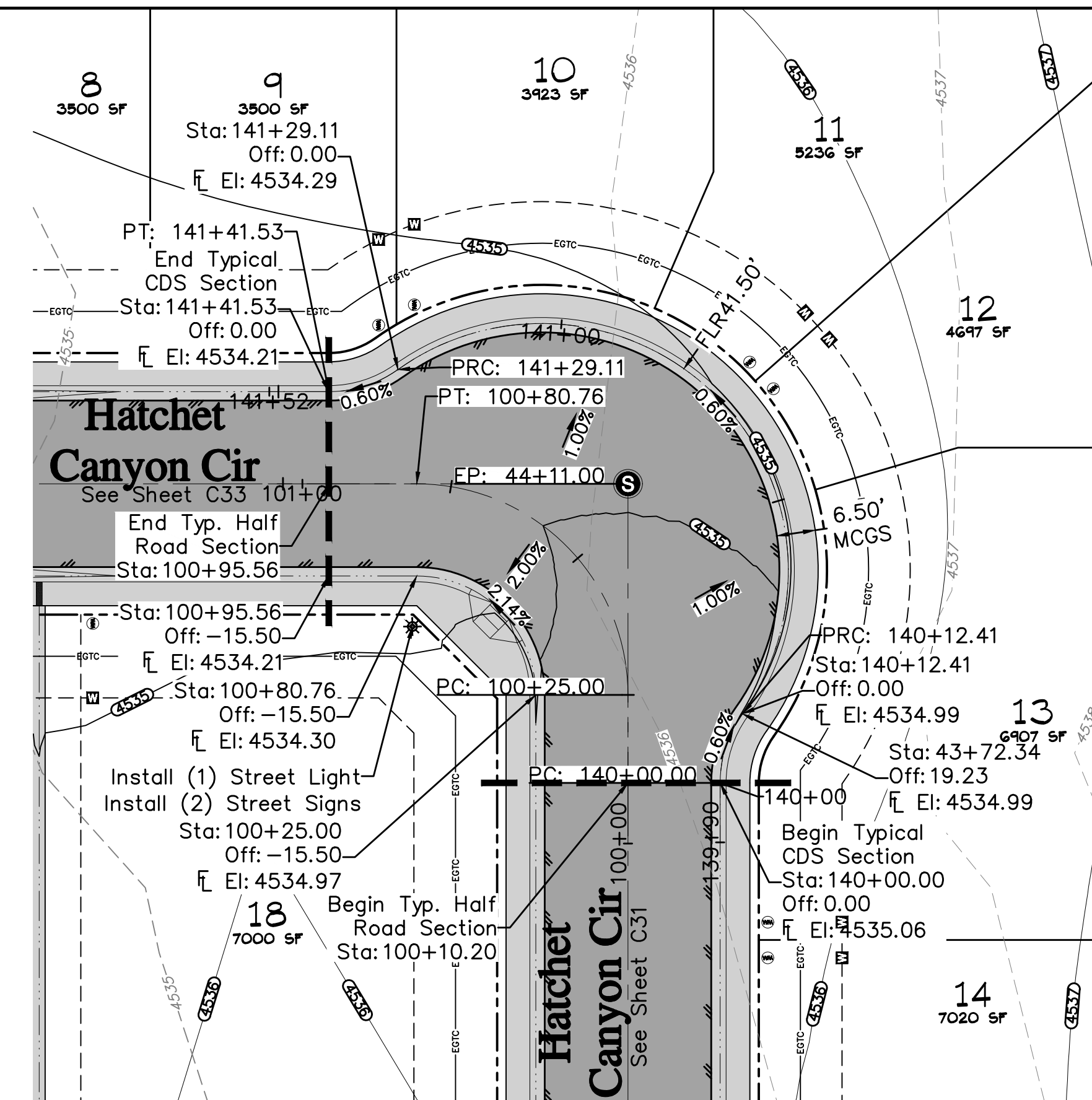
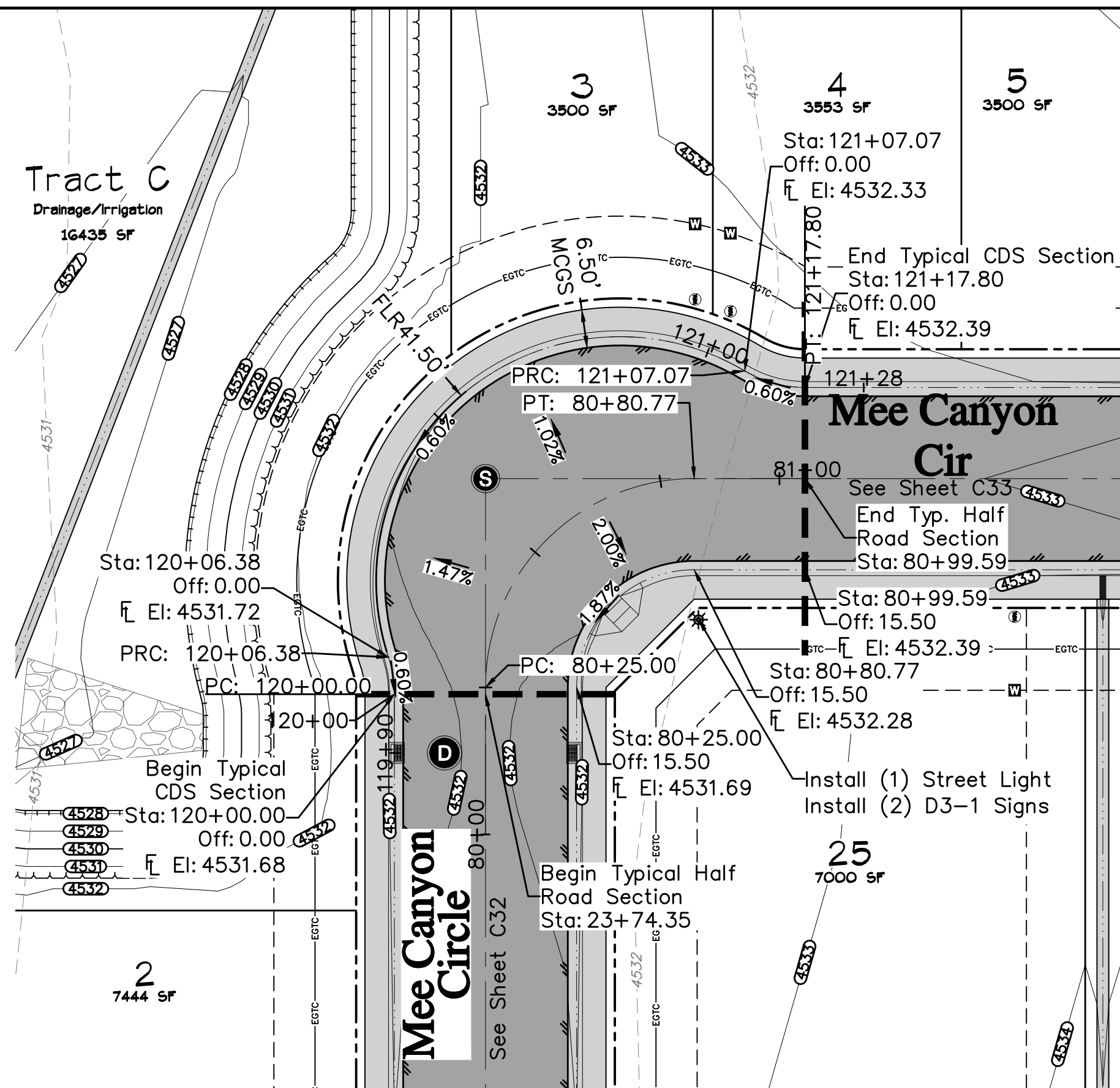
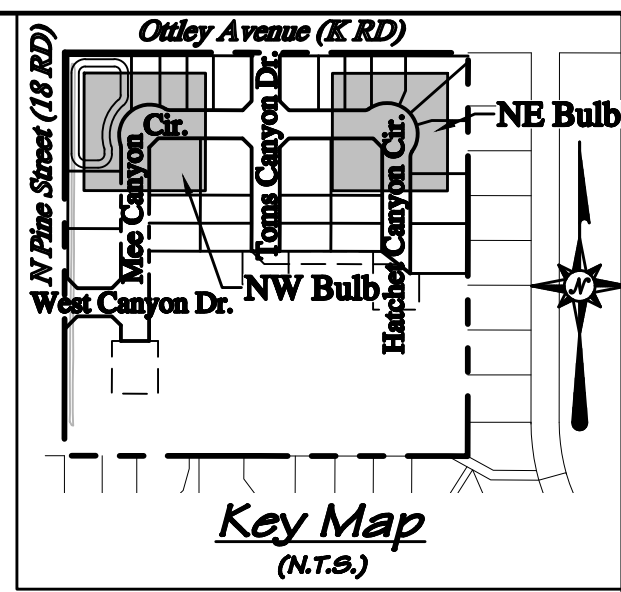
**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: idg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Road Plan & Profile  
 West Canyon Drive

C35





**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
 (FEET)  
 0 20 40  
 HORIZONTAL  
 VERTICAL: 1" = 4'

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

**PRELIMINARY**

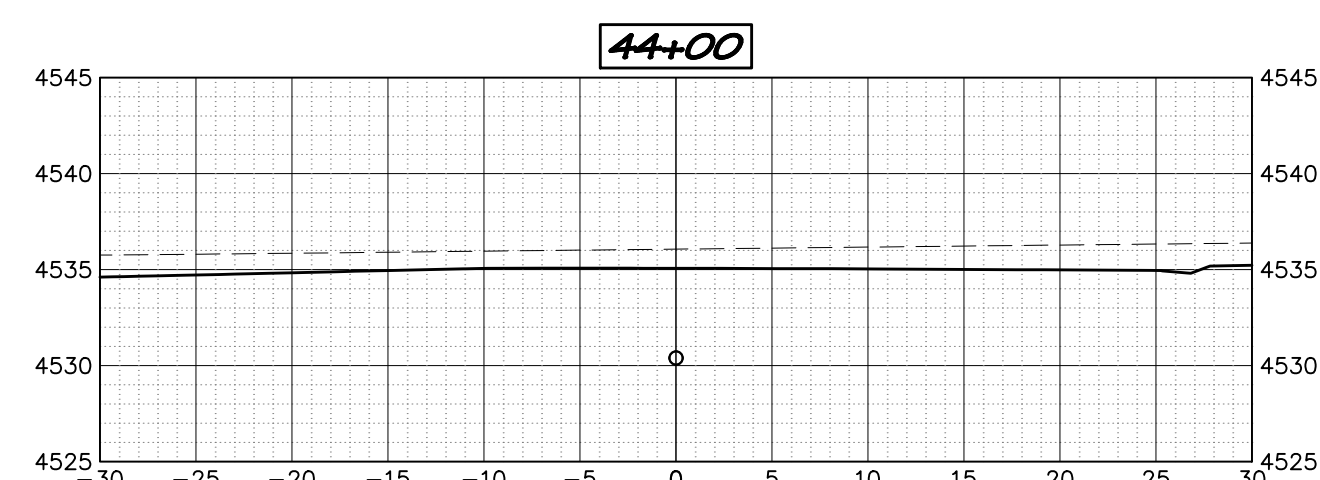
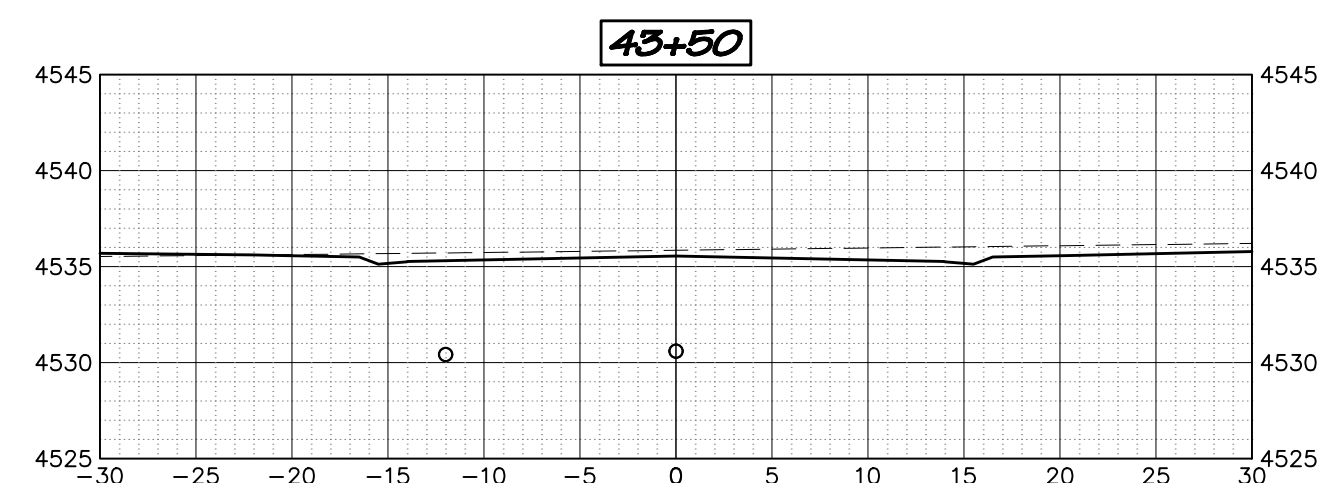
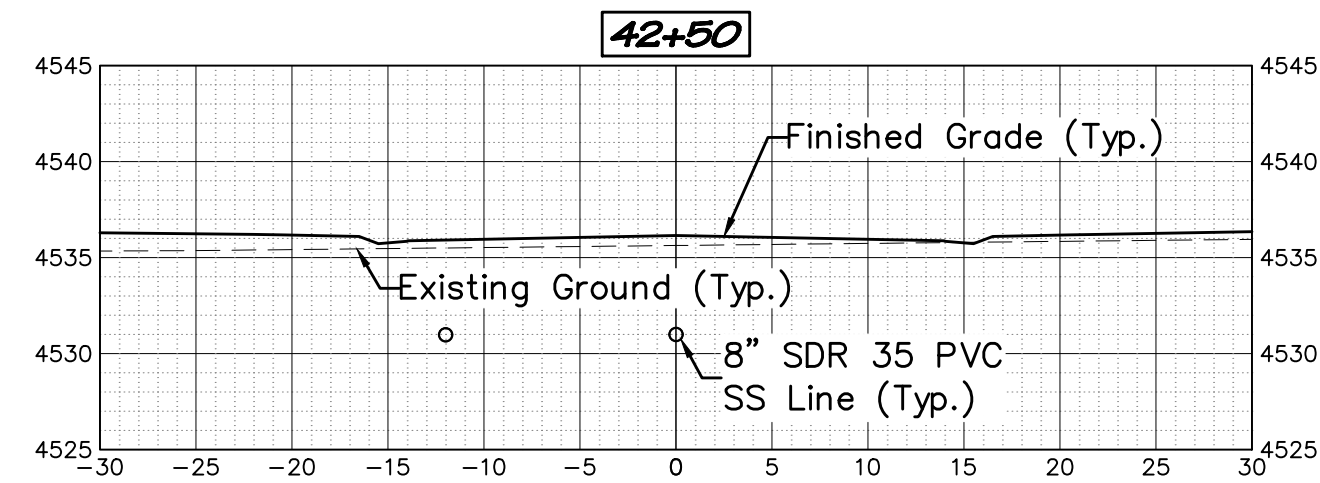
**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841  
 DRAWN BY: idg PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Road Plan & Profile  
 Bulbs

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

C36





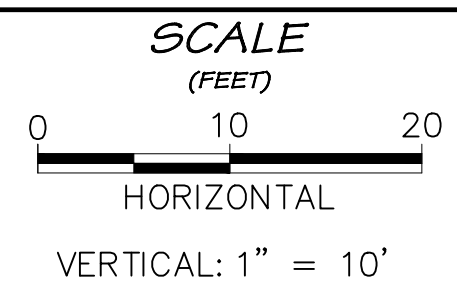
**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**UNCC**  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**811**  
 Know what's below.  
 Call before you dig.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John\_Thomas\_Dave\_Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Road Xsect.dwg [Hatchet Canyon Circle] 12/3/2023 7:52:39 PM

**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: kac PROJECT: 0208-029  
 CHECKED BY: idg

ORIGINAL SHEET SIZE: 22 x 34

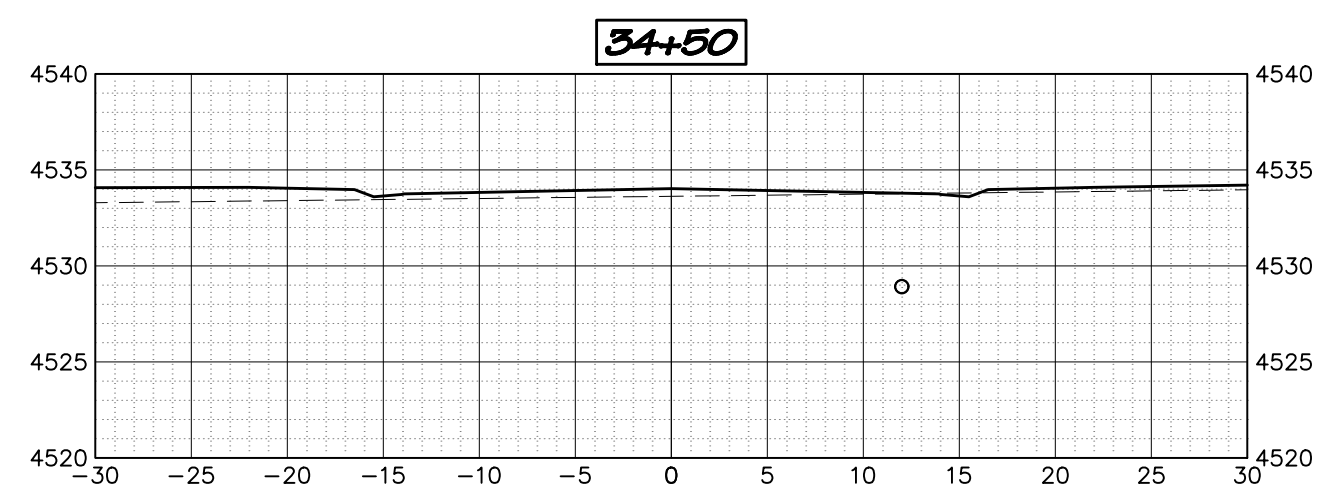
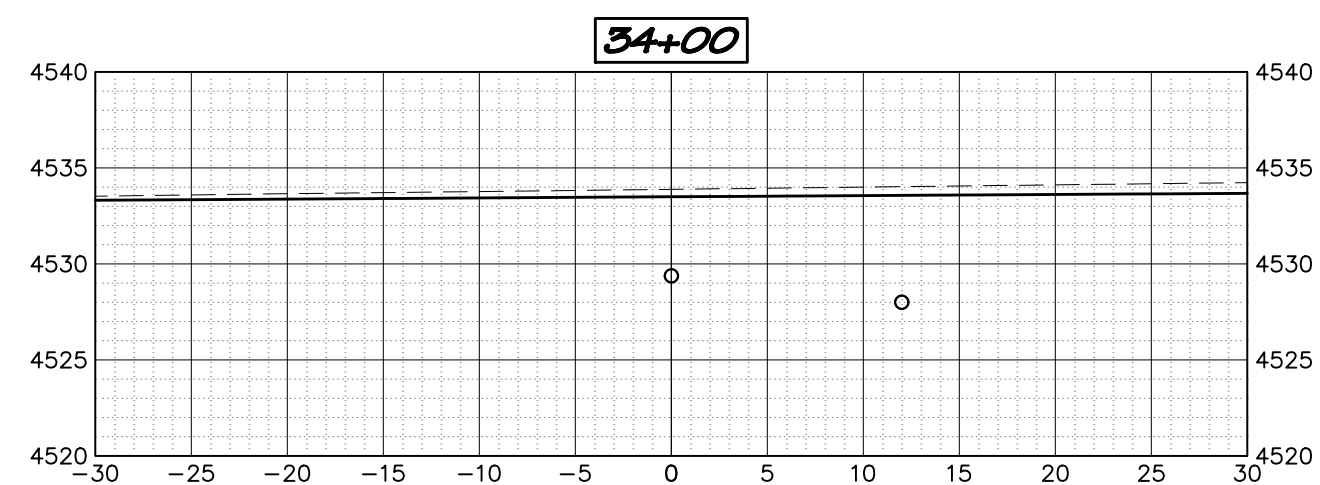
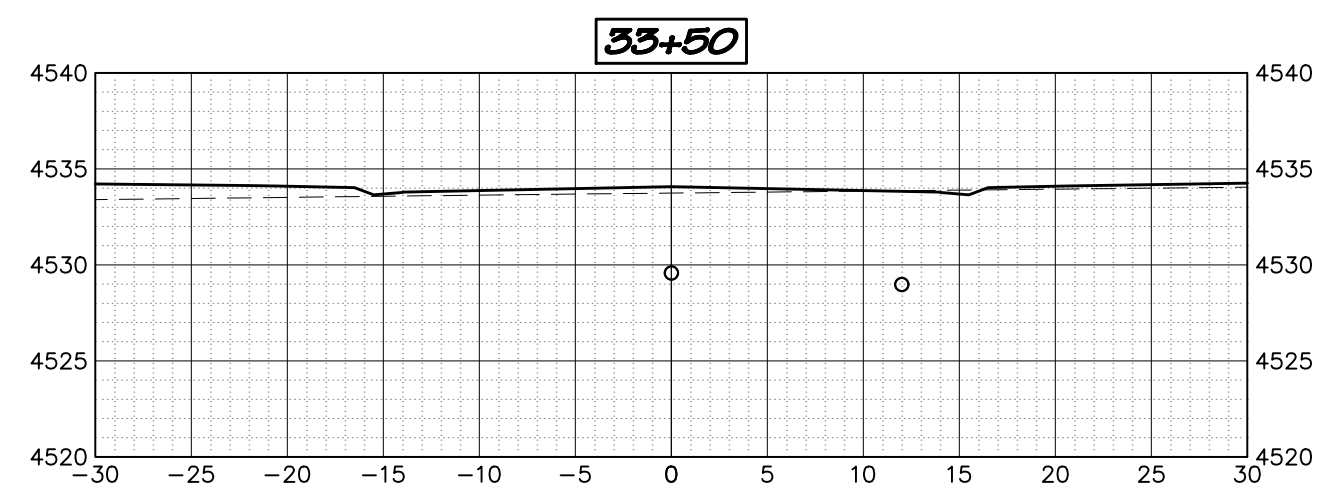
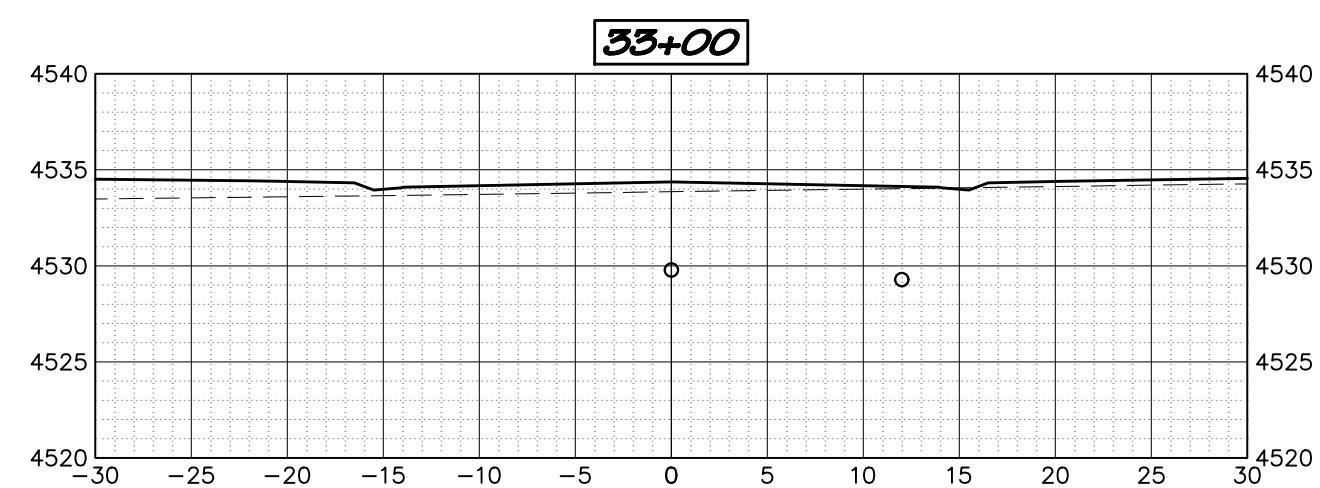
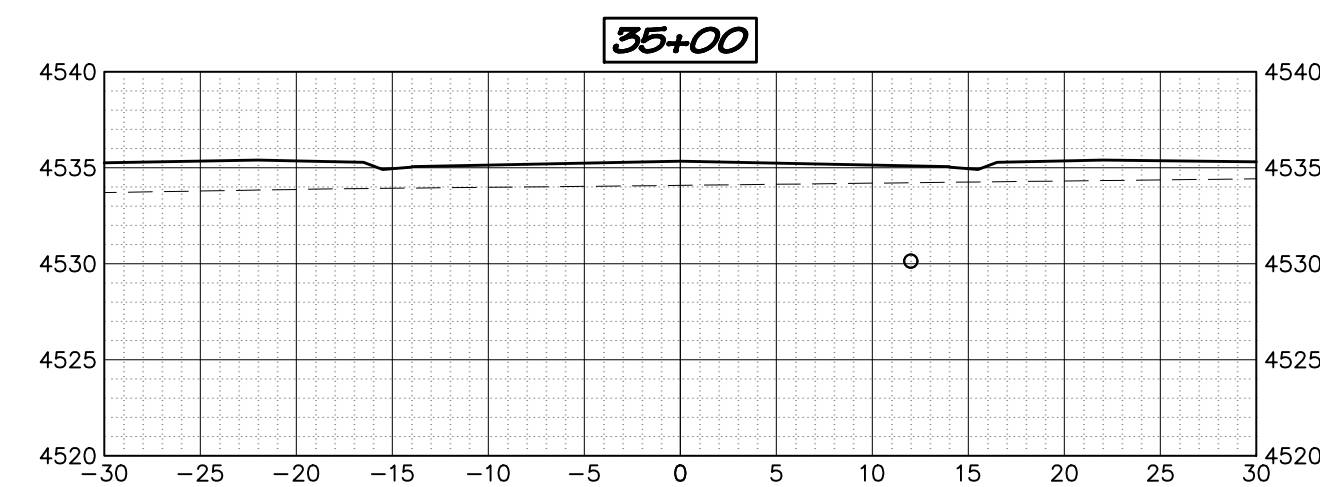
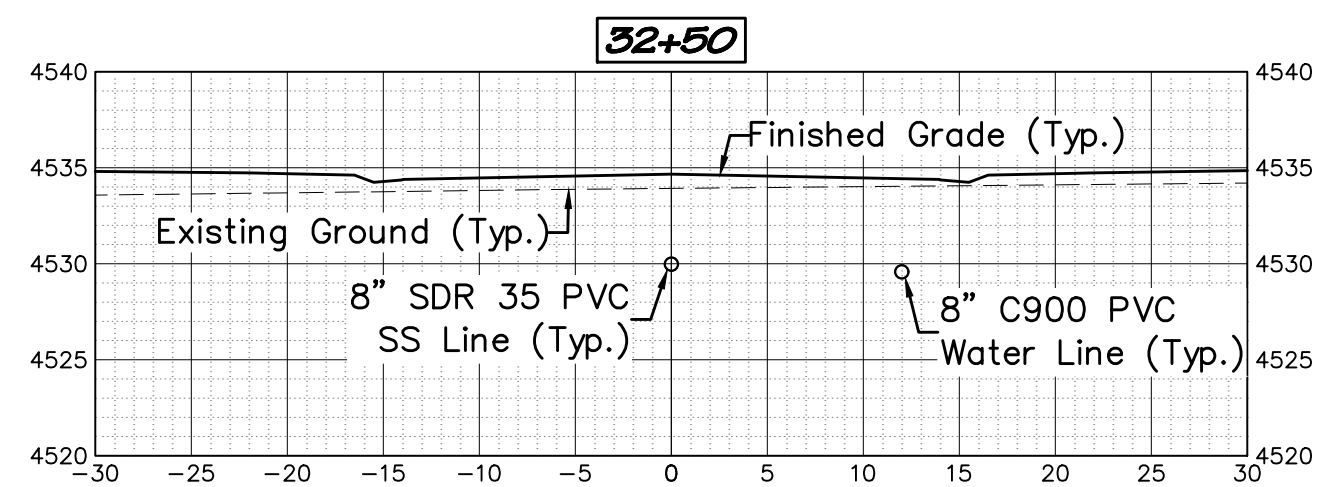
**WEST CANYON FRUITA, LLC**

*West Canyon*

Road Cross Section Views  
 Hatchet Canyon Circle

C37



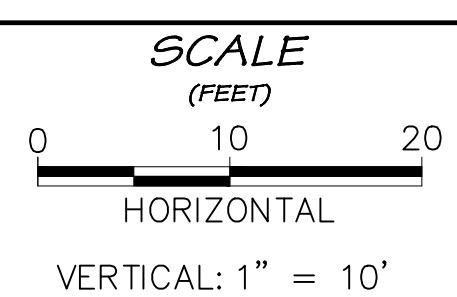


**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**UNCC**  
 811 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Road Xsect.dwg [Toms Canyon Drive] 12/3/2023 7:52:41 PM

**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

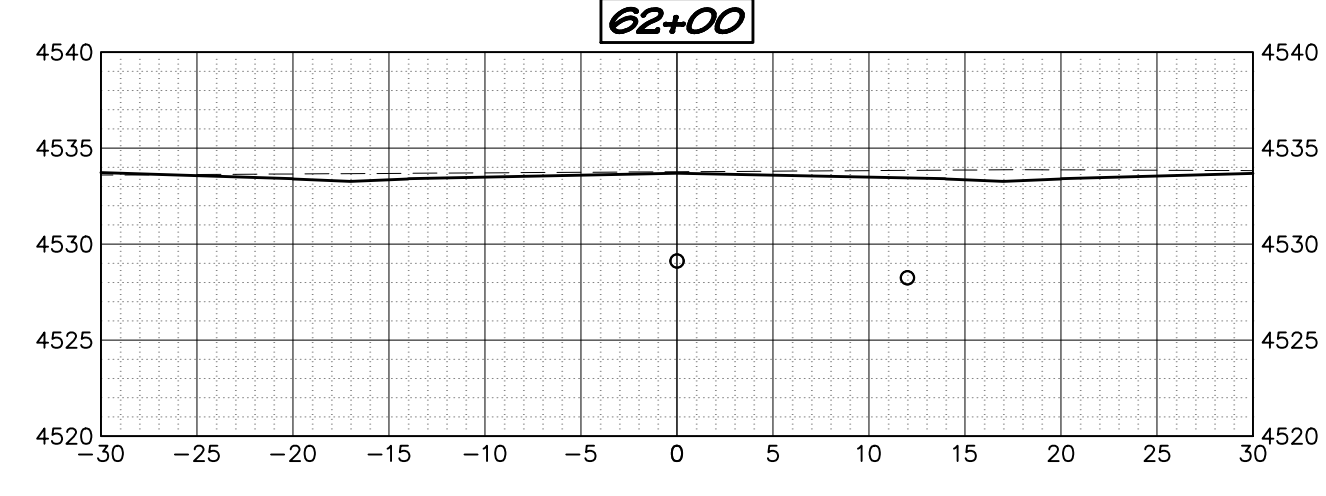
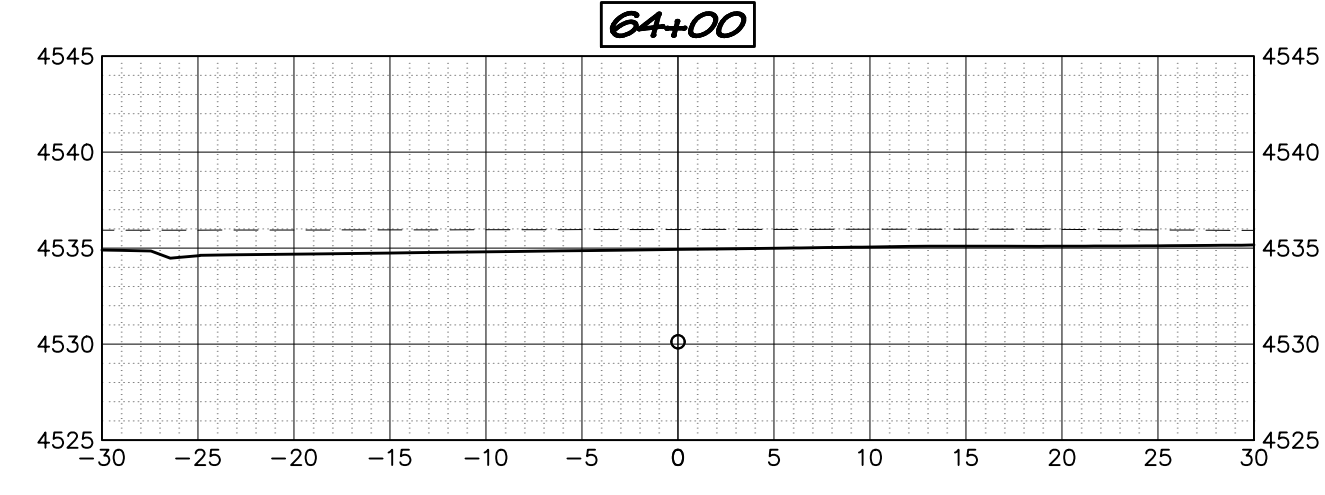
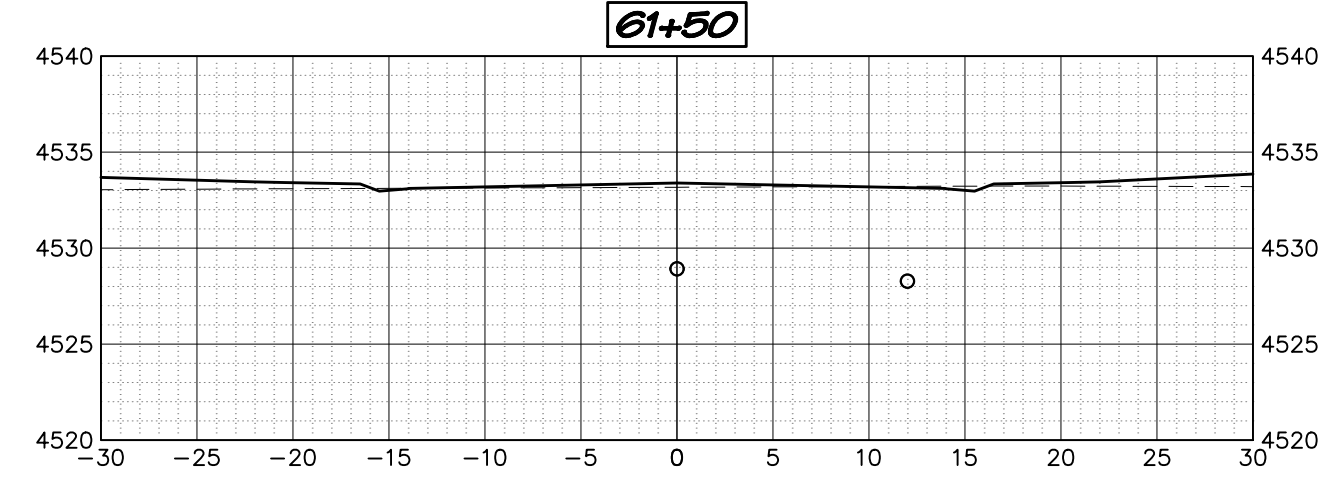
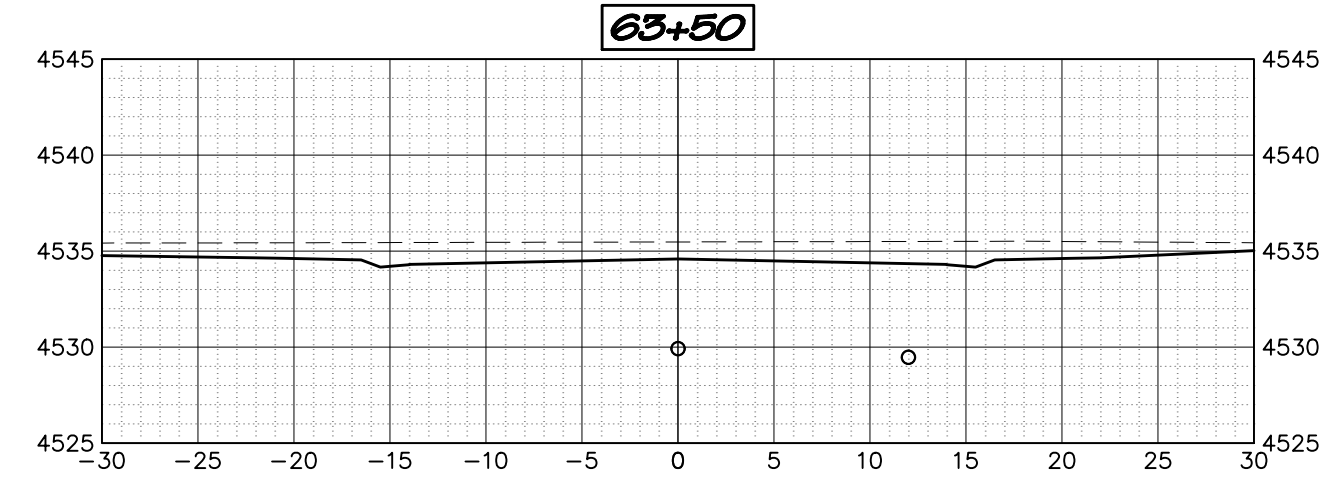
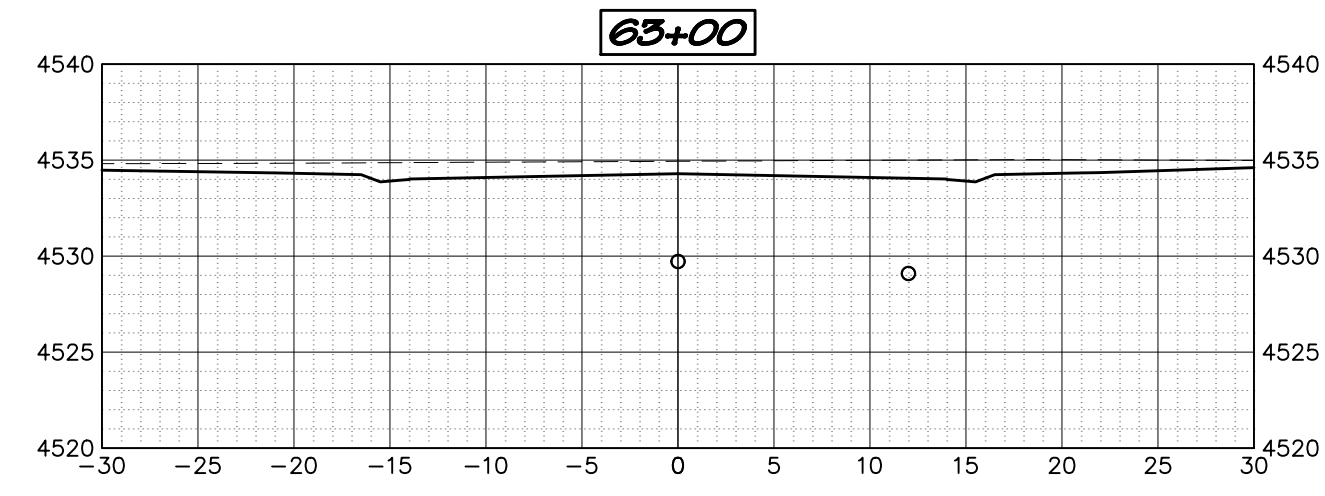
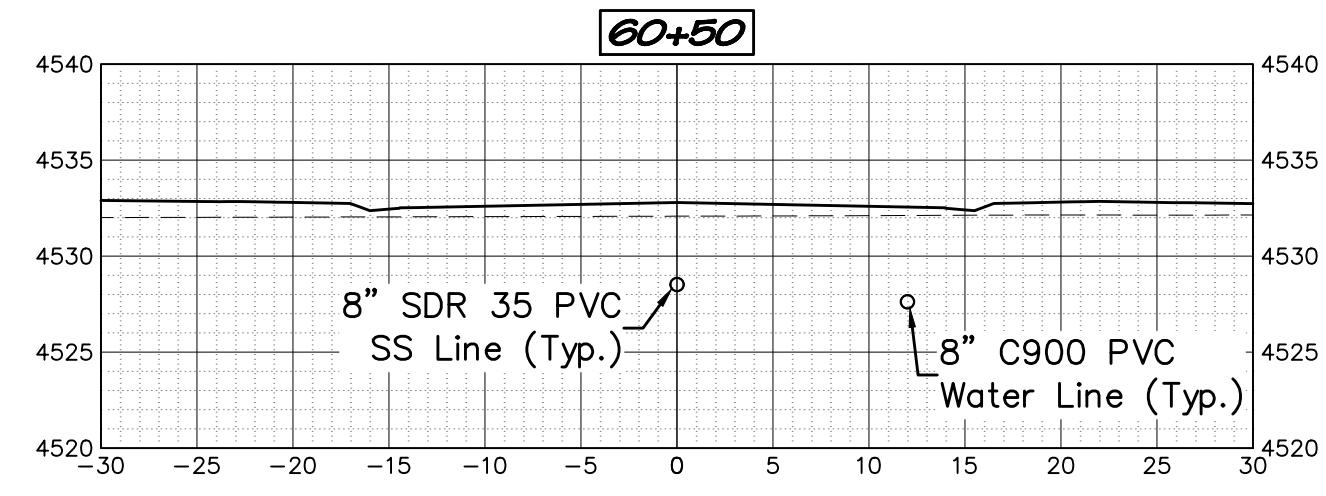
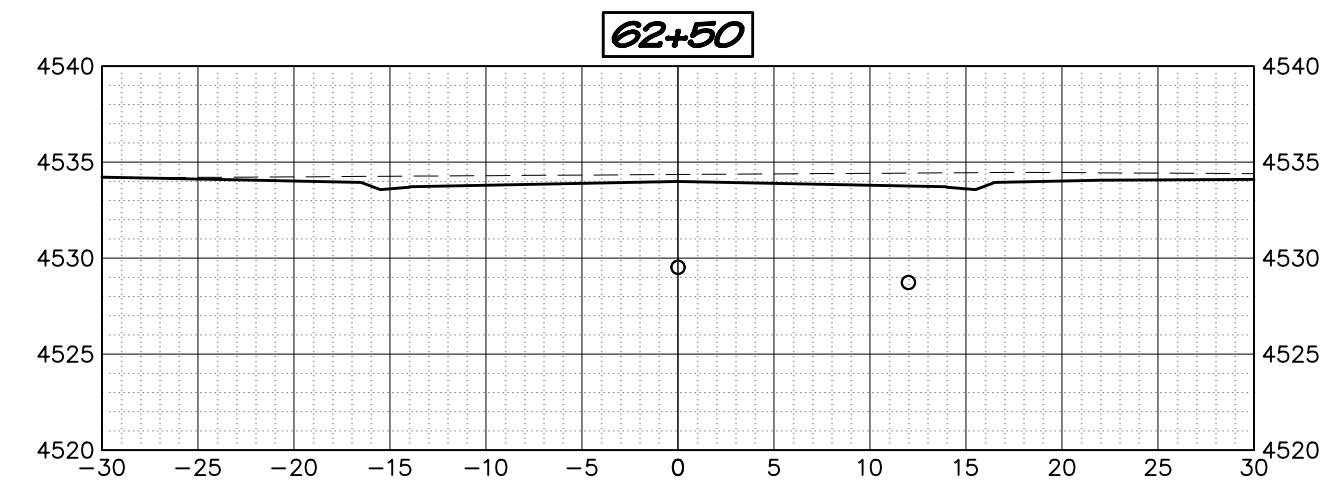
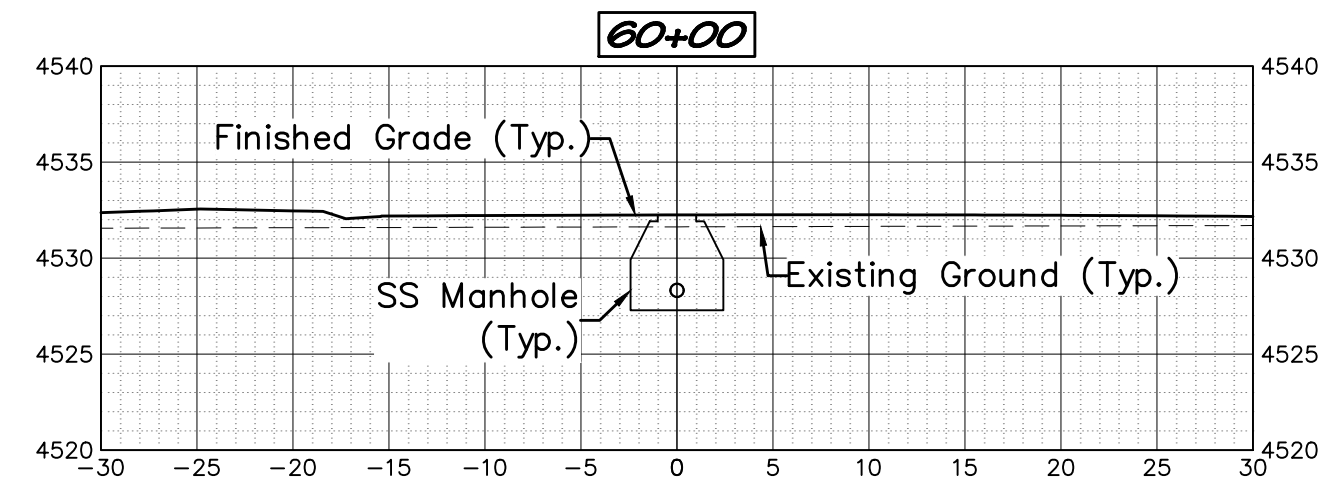
DRAWN BY: kac PROJECT: 0208-029  
 CHECKED BY: idg

ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
*West Canyon*  
 Road Cross Section Views  
 Toms Canyon Drive

**C38**





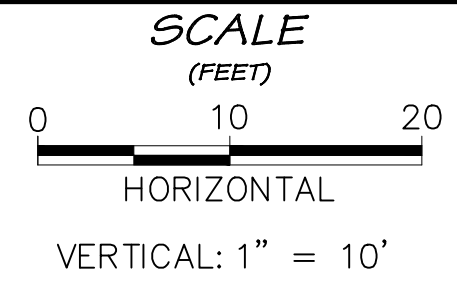
**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**UNCC**  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**811**  
 Know what's below.  
 Call before you dig.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John\_Thomas\_Dave\_Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Road Xsect.dwg [Mee Canyon Cir & Hatchet Canyon Cir] 12/3/2023 7:52:44 PM

**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: kac PROJECT: 0208-029  
 CHECKED BY: idg

ORIGINAL SHEET SIZE: 22 x 34

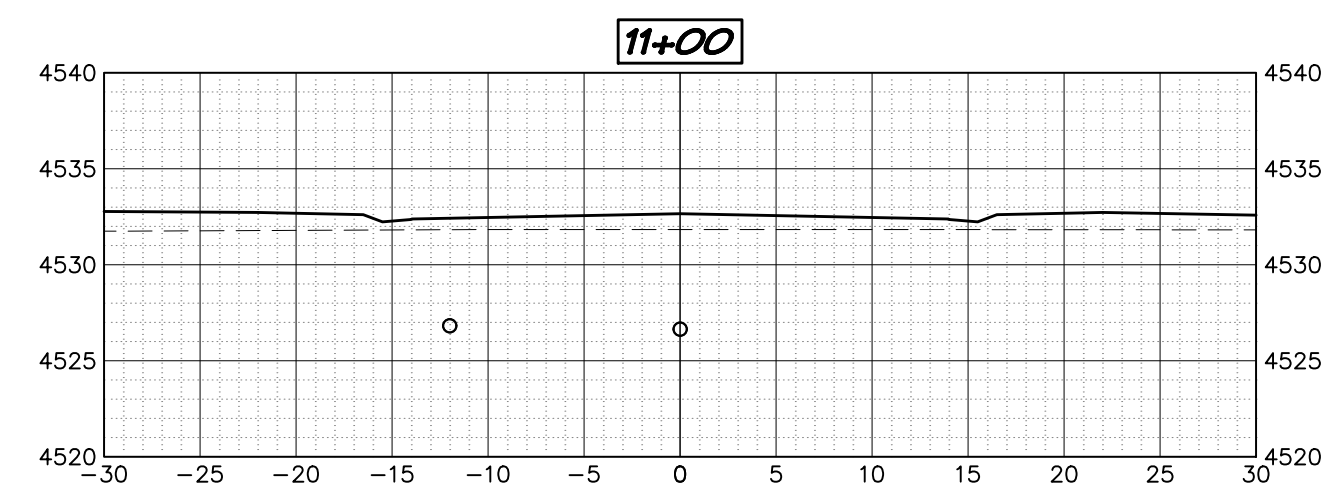
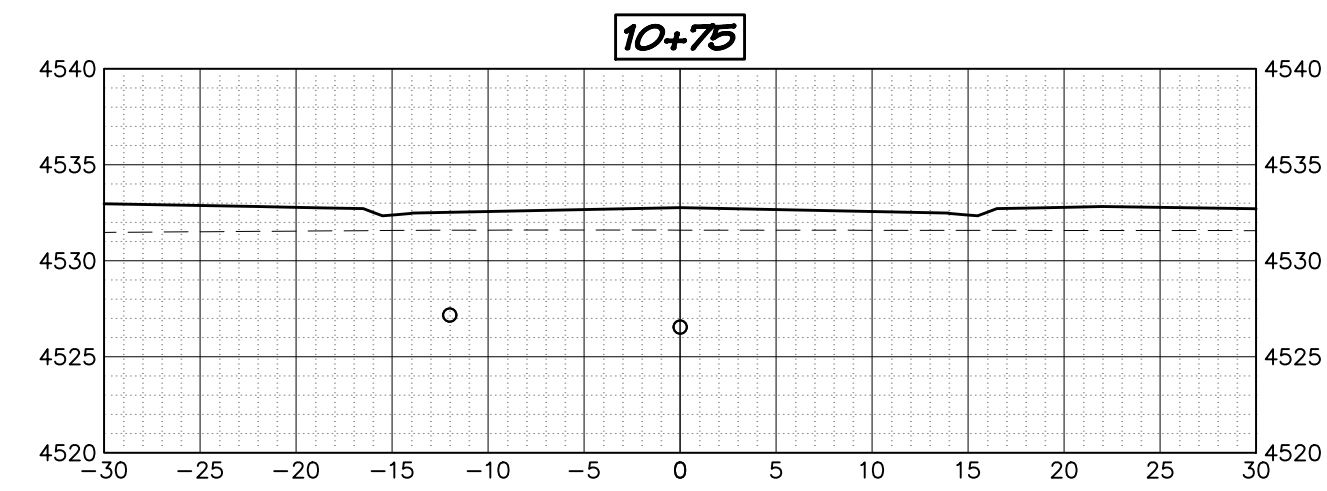
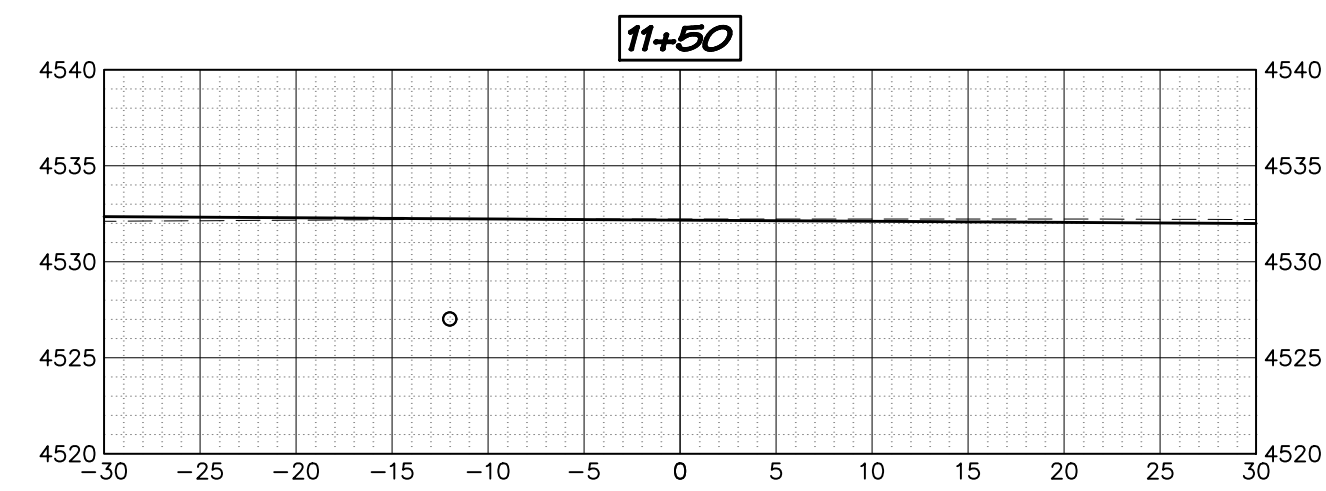
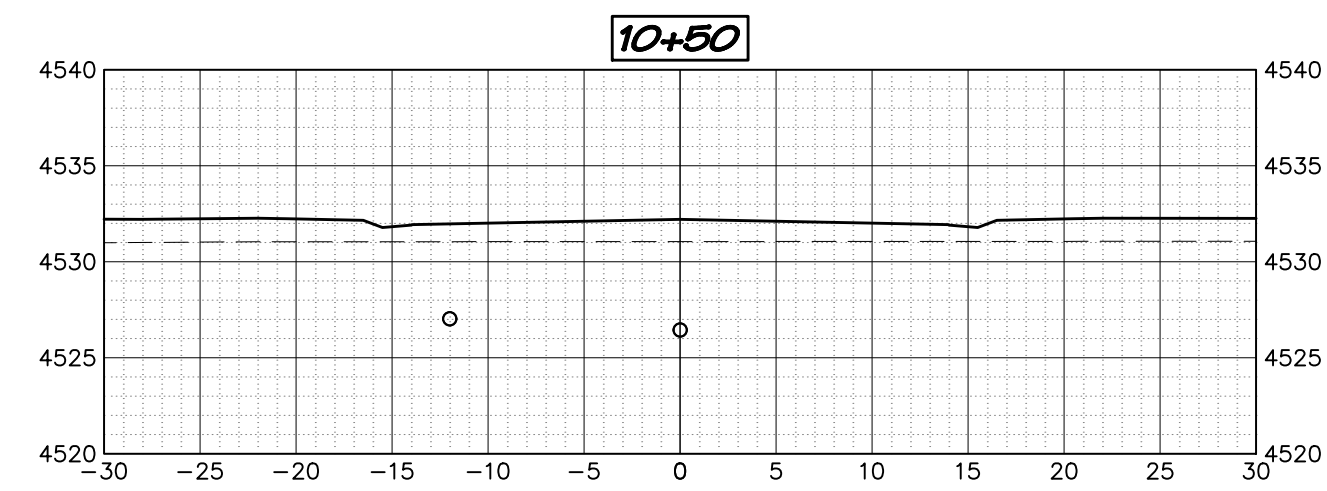
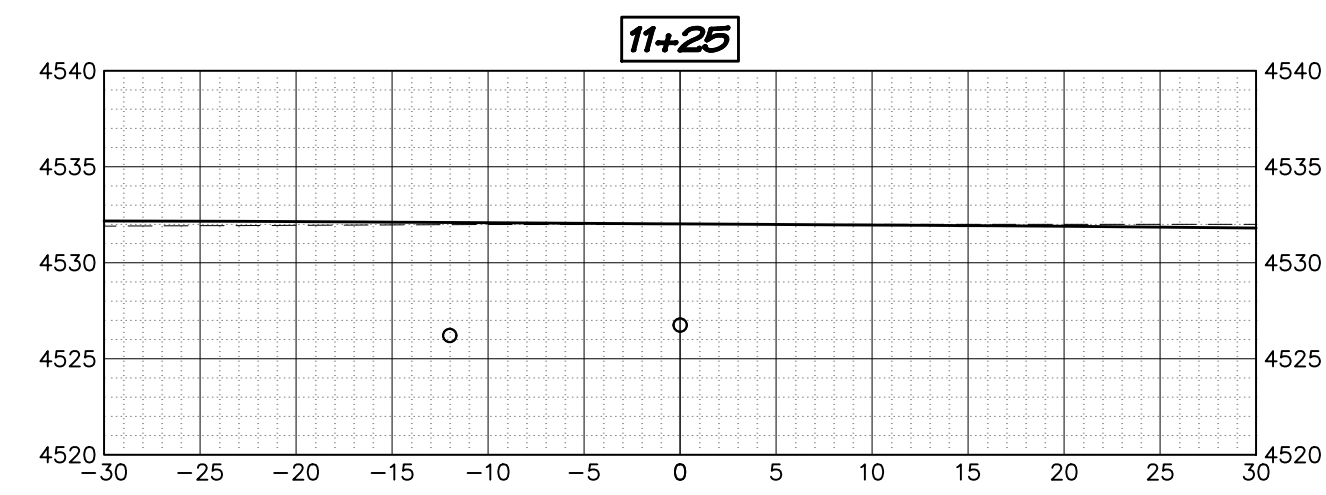
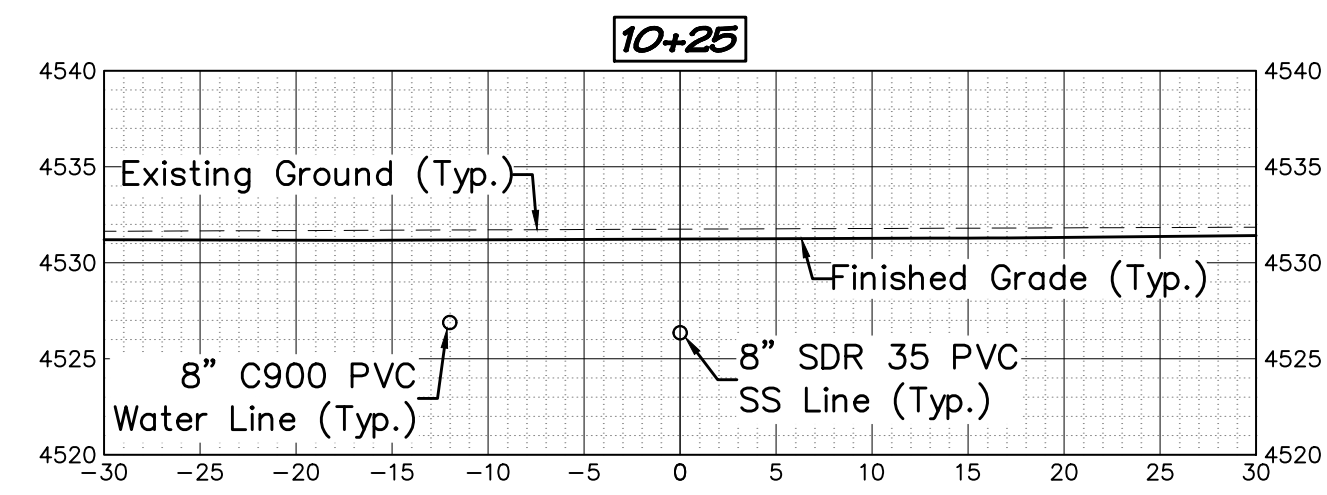
**WEST CANYON FRUITA, LLC**

*West Canyon*

Road Cross Section Views  
 Mee Canyon Cir & Hatchet Canyon Cir

C39



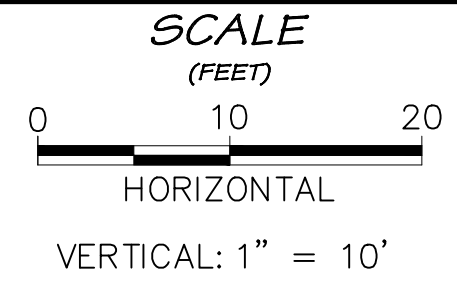


**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_



**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



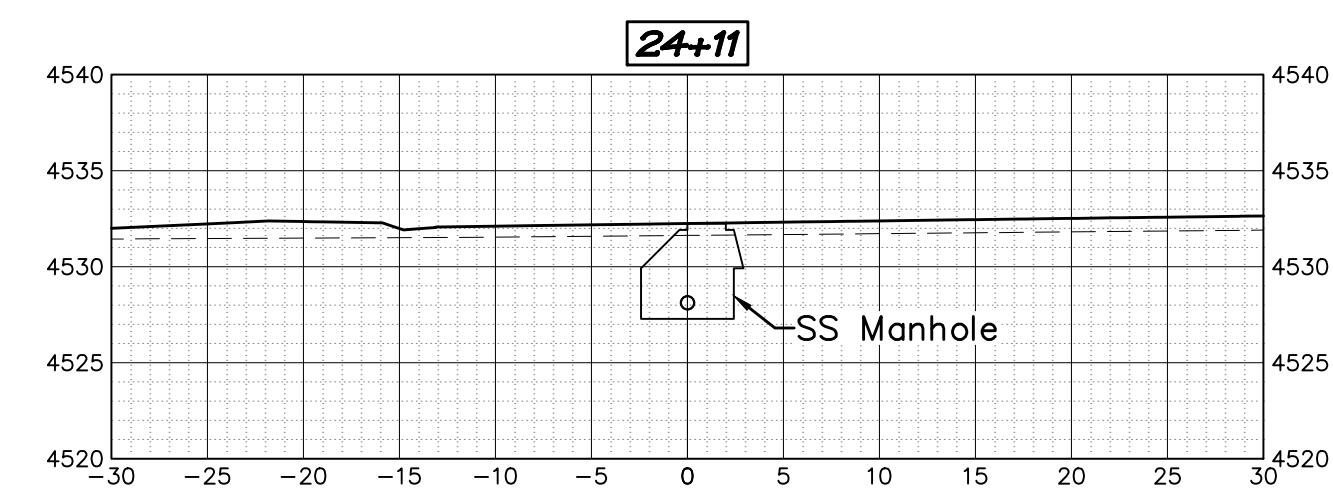
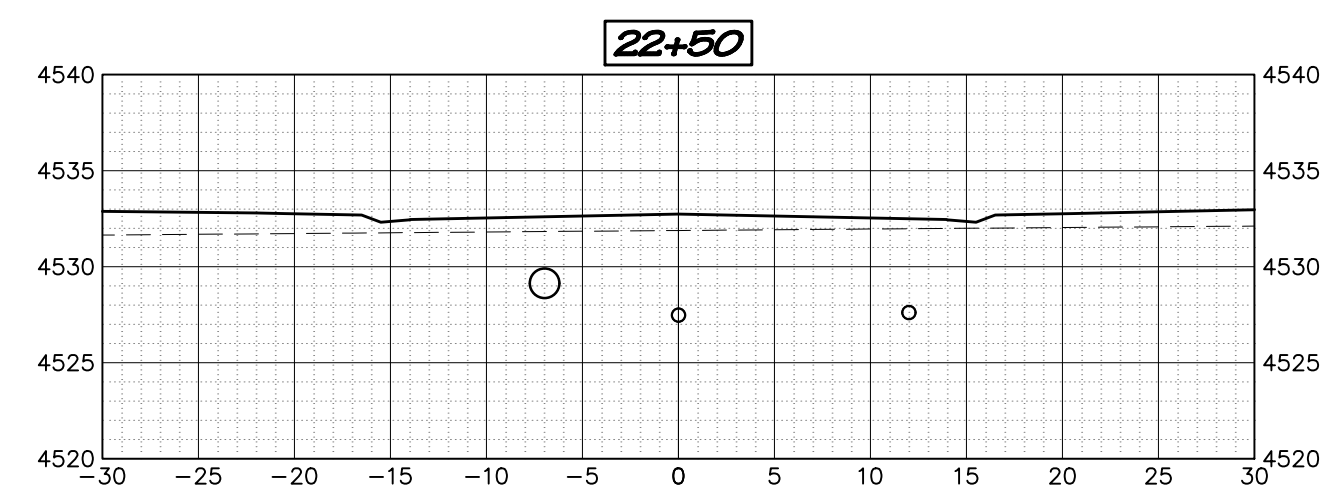
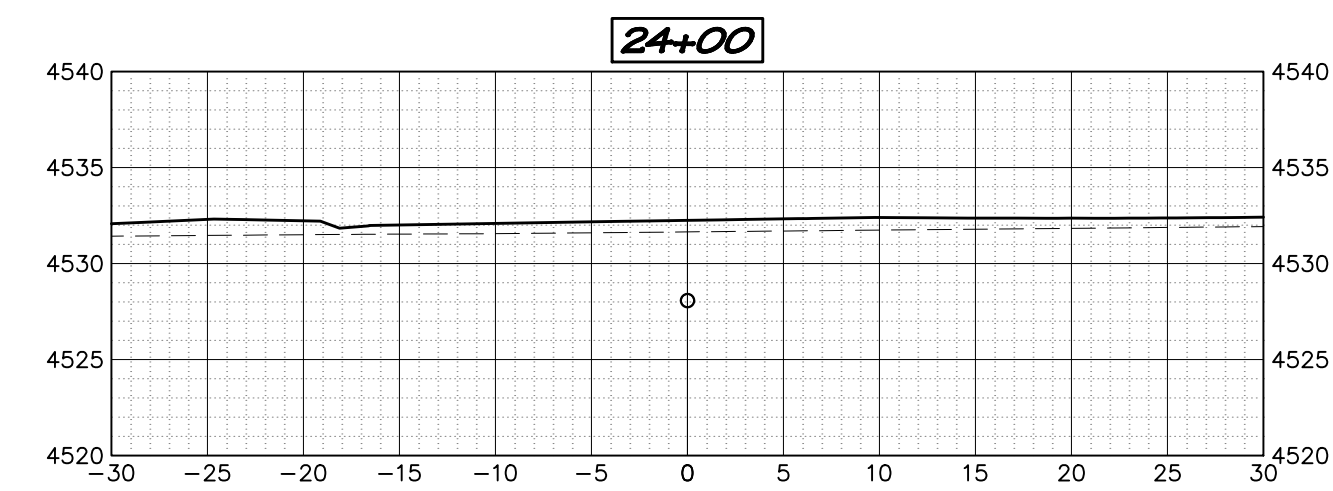
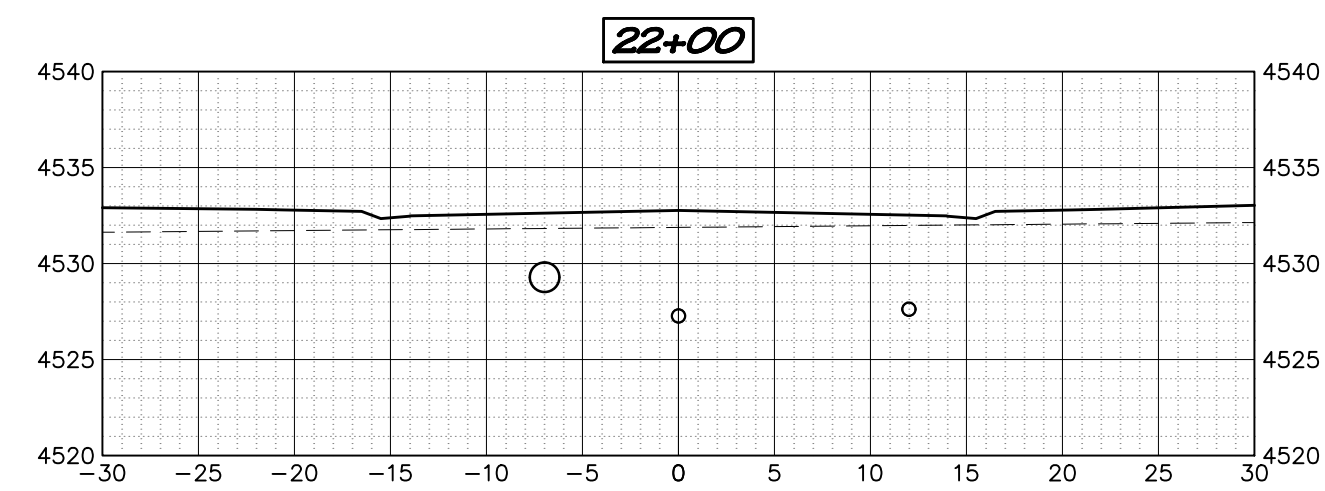
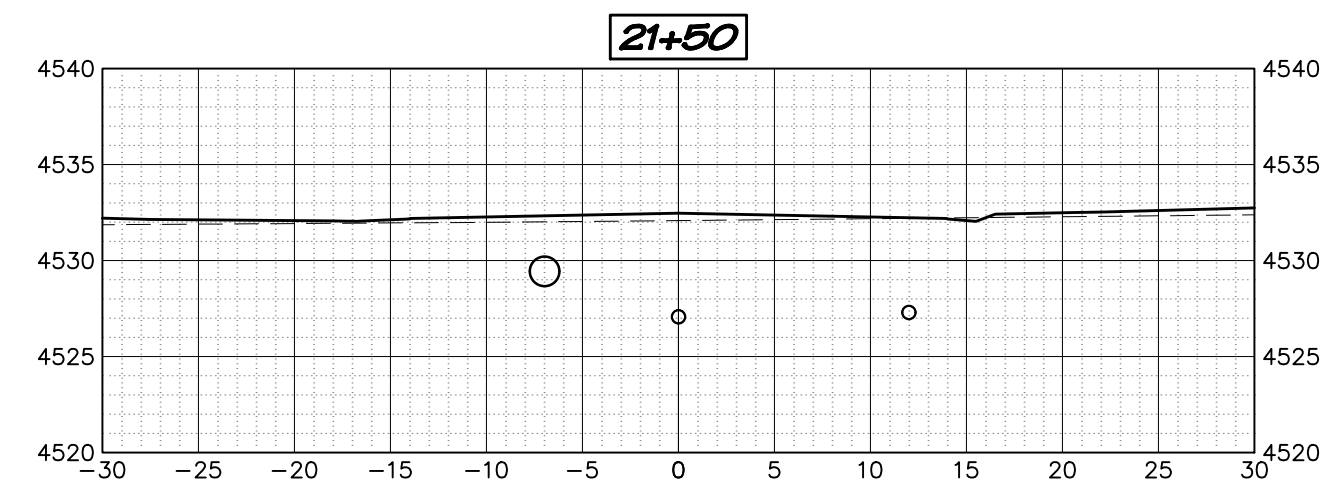
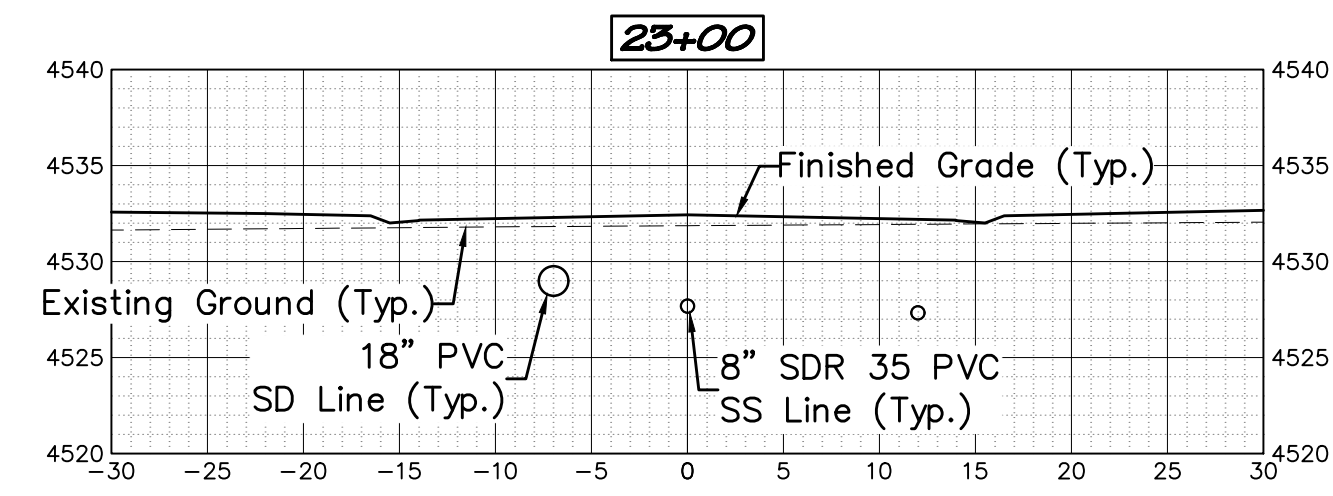
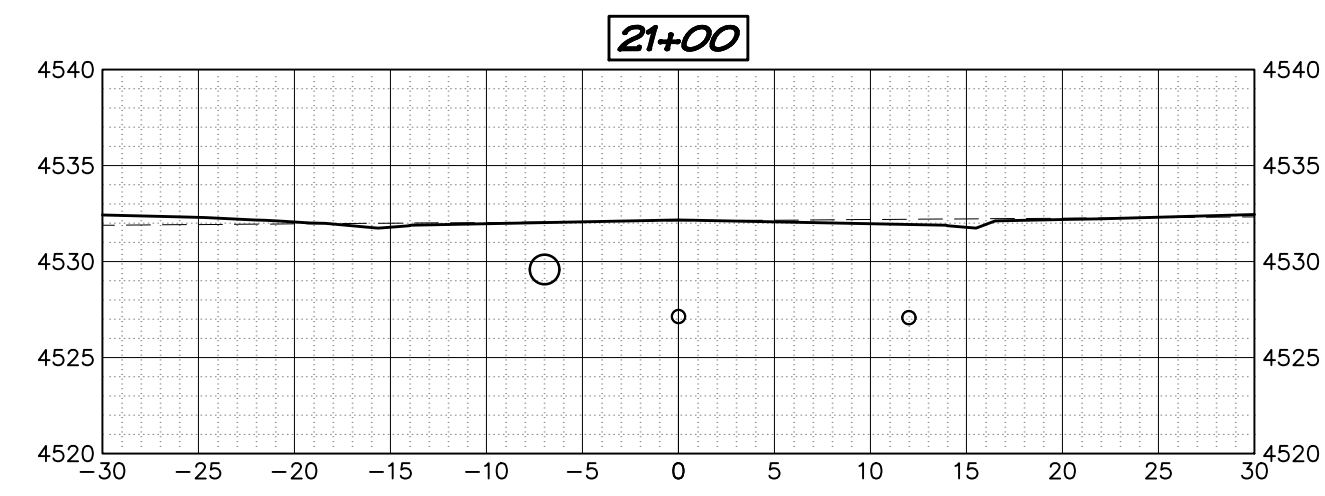
PROJECT PHASE: Preliminary/Review		DATE ISSUED: 01.DEC.2023	
NO.	DATE	REVISION	BY

**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841  
 DRAWN BY: kac PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**WEST CANYON FRUITA, LLC**  
*West Canyon*  
 Road Cross Section Views  
 West Canyon Drive





**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below.  
 Call before you dig.  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 19-1 3.25" Aluminum Cap  
 Intersection of 18 Rd. & K Rd.  
 NE Corner, Sec.17 T.1N R.2W Ute Meridian  
 NORTHING: 71186.17  
 EASTING: 47251.63  
 ELEVATION: 4531.79  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
 (FEET)  
 0 10 20  
 HORIZONTAL  
 VERTICAL: 1" = 10'

PROJECT PHASE: Preliminary/Review DATE ISSUED: 01.DEC.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\0208 John Thomas\_Dave Bagg\029 K Road Fruita\Design\DWG\05-Sheet\0208-029 Road Xsect.dwg [Mee Canyon Circle] 12/3/2023 7:52:49 PM

**PRELIMINARY**

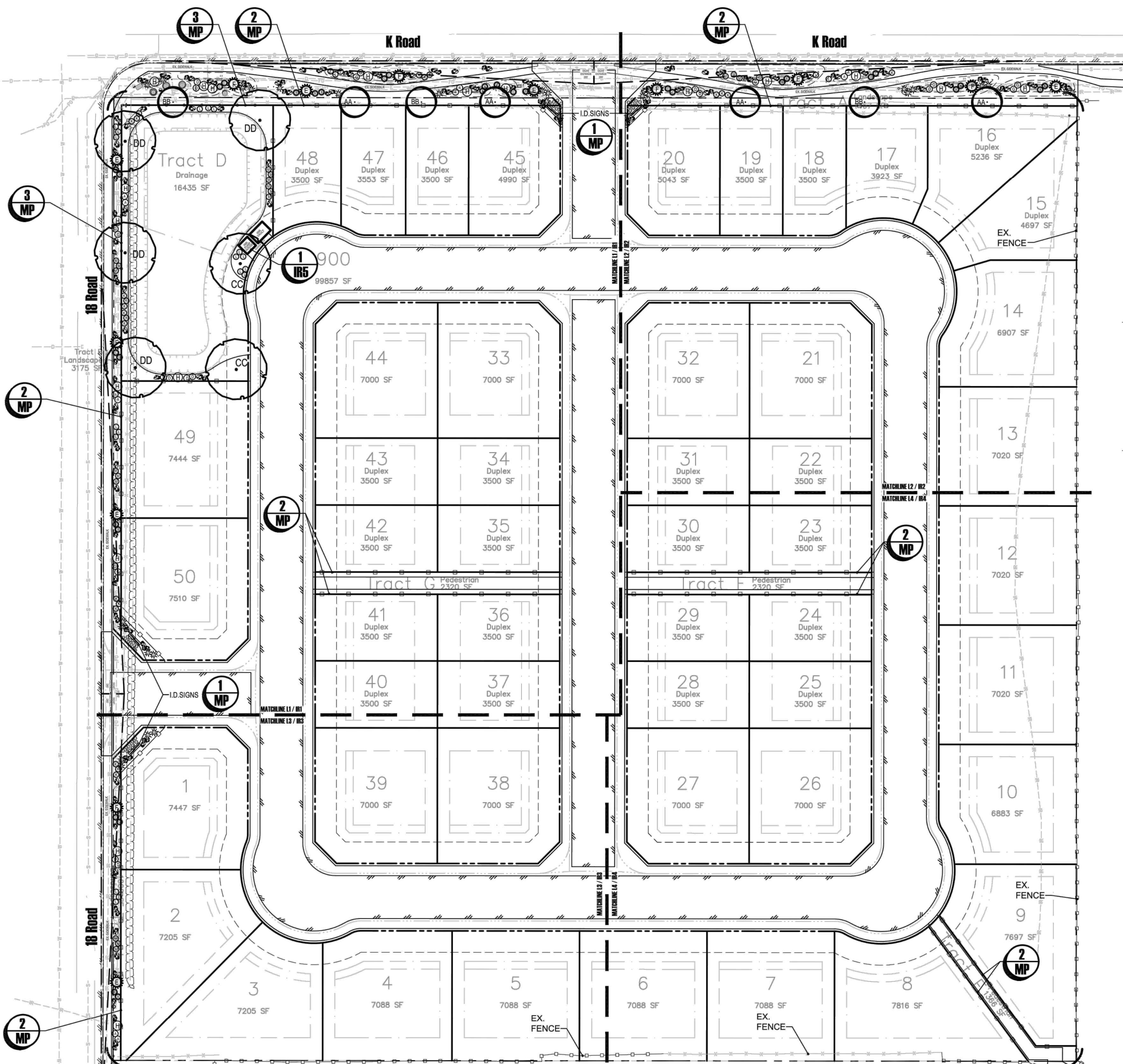
**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: kac PROJECT: 0208-029  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

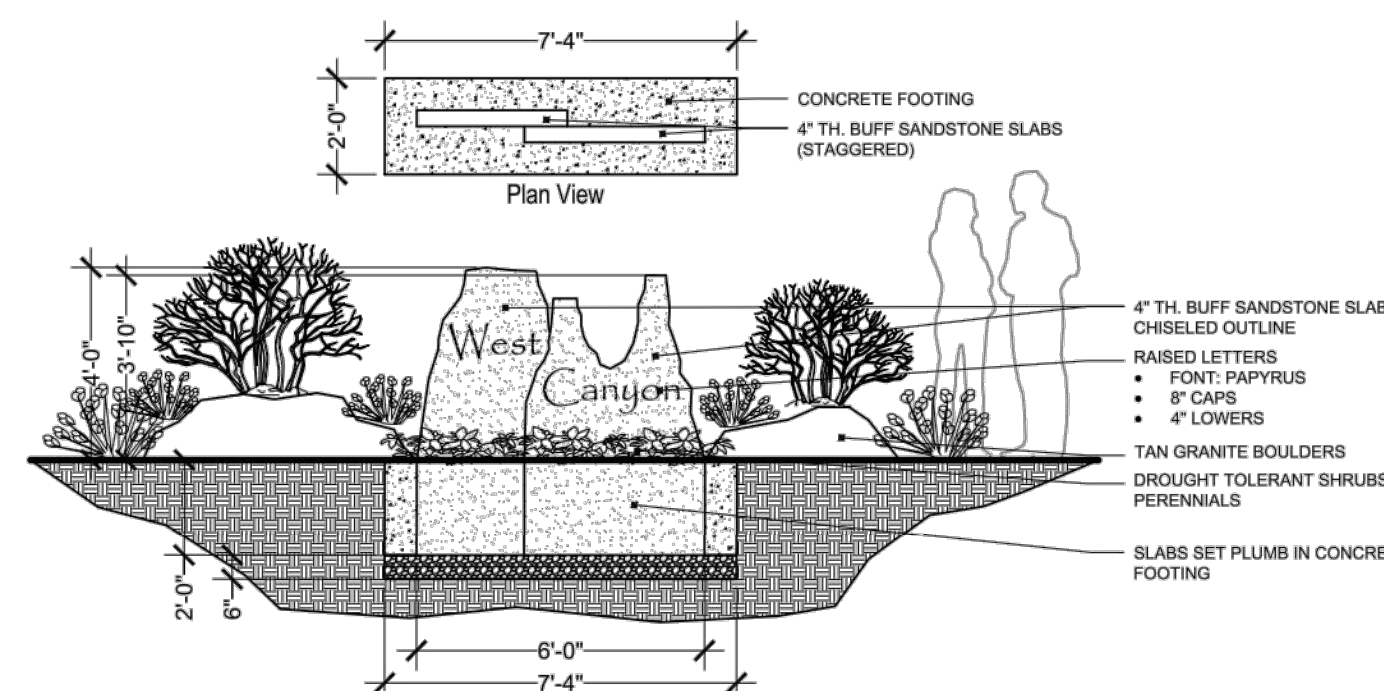
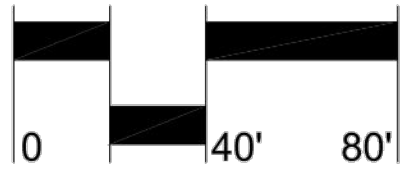
**WEST CANYON FRUITA, LLC**  
 West Canyon  
 Road Cross Section Views  
 Mee Canyon Circle

C41





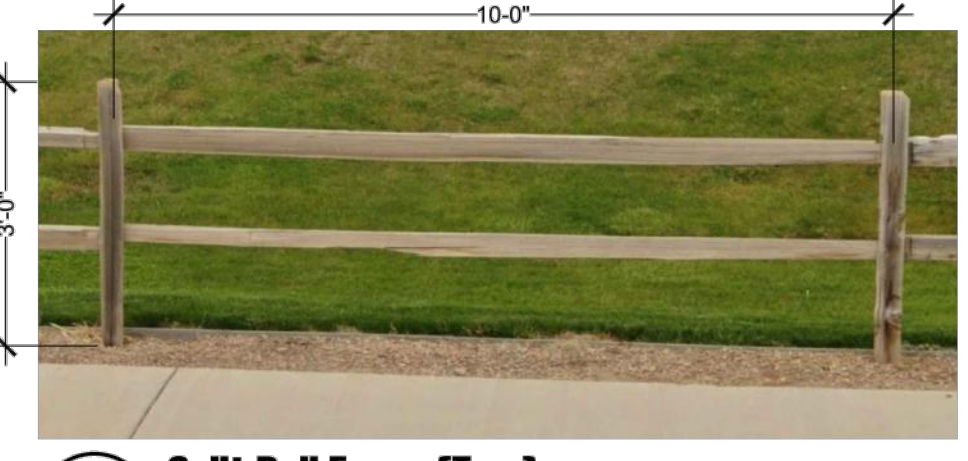
Note: See Enlargement Plans L1 - L4 for Detail



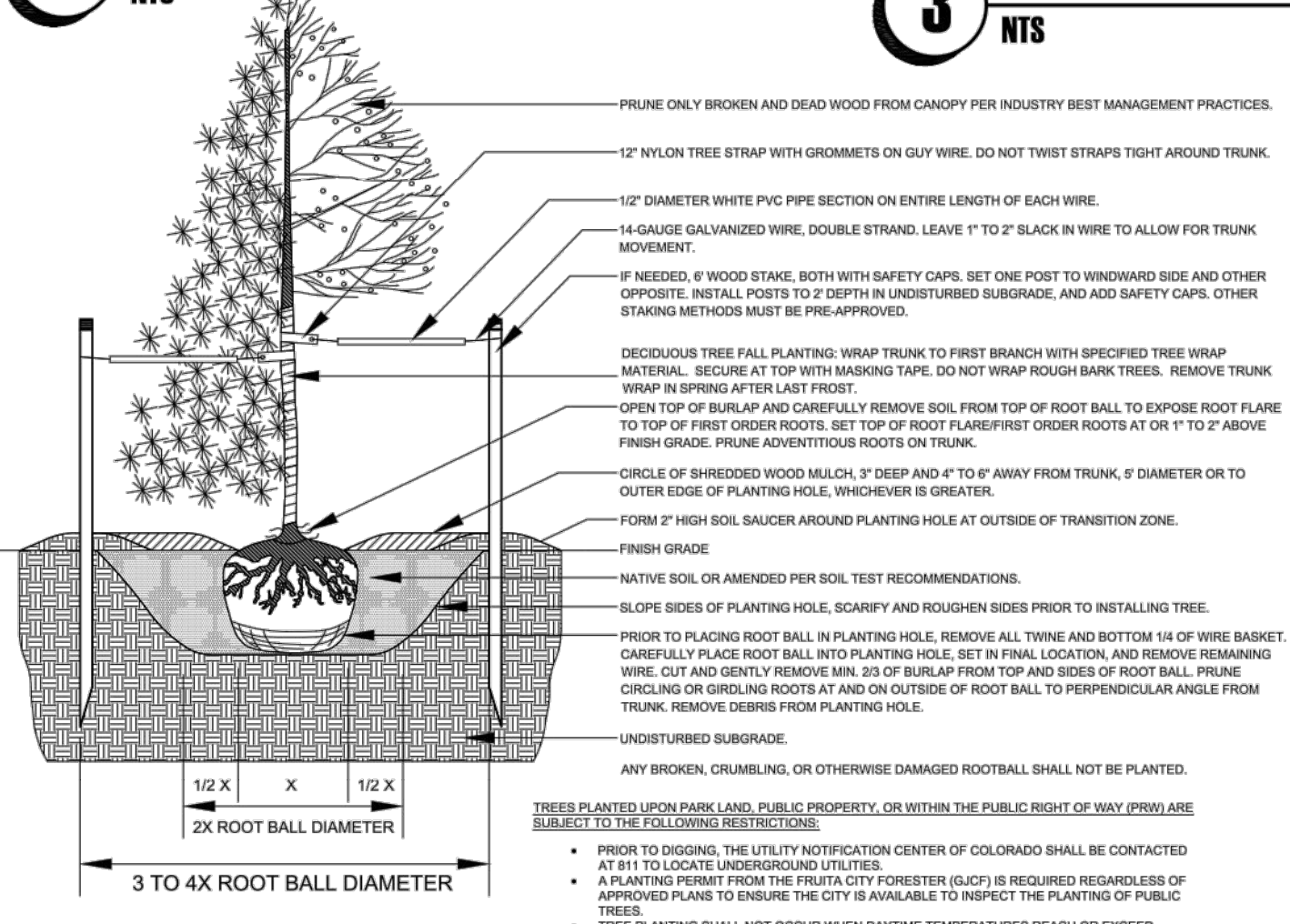
**1 Entrance Identification Sign**  
Scale: 1/4" = 1'-0"



**2 Privacy Fence (Typ.)**  
NTS



**3 Split Rail Fence (Typ.)**  
NTS



**4 Tree Planting (Typ.)**  
NTS

**Plant Schedule**

KEY COMMON NAME	BOTANICAL NAME	H'	W'	SIZE	TYPE	QTY
<b>Deciduous Trees:</b>						
AA Hot Wings Tatarian Maple	Acer tataricum 'GarAnn'	15	15	1.5' Cal.	B&B	4
BB Winter King Hawthorne	Crataegus viridis	20	20	1.5' Cal.	B&B	3
CC Shademaster Thornless Honeylocust	Gleditsia triacanthos var. inermis 'Shademaster'	50	40	2' Cal.	B&B	2
DD Pioneer Elm	Ulmus x 'Pioneer'	40	35	2' Cal.	B&B	4
						<b>Total Deciduous Trees: 13</b>
<b>Deciduous/Evergreen Shrubs:</b>						
A Dark Knight Blue Mist Spirea	Caryopteris x clandonensis 'Dark Knight'	4	4	#5	Cont.	10
B Intricate Mtn Mahogany	Cercocarpus ledifolius	4	4	#5	Cont.	18
C Bluestem Joint Fir	Ephedra equisetina	4	4	#5	Cont.	14
sub Mugo Pine	Pinus Mugo 'Slowmound'	4	4	#5	Cont.	
D Apache Plume	Fallugia paradoxa	4	4	#5	Cont.	12
E Cologreen Juniper	Juniperus scopulorum 'Cologreen'	25	10	#5	Cont.	7
F Moonglow Juniper	Juniperus scopulorum 'Moonglow'	15	6	#5	Cont.	6
G Blue Spire Russian Sage	Pervoskia atriplicifolia 'Blue Spire'	4	3	#5	Cont.	10
H Fragrant Sumac	Rhus aromatica 'Gro-Low'	2	5	#5	Cont.	18
<b>Yucca &amp; Agave - Small (2):</b>						
I Perry's Agave	Agave parryi	4	3	#5	Cont.	10
J Red Yucca	Hesperaloe parviflora	4	3	#5	Cont.	20
<b>Ornamental Grasses:</b>						
K Blonde Ambition® Blue Grama Grass	Bouteloua gracilis 'Blonde Ambition'	2	2	#1	Cont.	22
L Blue Cat Grass	Helictotrichon sempervirens	2	2	#1	Cont.	23
M Dwarf Fountain Grass	Pennisetum alopecuroides	2	2	#1	Cont.	18
						<b>Total Shrubs: 188</b>
<b>Groundcover:</b>						
G1 STARBURST® ice plant	Delosperma floribundum	1	2	#1	Cont.	18
G2 VALLEY LAVENDER® plains verbena	Verbena bipinnatifida	1	2	#1	Cont.	18
						<b>Total Groundcover: 36</b>

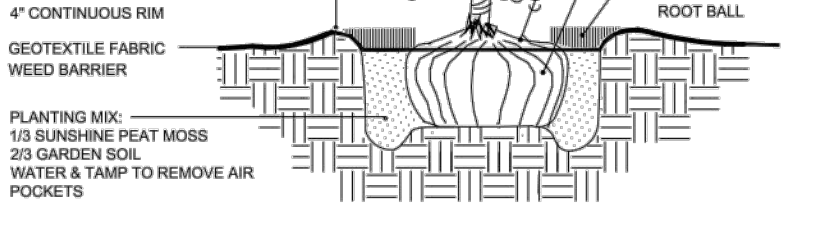
**Landscape Notes**

- INSTALL MULCH IN ALL SHRUB BEDS AS INDICATED ON PLAN. INSTALL WEED BARRIER UNDERLAYMENT MATERIAL AND TOPDRESS WITH MULCH MATERIAL TO MIN. 3 INCH DEPTH.
- PREP ALL PLANTING AREAS WITH MIN. 4 CU YDS PER 1,000 SF WITH GOOD QUALITY COMPOSTED ORGANIC MATTER. (MESA MAGIC® OR EQUAL.) FIRST, DECOMPACT ALL PLANTING AREA SOILS TO A MIN. DEPTH OF 8 INCHES PRIOR TO TILLING. TILL AND INCORPORATE AMENDMENT TO A MIN. DEPTH OF 8 INCHES.
- LANDSCAPE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE MEANS, METHODS OR APPROPRIATENESS OF CONSTRUCTION AND SAFETY PROCEDURES CHOSEN BY ANY CONTRACTOR.
- PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREE INSTALLED AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS WALKS. ADJUST SPACING AS NECESSARY.
- INSTALL TREES A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB, EDGE OF WALL, OR PAVING.
- FORM 30 INCH WATERING BASIN AROUND ALL TREES. FILL BASIN WITH 1-1/2 INCH LAYER OF WOOD CHIPS OR MESA MAGIC COMPOST.
- PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT SCHEDULE FOR KEY AND CLASSIFICATION.
- ALL PLANT MATERIAL OUTSIDE OF THE LIMIT OF CONSTRUCTION LINE MUST REMAIN UNDISTURBED.
- ALL MATERIALS NOT TO BE REMOVED WILL BE MARKED CLEARLY WITH FLAGGING TAPE, PROTECTIVE FENCING, OR OTHER APPROVED BARRIER PRIOR TO CONSTRUCTION.
- IDENTIFY LOCATIONS OF ALL UNDERGROUND UTILITIES THAT MIGHT BE DISTURBED BY LANDSCAPE ELEMENTS PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIALS SHALL MEET THE AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004, OR AS IT MAY BE AMENDED.
- THE CONTRACTOR SHALL BE HELD COMPLETELY LIABLE FOR ANY DAMAGES RESULTING IN DEVIATIONS, OMISSIONS, OR AMENDMENTS TO THIS PLAN. ANY CHANGES TO THIS PLAN SHALL BE DONE ONLY BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. FIELD CHANGES BY THE CONTRACTOR SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BY EITHER RFI OR CHANGE ORDER IN WRITING PRIOR TO CONSTRUCTION.

**Legend**



**5 Shrub Planting (Typ.)**  
NTS



**Irrigation Notes**

- THE IRRIGATION SYSTEM SHALL CONSIST OF AN UNDERGROUND PRESSURIZED SYSTEM THAT WILL PROVIDE DRIP COMPONENTS TO THE SHRUBS AND TREES. NO GRASS IS PLANNED FOR THIS LANDSCAPE.
- IRRIGATION CONTROLLER SHALL BE A "WATER SENSE" SMART IRRIGATION CONTROLLER.
- PROVIDE DRIP IRRIGATION TO ALL SHRUBS AND TREES (TREES 4 GPH PER TREE, SHRUBS 2 GPH PER SHRUB, PERENNIALS 1 GPH PER PLANT).
- THE IRRIGATION SYSTEM SHALL USE RAW WATER PROVIDED FROM THE CITY OF FRUITA.

Project Name:  
**West Canyon**  
18 Rd. & K Rd.  
Fruita, Colorado

Landscape Architect:  
**NVISION DESIGN STUDIO, INC.**  
477 23 Road Grand Junction, CO 81505  
Phone: 970.210.2155 Email: r@nvision.biz  
Web: www.nvision.biz  
Landscape Architecture | Visual Simulation | Graphic Design

Registration:  
**Robert A. Breeden**  
LA 462  
Professional Seal of the State of Colorado  
LICENSED LANDSCAPE ARCHITECT

**Legend**

- PROPOSED SHRUBS/PERENNIALS/ORNAMENTAL GRASSES
- PROPOSED DECIDUOUS TREES
- PROPOSED EVERGREEN SHRUBS
- PROPOSED EVERGREEN TREES
- GRAY GUNNISON BOULDERS 24"-36"
- SPLIT RAIL FENCE - SEE SHEET MP FOR DETAILS
- PRIVACY FENCE - SEE SHEET MP FOR DETAILS

Revisions:

Sheet Title:  
**Master Landscape Plan**

Project: West Canyon

Date: November 15, 2023

Scale: 1" = 40'

City Planner: \_\_\_\_\_ Date: \_\_\_\_\_

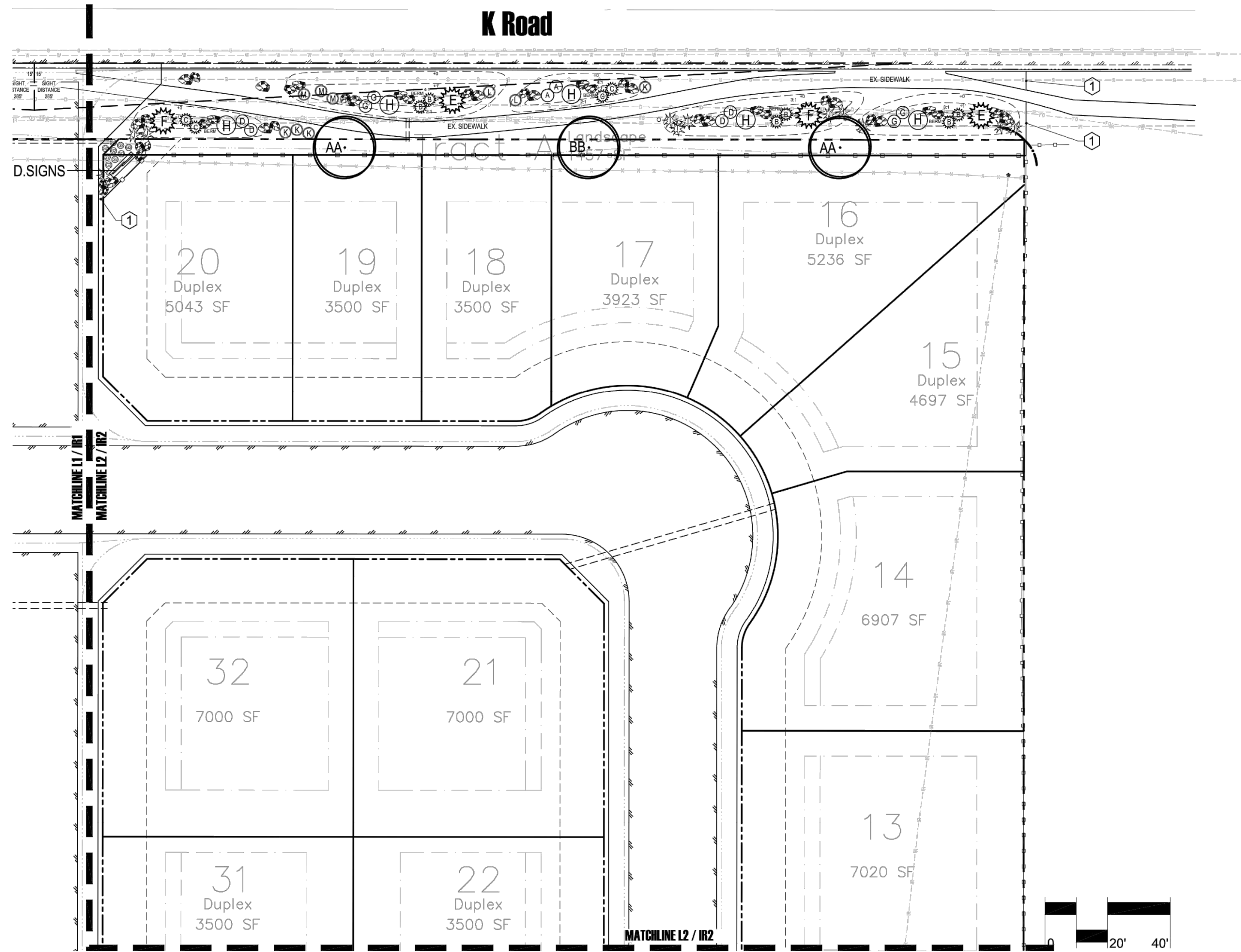
ACCEPTANCE BLOCK  
THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSURES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS RESTAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD. CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

North  
MP  
of 11 Sheets





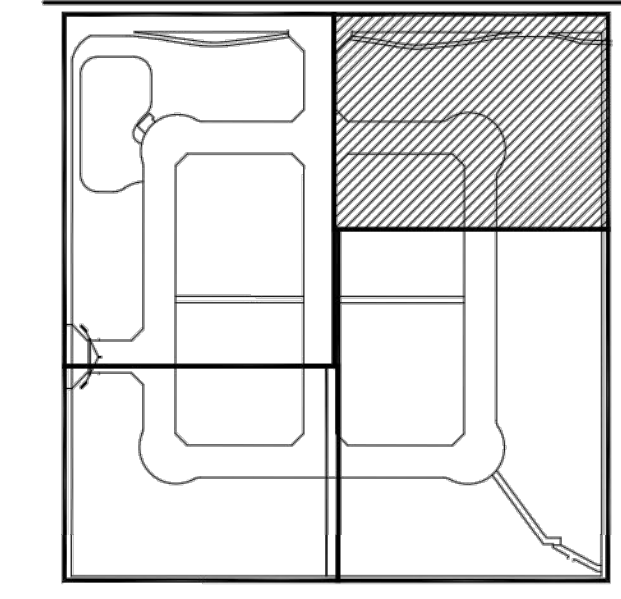




**Plant Key**

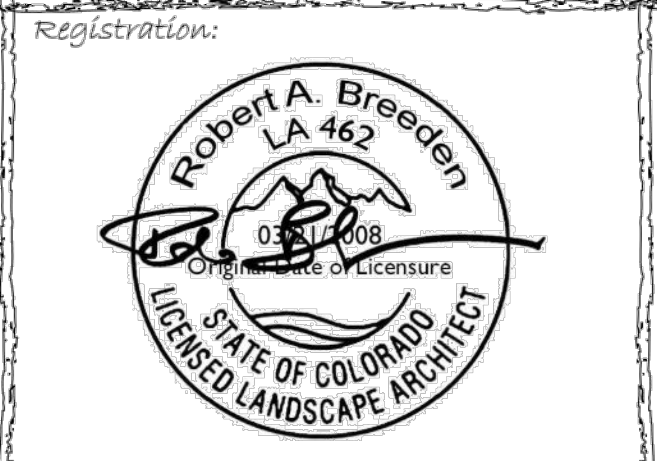
- KEY COMMON NAME**
- Deciduous Trees:**  
**AA** Hot Wings Tatarian Maple  
**BB** Winter King Hawthorne  
**CC** Shademaster Thornless Honeylocust  
**DD** Pioneer Elm
- Deciduous/Evergreen Shrubs:**  
**A** Dark Knight Blue Mist Spirea  
**B** Intricate Mtn Mahogany  
**C** Bluestem Joint Fir  
**sub** Mugo Pine  
**D** Apache Plume  
**E** Cologreen Juniper  
**F** Moonglow Juniper  
**G** Blue Spire Russian Sage  
**H** Fragrant Sumac  
**I** Yucca & Agave - Small (2):  
**J** Perry's Agave  
**K** Red Yucca
- Ornamental Grasses:**  
**K** Blonde Ambition Blue Grama Grass  
**L** Blue Oat Grass  
**M** Dwarf Fountain Grass
- Groundcover:**  
**G1** STARBURST® Ice plant  
**G2** VALLEY LAVENDER® plains verbena

**Key Map**



Project Name:  
**West Canyon**  
 18 Rd. & K Rd.  
 Fruita, Colorado

Landscape Architect:  
**NVISION DESIGN STUDIO, INC.**  
 477 23 Road Grand Junction, CO 81505  
 Phone: 970.210.2155 Email: r@nvision.biz  
 Web: www.nvision.biz  
 (Landscape Architecture | Visual Simulation | Graphic Design)



**Legend**

- PROPOSED SHRUBS/PERENNIALS/ORNAMENTAL GRASSES
- PROPOSED DECIDUOUS TREES
- PROPOSED EVERGREEN SHRUBS
- PROPOSED EVERGREEN TREES
- GRAY GUNNISON BOULDERS 24"-36"
- 1/2" TAN GRANITE ROCK MULCH OVER DEWITT PRO 5 WEED BARRIER FABRIC (3" DEPTH MIN.)
- LEGACY BUFFALO GRASS PLUGS BUCHLOE DACTYLOIDES LEGACY (SUBSTITUTE FESCUE/RYE SOCD BLEND IF NOT AVAILABLE)  
HTTPS://WWW.HIGHCOUNTRYGARDENS.COM/SUSTAINABLE-LAWNS
- SPLIT RAIL FENCE - SEE SHEET MP FOR DETAILS
- PRIVACY FENCE - SEE SHEET MP FOR DETAILS
- PVC SLEEVE FOR IRRIGATION

**Key Notes**

- 4" ROLLED TOP STEEL EDGER

Revisions:

No.	Description

Sheet Title:  
**Landscape Plan**

Project: West Canyon Sheet: North  
 Date: November 15, 2023  
 Scale: 1" = 20'  
 of 11 Sheets

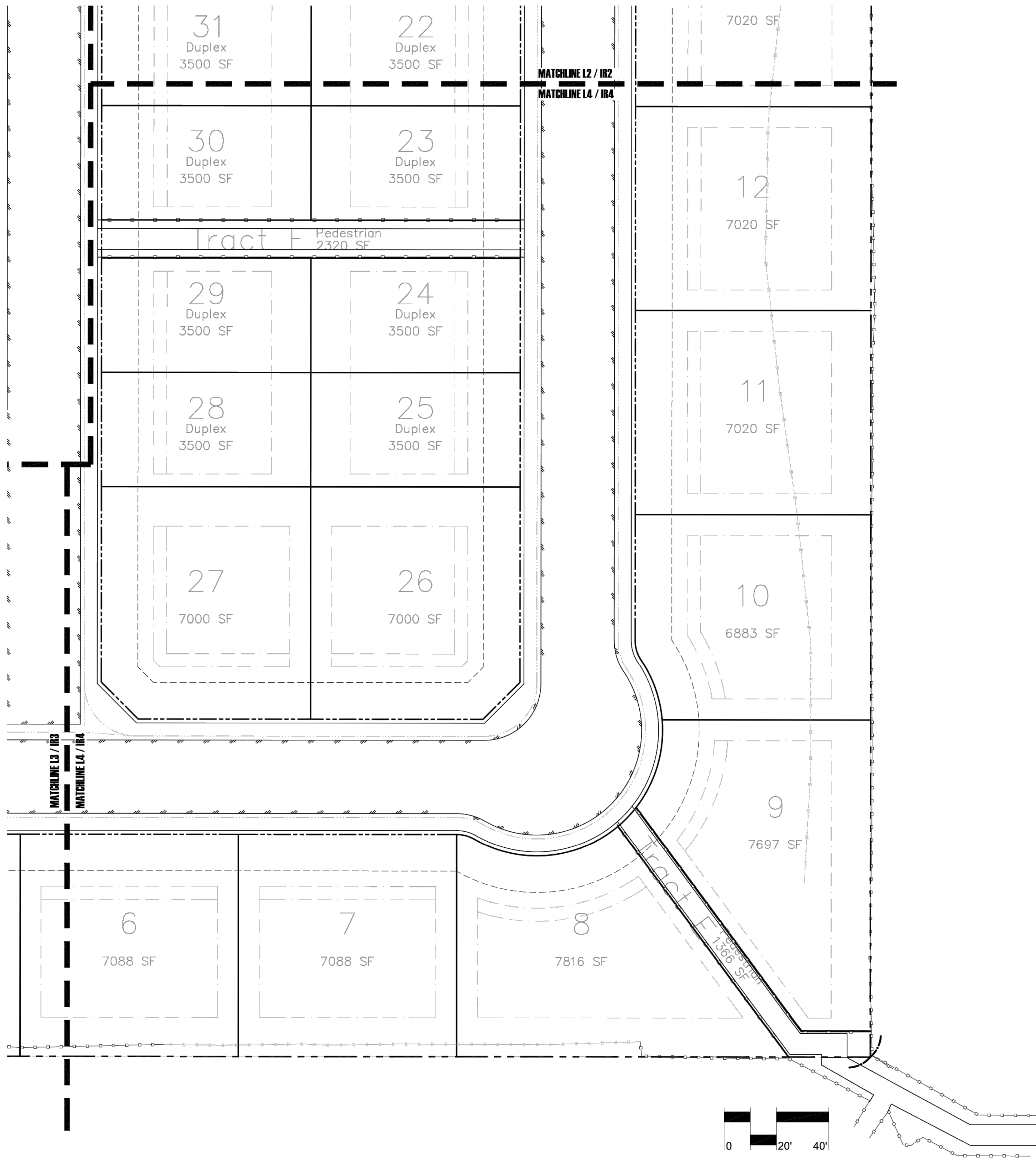
ACCEPTANCE BLOCK:  
 THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD. CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY PLANNER \_\_\_\_\_ DATE \_\_\_\_\_





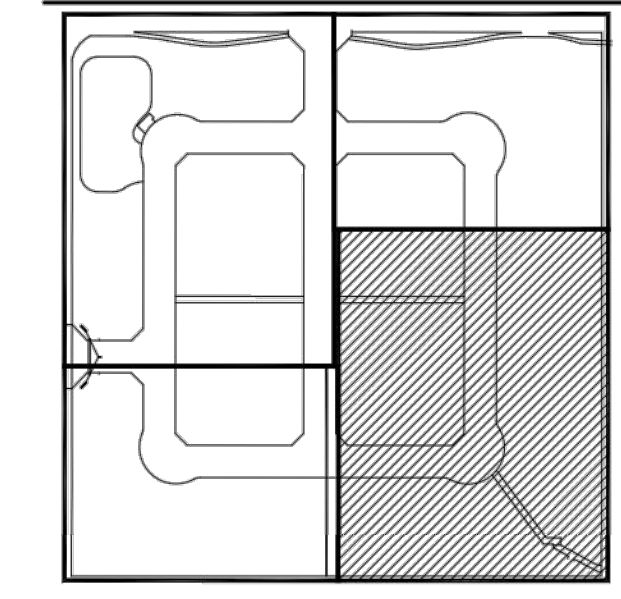




**Plant Key**

- KEY COMMON NAME**
- Deciduous Trees:**  
**AA** Hot Wings Tatarian Maple  
**BB** Winter King Hawthorne  
**CC** Shademaster Thornless Honeylocust  
**DD** Pioneer Elm
- Deciduous/Evergreen Shrubs:**  
**A** Dark Knight Blue Mist Spirea  
**B** Intricate Mtn Mahogany  
**C** Bluestem Joint Fir  
**sub** Mugo Pine  
**D** Apache Plume  
**E** Cologreen Juniper  
**F** Moonglow Juniper  
**G** Blue Spire Russian Sage  
**H** Fragrant Sumac  
**I** Yucca & Agave - Small (2):  
**J** Perry's Agave  
**K** Red Yucca
- Ornamental Grasses:**  
**L** Blonde Ambition Blue Grama Grass  
**M** Blue Oat Grass  
**N** Dwarf Fountain Grass
- Groundcover:**  
**G1** STARBURST® Ice plant  
**G2** VALLEY LAVENDER® plains verbena

**Key Map**



Project Name:  
**West Canyon**  
 18 Rd. & K Rd.  
 Fruita, Colorado

Landscape Architect:  
**NVISION DESIGN STUDIO, INC.**  
 477 23 Road Grand Junction, CO 81505  
 Phone: 970.210.2155 Email: r@nvision.biz  
 Web: www.nvision.biz  
 (Landscape Architecture | Visual Simulation | Graphic Design)



**Legend**

- PROPOSED SHRUBS/PERENNIALS/ORNAMENTAL GRASSES
- PROPOSED DECIDUOUS TREES
- PROPOSED EVERGREEN SHRUBS
- PROPOSED EVERGREEN TREES
- GRAY GUNNISON BOULDERS 24"-36"
- 1/2" TAN GRANITE ROCK MULCH OVER DEWITT PRO 5 WEED BARRIER FABRIC (3" DEPTH MIN.)
- LEGACY BUFFALO GRASS PLUGS BUCHLOE DACTYLOIDES LEGACY (SUBSTITUTE: FESCUE/RYE SOG BLEND IF NOT AVAILABLE)
- HTTPS://WWW.HIGHCOUNTRYGARDENS.COM/SUSTAINABLE-LAWNS
- SPLIT RAIL FENCE - SEE SHEET MP FOR DETAILS
- PRIVACY FENCE - SEE SHEET MP FOR DETAILS
- PVC SLEEVE FOR IRRIGATION

**Key Notes**

- 1 4" ROLLED TOP STEEL EDGER

Revisions:


ACCEPTANCE BLOCK:  
 THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD. CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY PLANNER \_\_\_\_\_ DATE \_\_\_\_\_

**Landscape Plan**

Project: West Canyon Sheet: **L4** of 11 Sheets

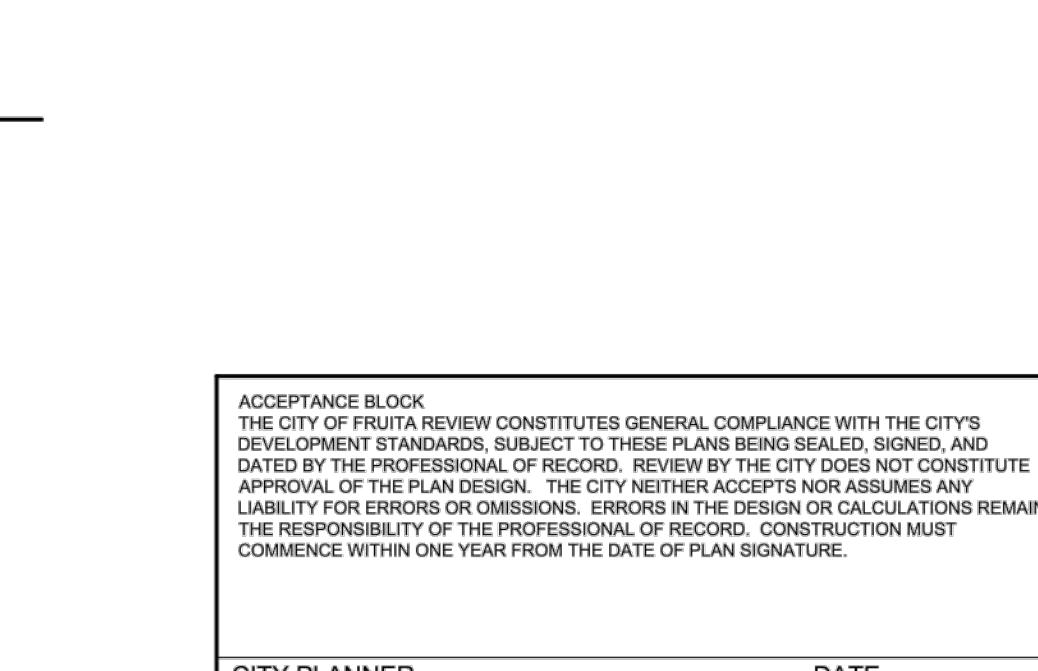
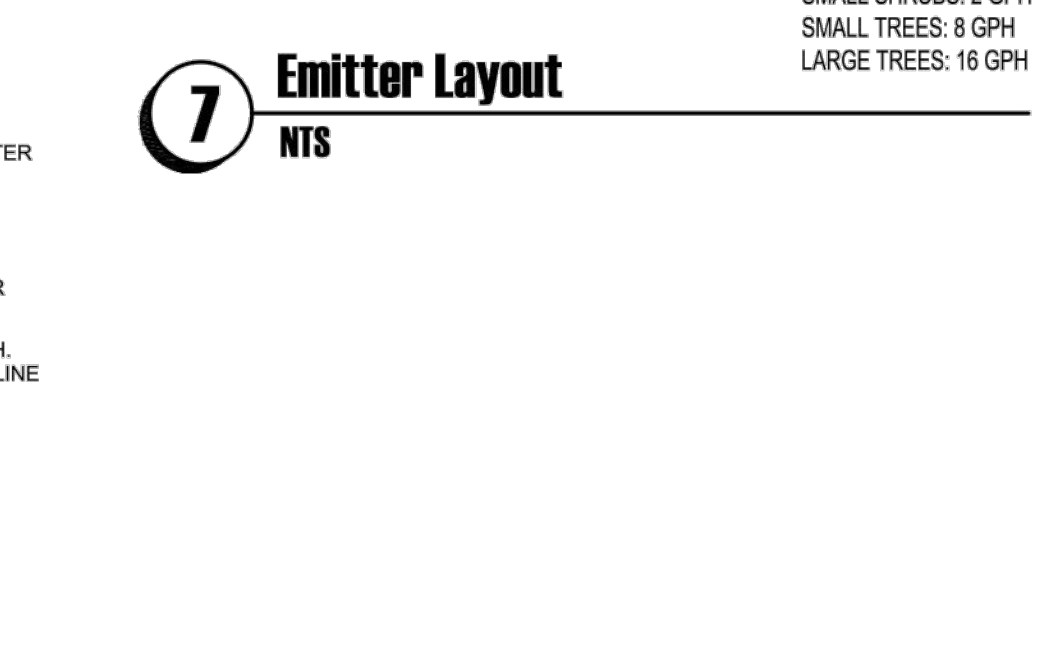
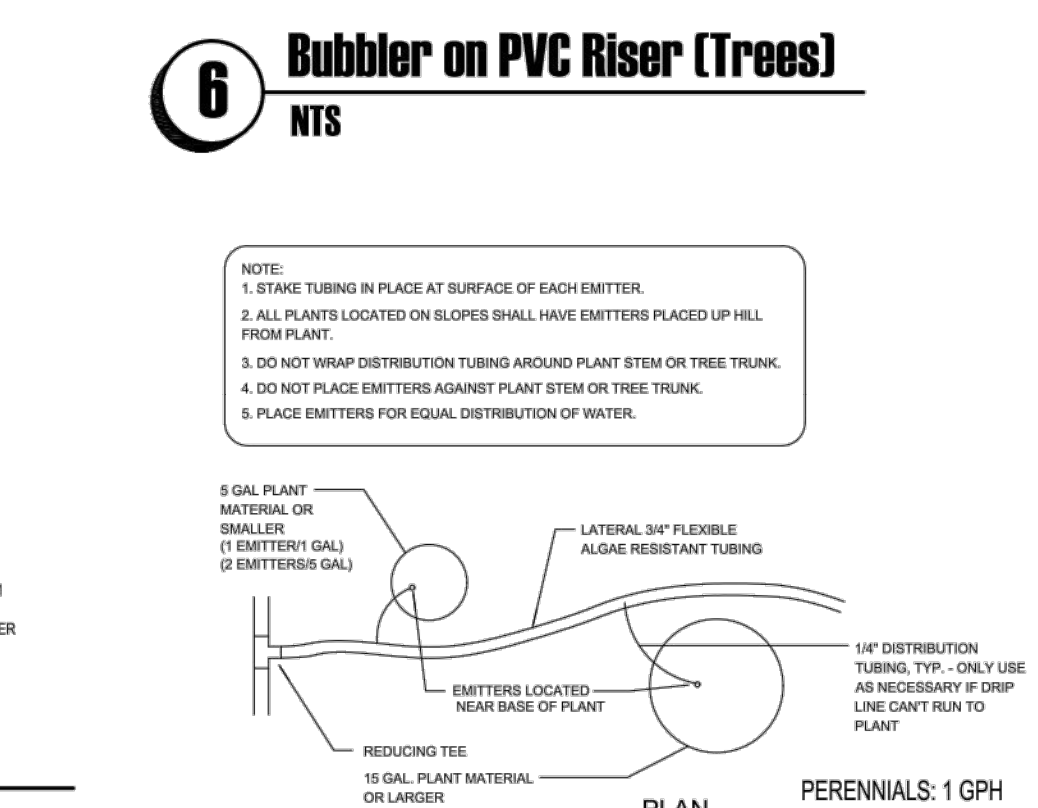
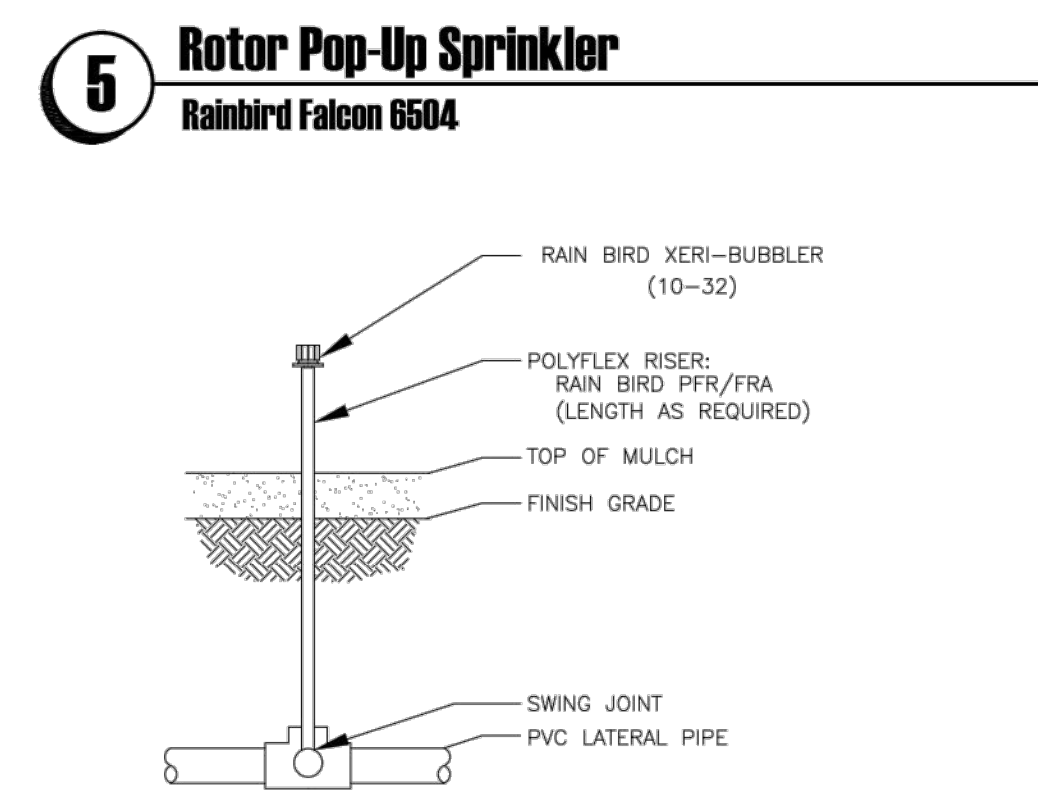
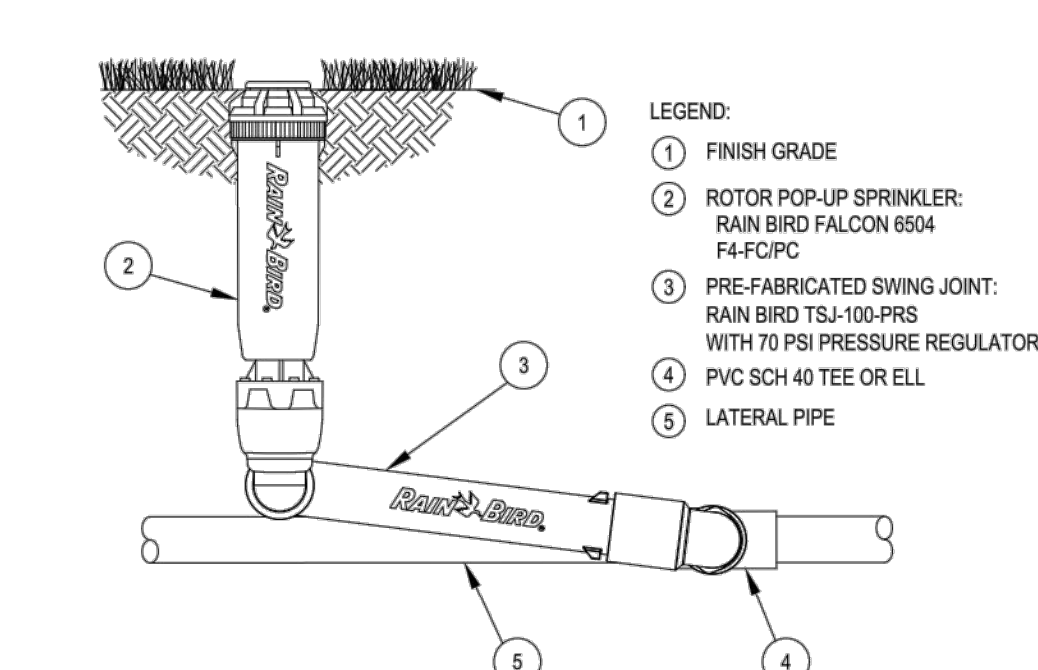
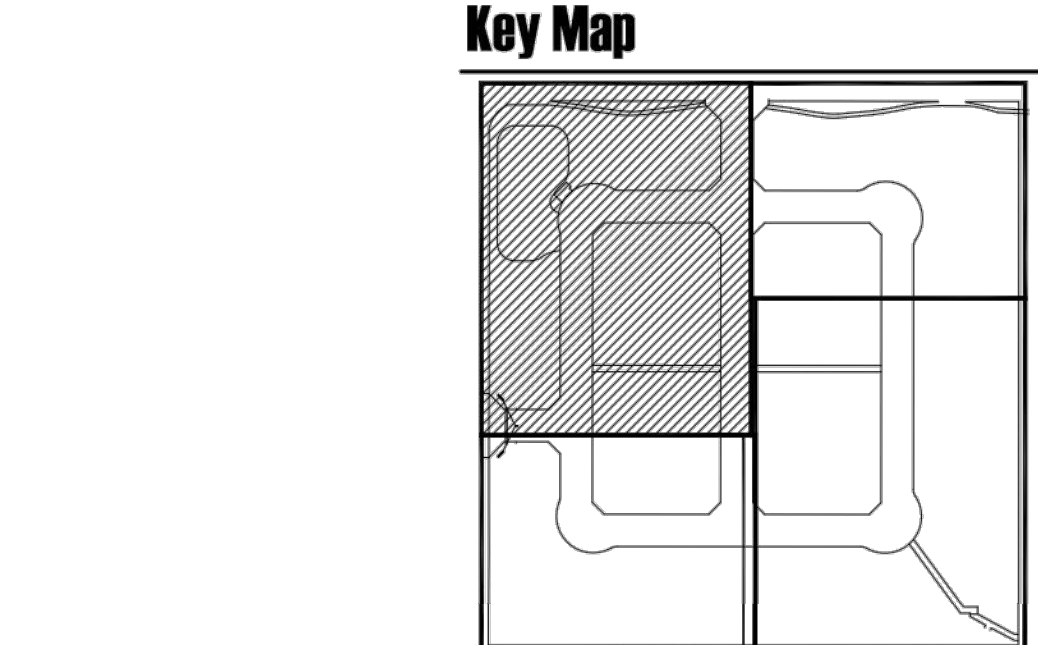
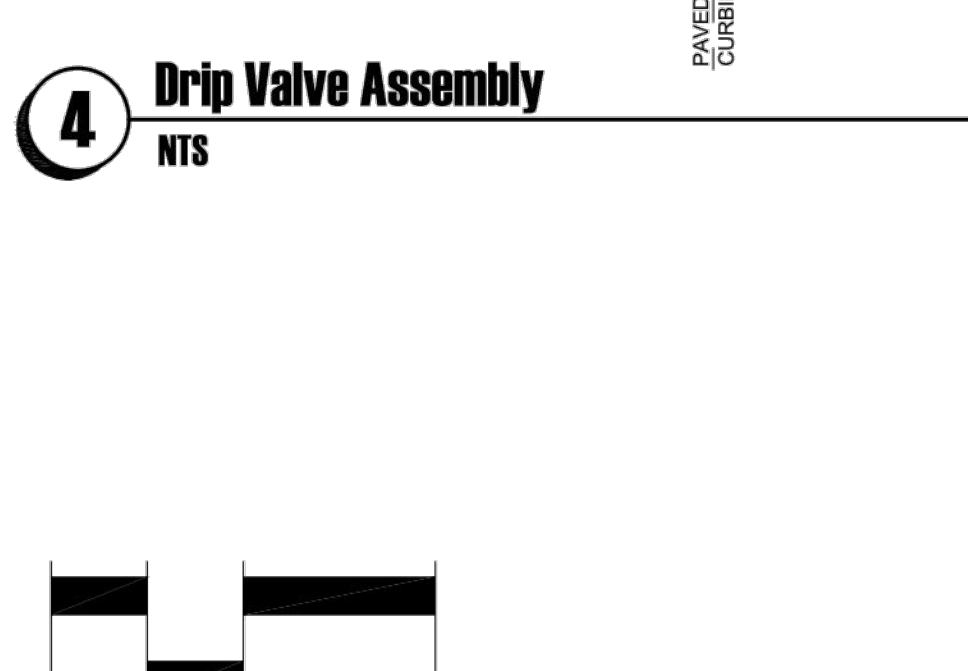
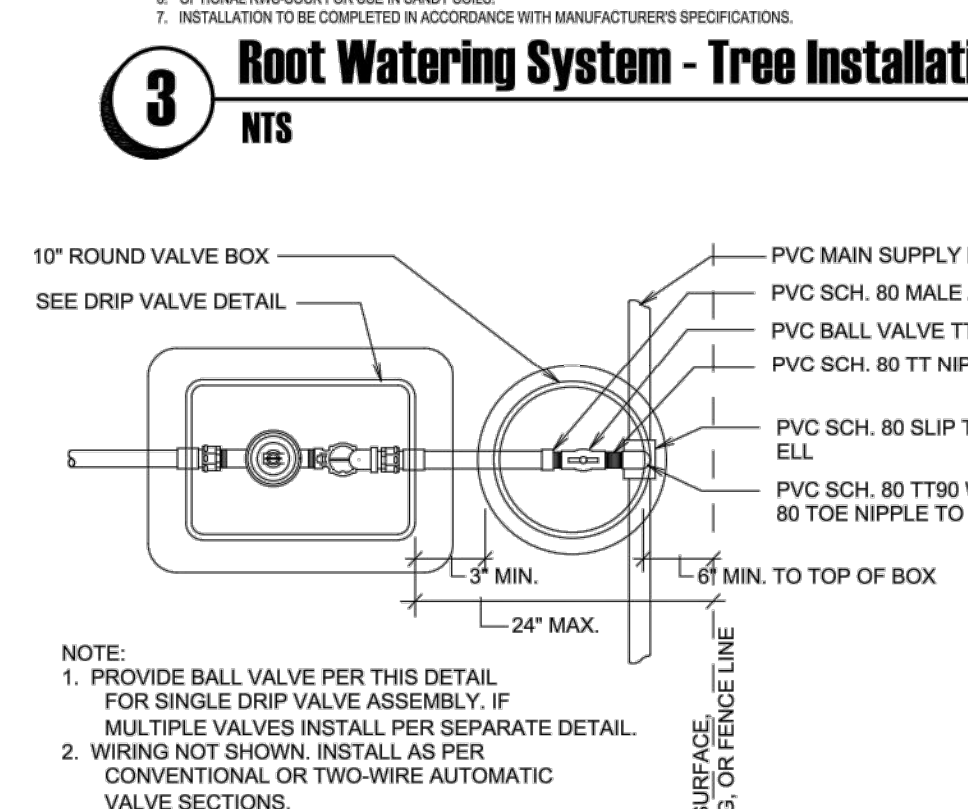
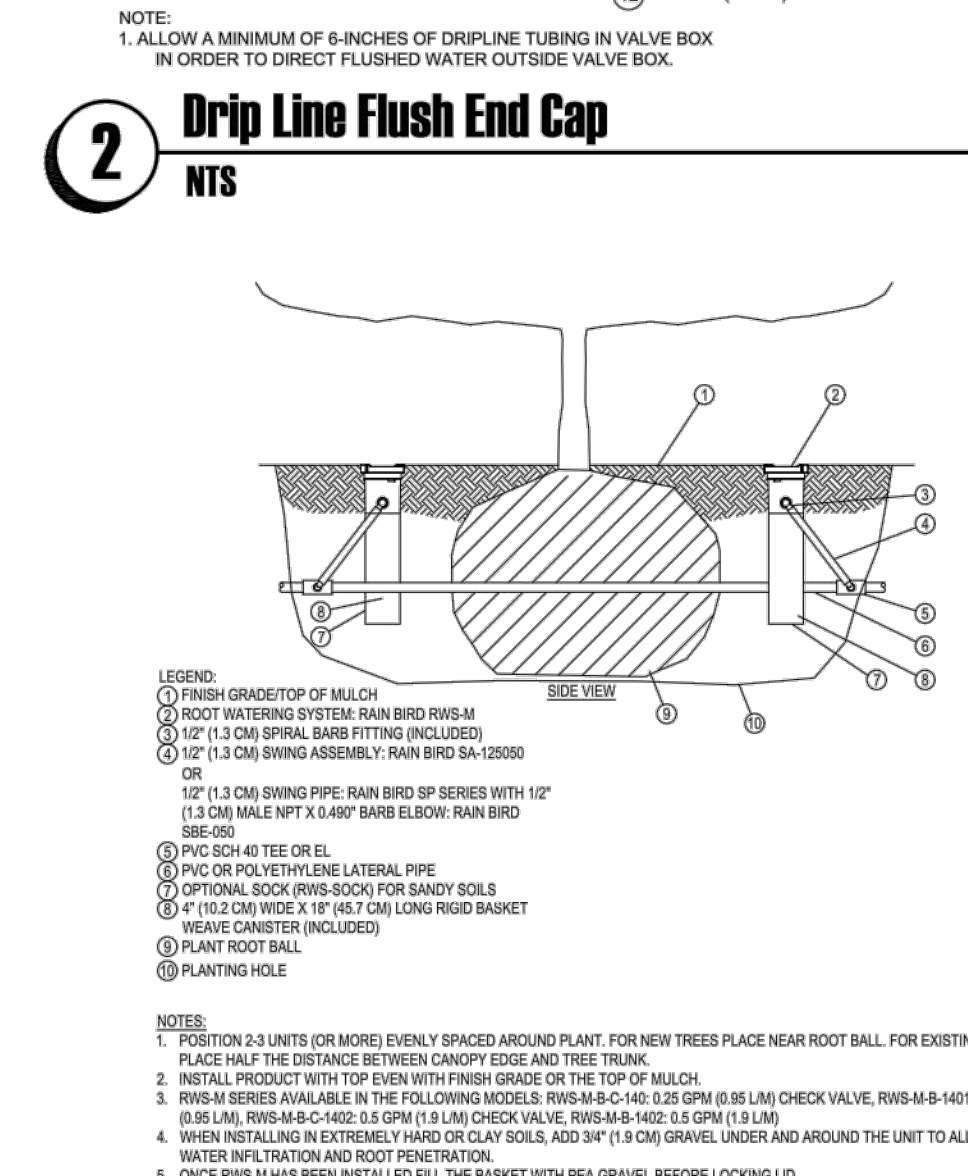
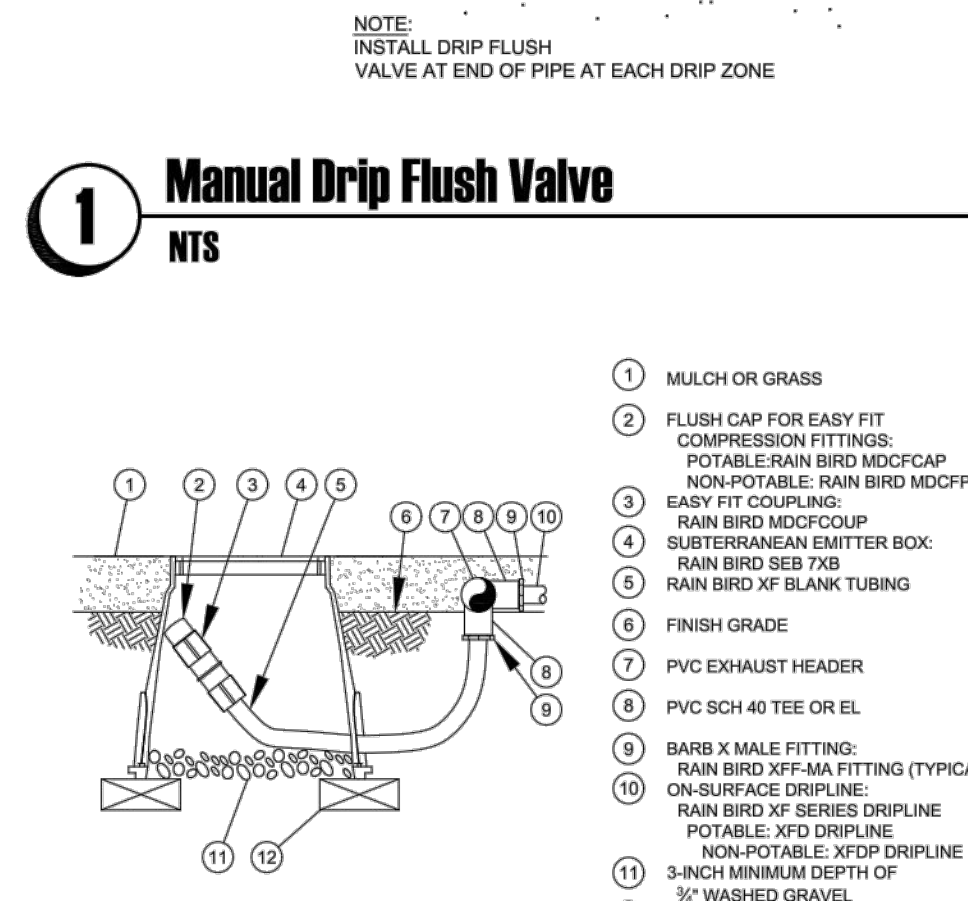
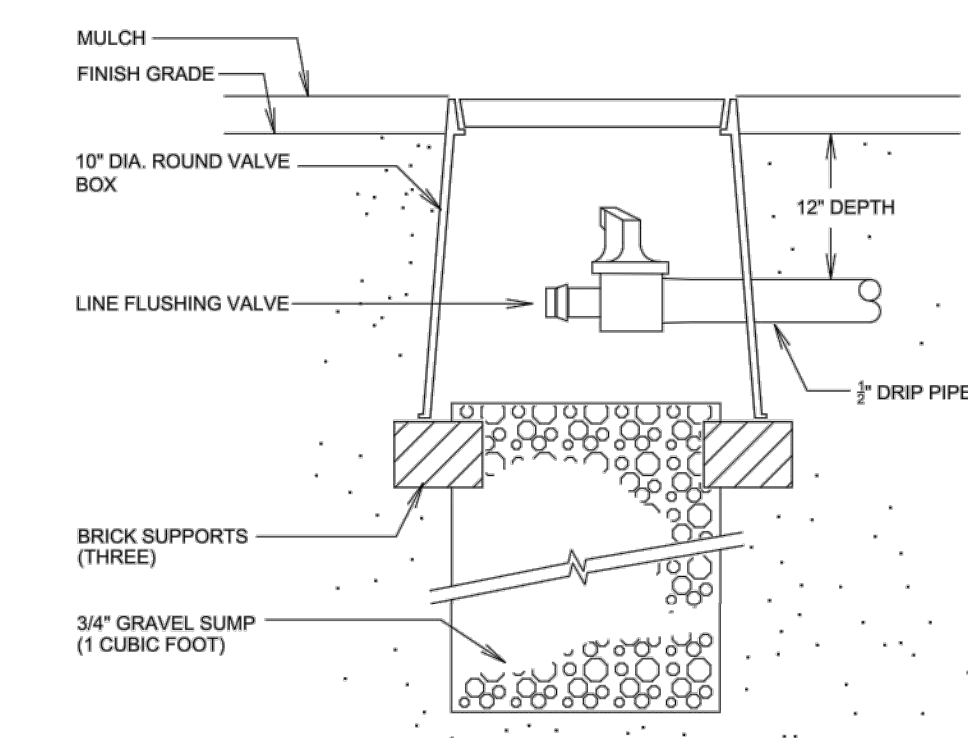
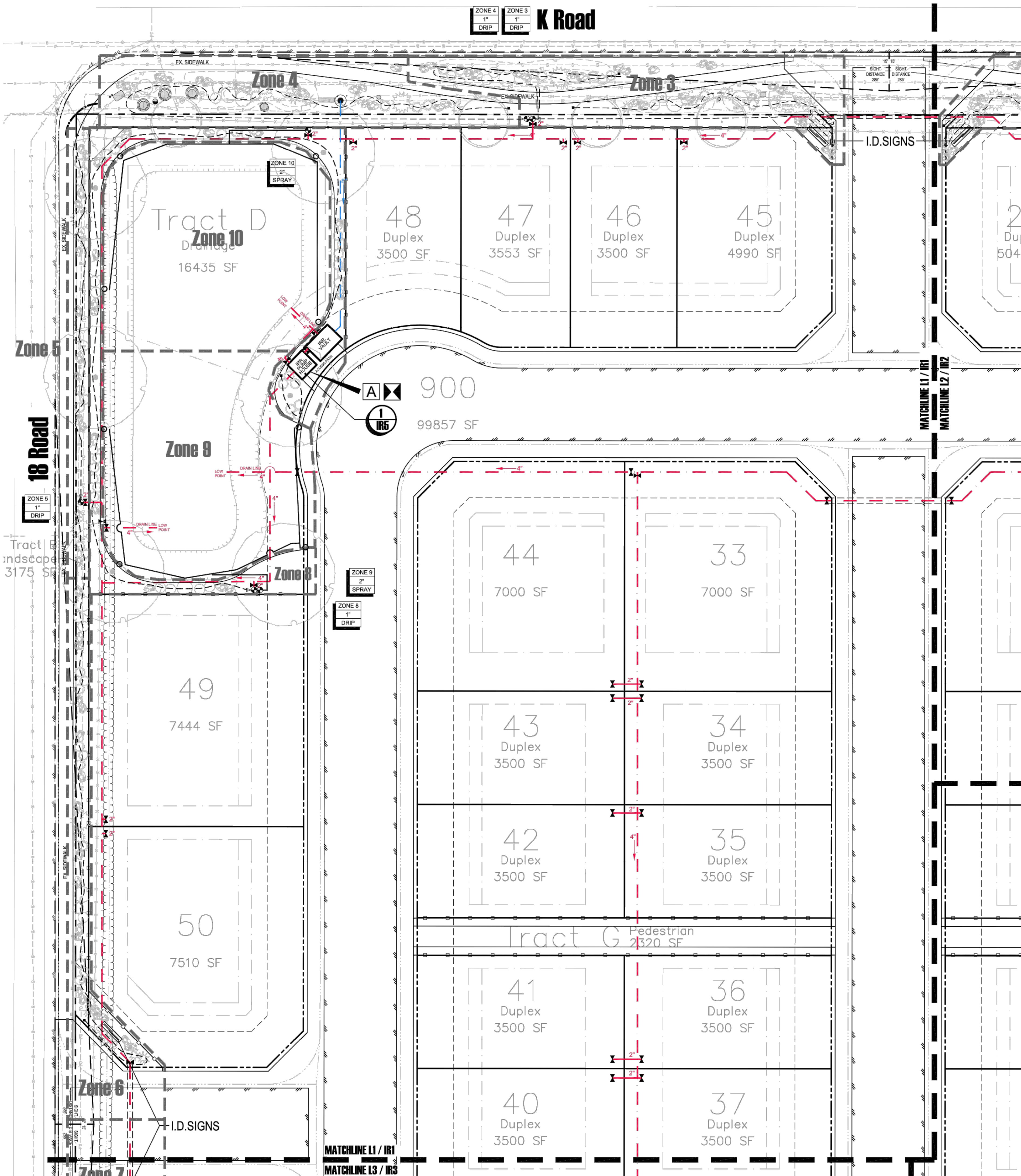
Date: November 15, 2023

Scale: 1" = 20'









Project Name:  
**West Canyon**  
18 Rd. & K Rd.  
Fruita, Colorado

Landscape Architect:  
**NVISION DESIGN STUDIO, INC.**  
477 23 Road Grand Junction, CO 81505  
Phone: 970.210.2155 Email: nvision@nvision.biz  
Web: www.nvision.biz  
Landscape Architecture | Visual Simulation | Graphic Design

Registration:  
**Robert A. Breeden**  
LA 462  
STATE OF COLORADO  
LICENSED LANDSCAPE ARCHITECT

**Legend**

**A** RAINBIRD ESP-LXD ENHANCED MODULAR CONTROLLER MOUNTED ON INT. WALL IN WATER PROOF CABINET WITH RELAY SWITCH FOR PUMP OPERATION

**F** FILTERS & PRESSURE REDUCER

**Zone 1 Spray** VALVE STATION NUMBER  
VALVE SIZE  
TYPE OF IRRIGATION

**○** POINT OF CONNECTION

**⊕** ELECTRIC REMOTE CONTROL VALVE

**⊖** WYE STRAINER FOR DRIP ZONES

**⊕** MANUAL VALVE

**---** WIRE PATH  
DOUBLE JACKETED AND INSULATED, SOLID COPPER CORE, PE COATED 1/2 GA WIRE CONNECT WITH DRY-4 CONNECTORS OR EQUIVALENT

**---** GRAVITY MAINLINE PIPE & SIZE (PVC SCHEDULE 40 PIPE OR PE)

**---** PRESSURIZED MAINLINE PIPE & SIZE (PVC SCHEDULE 40 PIPE OR PE)

**---** LATERAL PIPE SIZE (PVC SCHEDULE 40 PIPE)

**---** 1/2" DRIP LINE AND EMITTERS (PE PIPE AND MICROLINE WITH PRESSURE COMPENSATING MODULES OR APPVD. EQUAL-ENDCAPS AS NECESSARY)

**---** 4" PVC SLEEVE

**○** RAINBIRD 1800 4" POP-UP SPRAY HEAD (MODEL 1804-15-VAN)  
USE VARIABLE ARC NOZZLES FOR ALL POP-UP HEADS (USE SMALLER RADIUS VAN IF NEEDED)

**○** RAINBIRD 700 SERIES ROTOR W/ #40 ORANGE NOZZLE PRESSURE = 70 PSI (MODEL A-700-SAM-70-40)

Revisions:

Sheet Title:  
**Irrigation Plan**

Project: West Canyon  
Date: November 15, 2023  
Scale: 1" = 20'

CITY PLANNER DATE

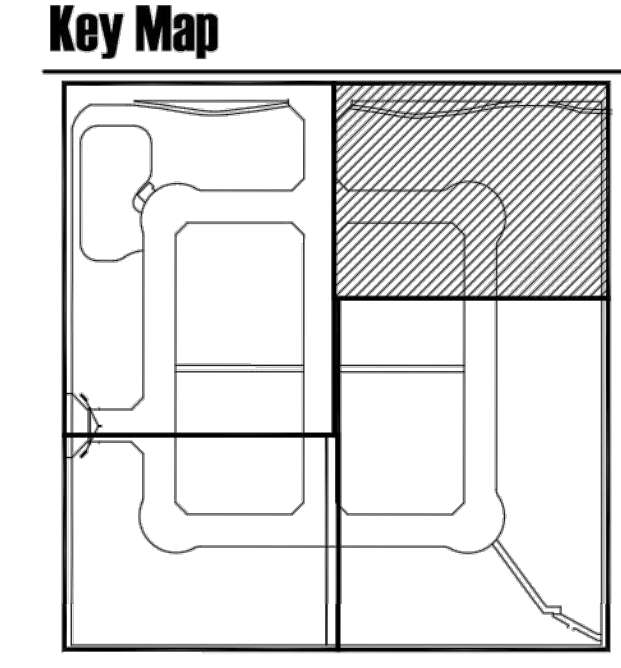
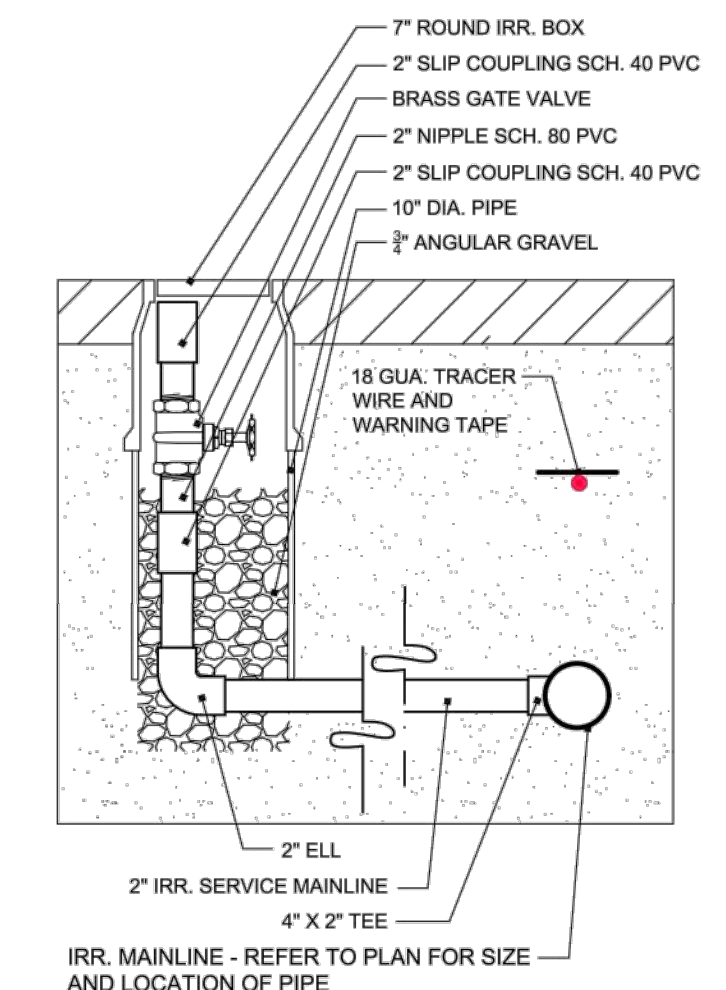
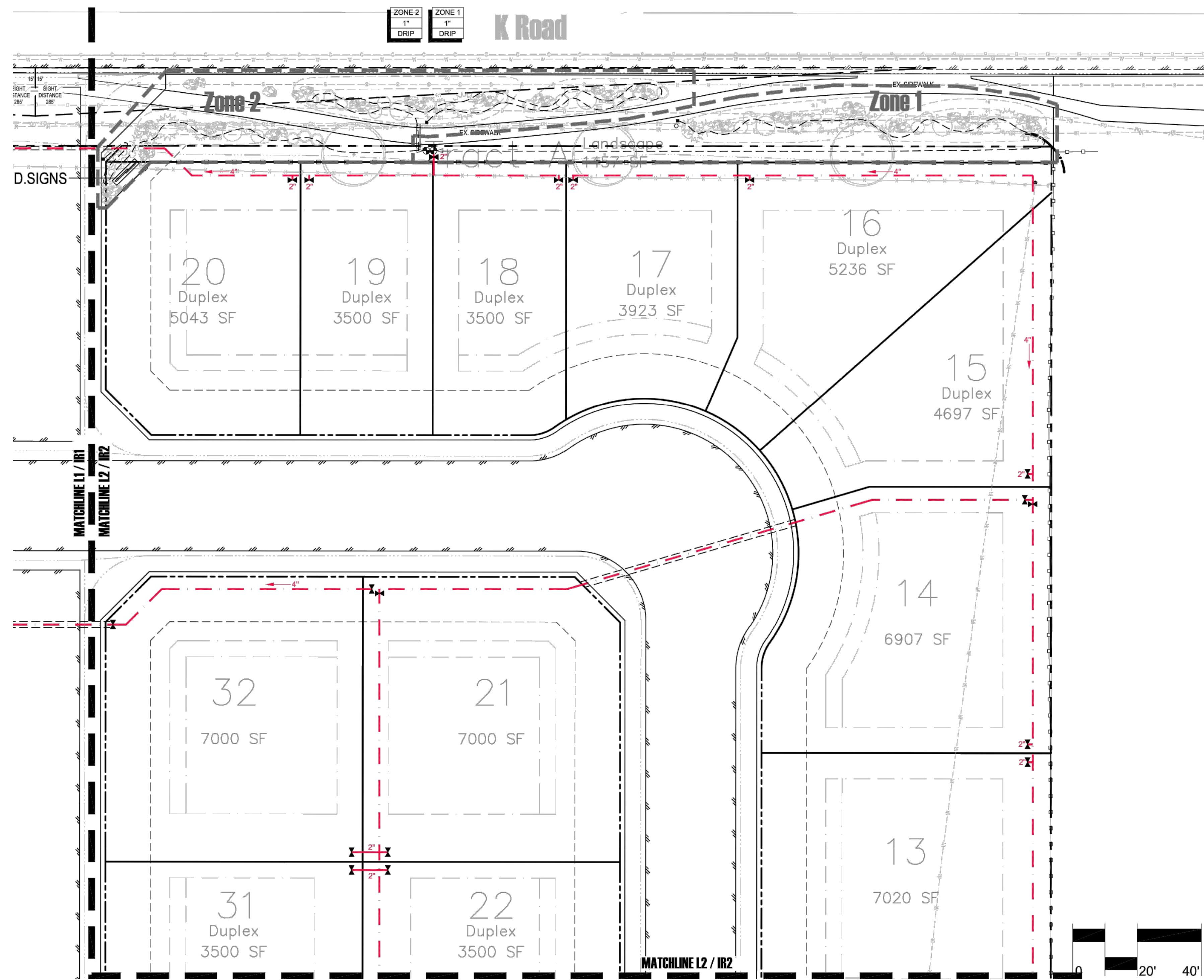
ACCEPTANCE BLOCK:  
THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD. CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

0 20' 40'

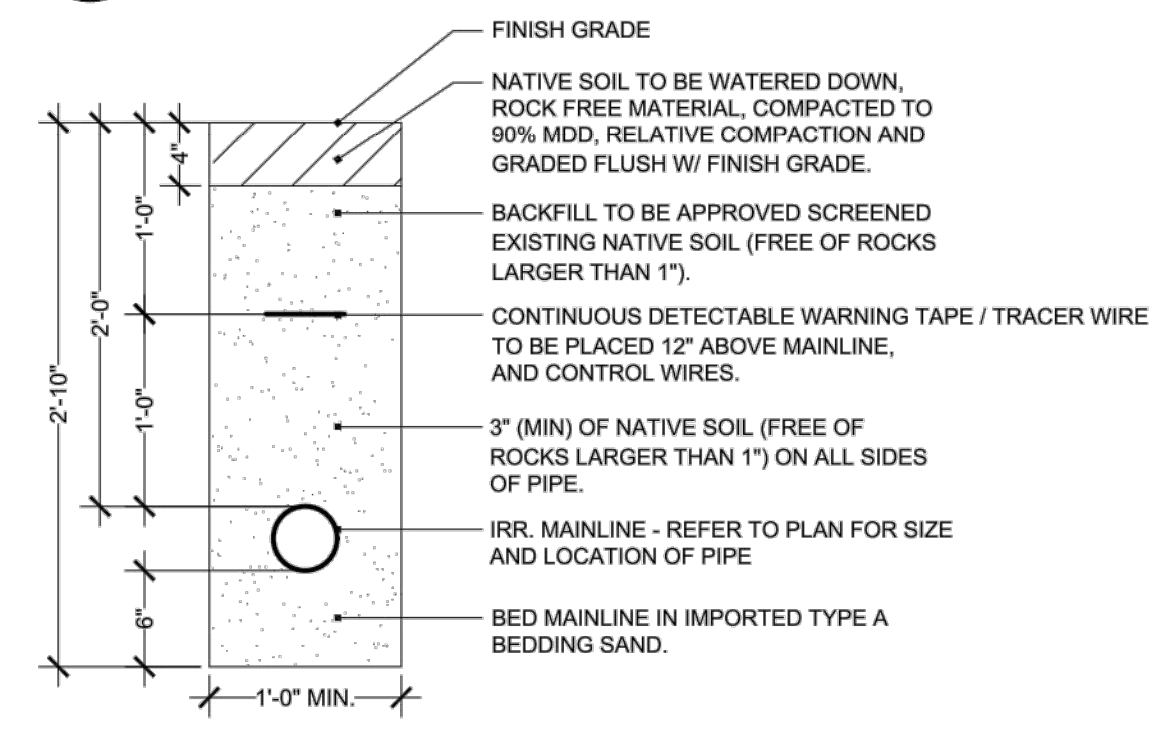
COPYRIGHT NOTICE: This drawing is an instrument of service and is the property of Nvision Design Studio, Inc. No reproduction of this sheet in whole or part, for this or any other project, shall be done without authorization from Nvision Design Studio, Inc.

North  
IR1  
of 11 Sheets





**1 Typ. Irr. Stub-Out Each Lot**  
NTS



**2 Typ. Irr. Stub-Out Each Lot**  
NTS

Project Name:  
**West Canyon**  
18 Rd. & K Rd.  
Fruita, Colorado

Landscape Architect:  
**NVISION DESIGN STUDIO, INC.**  
477 23 Road Grand Junction, CO 81505  
Phone: 970.210.2155 Email: r@nvision.biz  
Web: www.nvision.biz  
Landscape Architecture | Visual Simulation | Graphic Design

Registration:  
**Robert A. Breeden**  
LA 462  
STATE OF COLORADO  
LICENSED LANDSCAPE ARCHITECT

**Legend**

**A** RAINBIRD ESP-LXD ENHANCED MODULAR CONTROLLER MOUNTED ON INT. WALL IN WATER PROOF CABINET WITH RELAY SWITCH FOR PUMP OPERATION

**⊠** FILTERS & PRESSURE REDUCER

**ZONE 1**  
**1"** VALVE STATION NUMBER  
**SPRAY** TYPE OF IRRIGATION

**○** POINT OF CONNECTION

**⊕** ELECTRIC REMOTE CONTROL VALVE

**⊖** WYE STRAINER FOR DRIP ZONES

**⊗** MANUAL VALVE

**---** WIRE PATH  
DOUBLE JACKETED AND INSULATED, SOLID COPPER CORE, PE COATED 12 GA WIRE - CONNECT WITH DBRY-4 CONNECTORS OR EQUIVALENT

**---** 4" GRAVITY MAINLINE PIPE & SIZE (PVC SCHEDULE 40 PIPE OR PE)

**---** PRESSURIZED MAINLINE PIPE & SIZE (PVC SCHEDULE 40 PIPE OR PE)

**---** LATERAL PIPE SIZE (PVC SCHEDULE 40 PIPE)

**---** 1/2" DRIP LINE AND EMITTERS (PE PIPE AND MICROLINE WITH PRESSURE COMPENSATING MODULES OR APPVD. EQUAL - ENDCAPS AS NECESSARY)

**---** 4" PVC SLEEVE

**⊠** RAINBIRD 1800 4" POP-UP SPRAY HEAD (MODEL 1804-15-VAN)  
USE VARIABLE ARC NOZZLES FOR ALL POP-UP HEADS (USE SMALLER RADIUS VAN IF NEEDED)

**○** RAINBIRD 700 SERIES ROTOR W/ #40 ORANGE NOZZLE PRESSURE = 70 PSI RADIUS = 71 FEET FLOW = 29.8 GPM (MODEL A-700-SAM-70-40)

Revisions:


ACCEPTANCE BLOCK:  
THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD. CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY PLANNER \_\_\_\_\_ DATE \_\_\_\_\_

Sheet Title:  
**Irrigation Plan**

Project: West Canyon

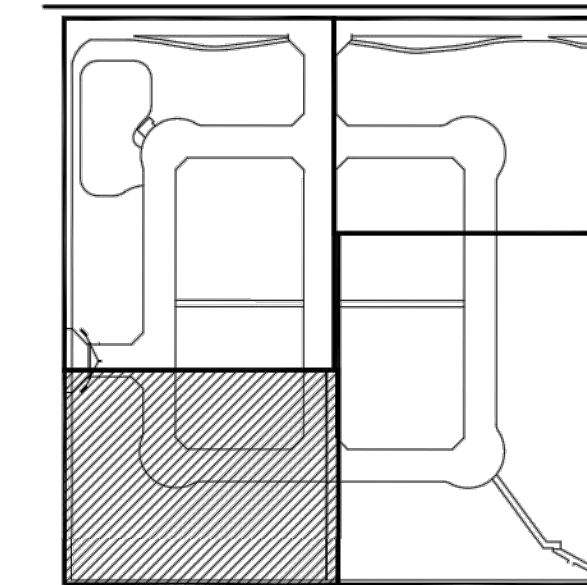
Date: November 15, 2023

Scale: 1" = 20'

North  
**IR2**  
of 11 Sheets



**Key Map**



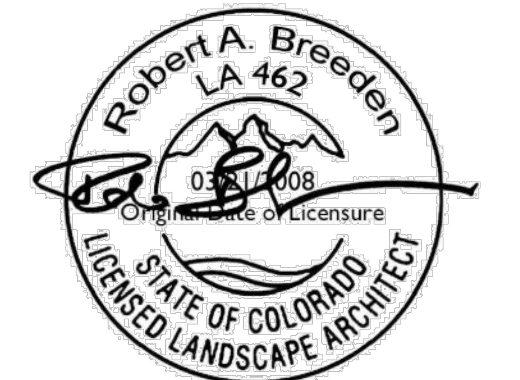
Project Name:

**West Canyon**  
18 Rd. & K Rd.  
Fruita, Colorado

Landscape Architect:

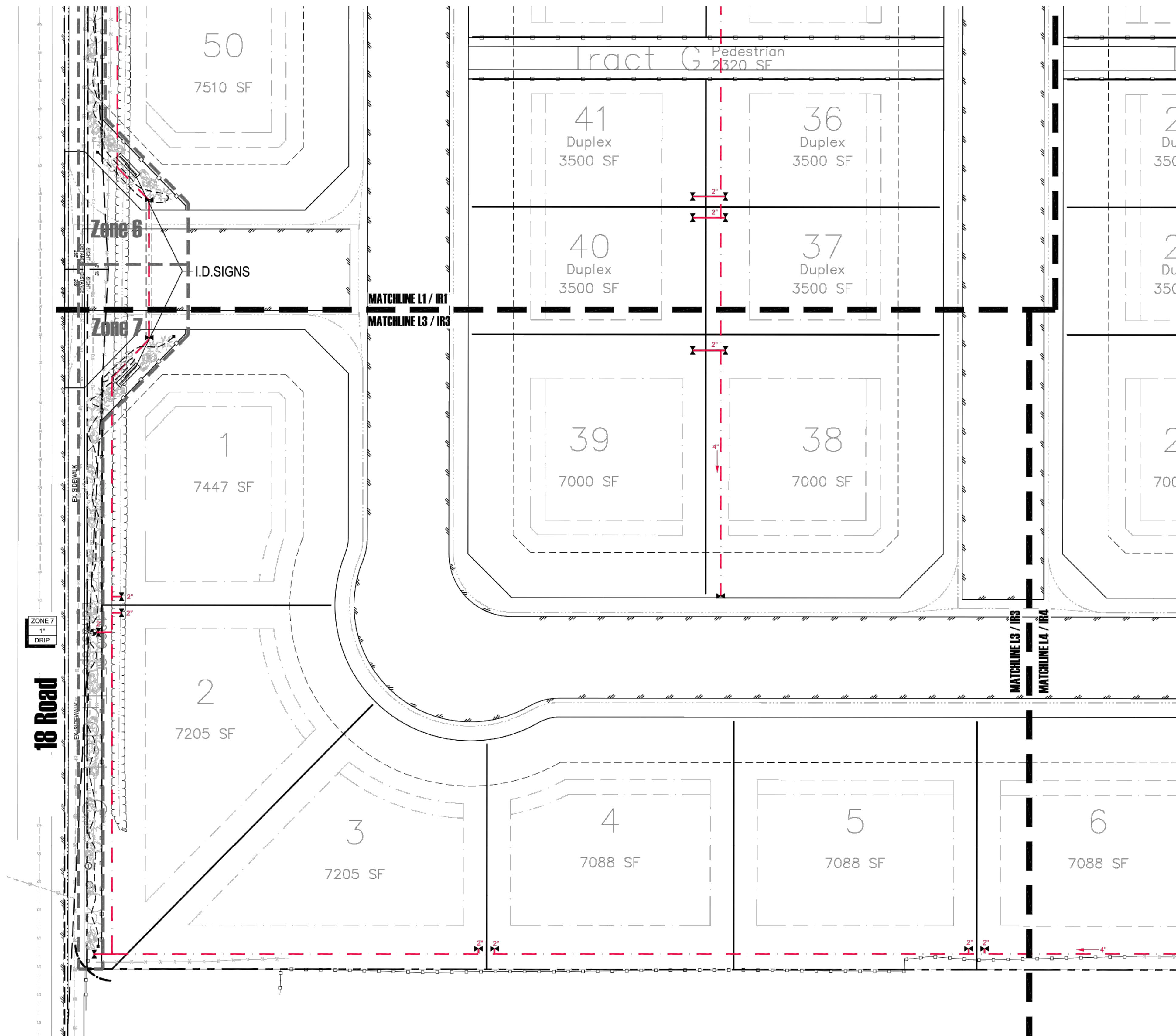


Registration:

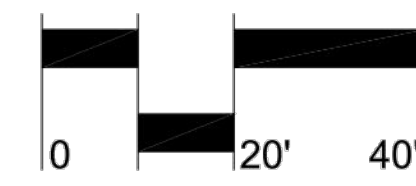


**Legend**

- RAINBIRD ESP-LXD ENHANCED MODULAR CONTROLLER MOUNTED ON INT. WALL IN WATER PROOF CABINET WITH RELAY SWITCH FOR PUMP OPERATION
- FILTERS & PRESSURE REDUCER
- ZONE 1**  
 VALVE STATION NUMBER  
 VALVE SIZE  
 TYPE OF IRRIGATION
- POINT OF CONNECTION
- ELECTRIC REMOTE CONTROL VALVE
- WYE STRAINER FOR DRIP ZONES
- MANUAL VALVE
- WIRE PATH  
DOUBLE JACKETED AND INSULATED, SOLID COPPER CORE, PE COATED 12 GA WIRE - CONNECT WITH DBRY-8 CONNECTORS OR EQUIVALENT
- GRAVITY MAINLINE PIPE & SIZE (PVC SCHEDULE 40 PIPE OR PE)  
 PRESSURIZED MAINLINE PIPE & SIZE (PVC SCHEDULE 40 PIPE OR PE)  
 LATERAL PIPE SIZE (PVC SCHEDULE 40 PIPE)
- 1/2" DRIP LINE AND EMITTERS (PE PIPE AND MICROLINE WITH PRESSURE COMPENSATING MODULES OR APPVD. EQUAL-ENDCAPS AS NECESSARY)
- 4" PVC SLEEVE
- RAINBIRD 1800 4" POP-UP SPRAY HEAD (MODEL 1804-15-VAN)  
USE VARIABLE ARC NOZZLES FOR ALL POP-UP HEADS (USE SMALLER RADIUS VAN IF NEEDED)
- RAINBIRD 700 SERIES ROTOR W/ #40 ORANGE NOZZLE PRESSURE = 70 PSI RADIUS = 71 FEET FLOW=29.8 GPM (MODEL A-700-SAM-70-40)



18 Road



ACCEPTANCE BLOCK:  
THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD. CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY PLANNER \_\_\_\_\_ DATE \_\_\_\_\_

Revisions:

No.	Description

Sheet Title:  
**Irrigation Plan**

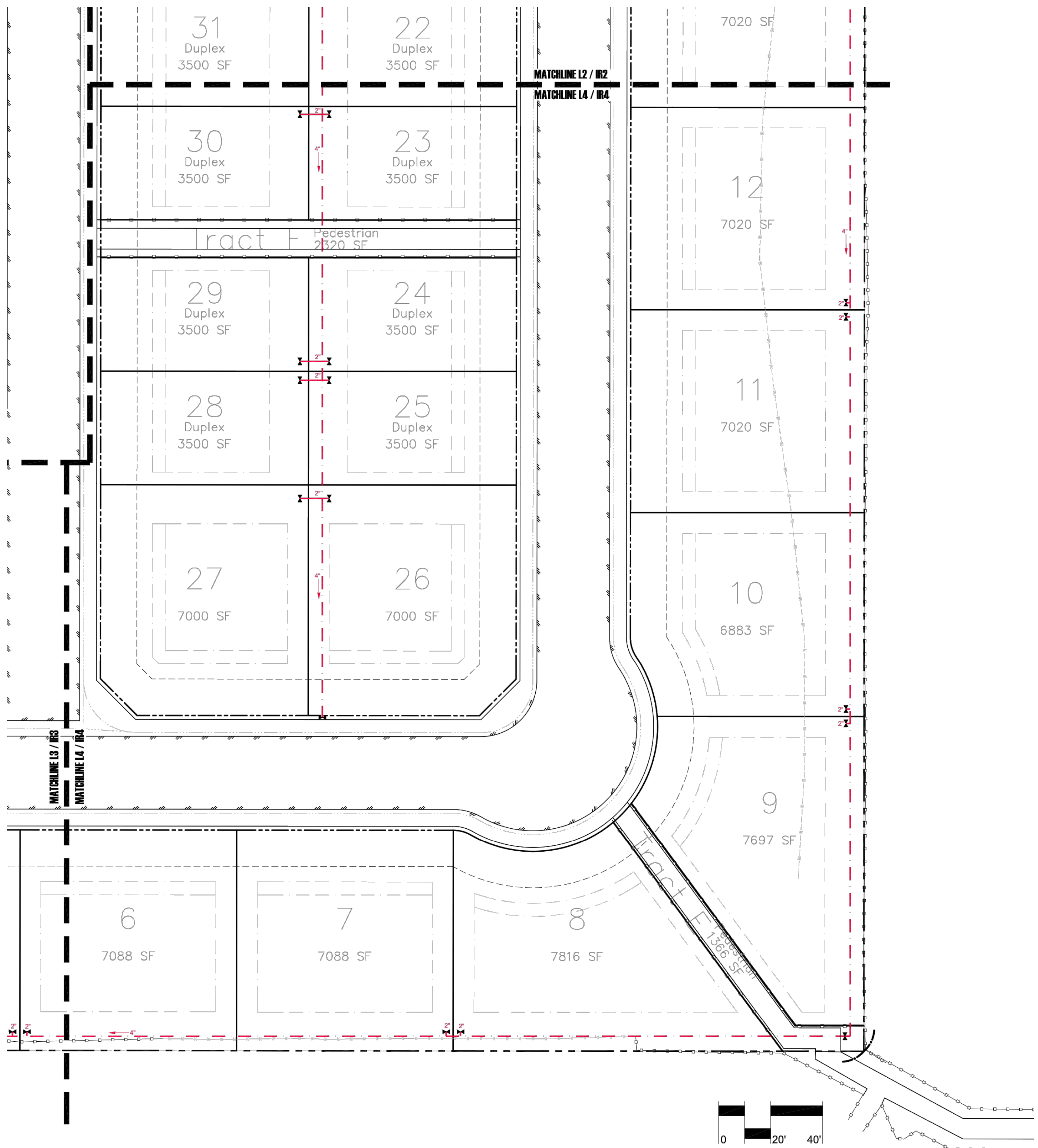
Project: West Canyon

Date: November 15, 2023

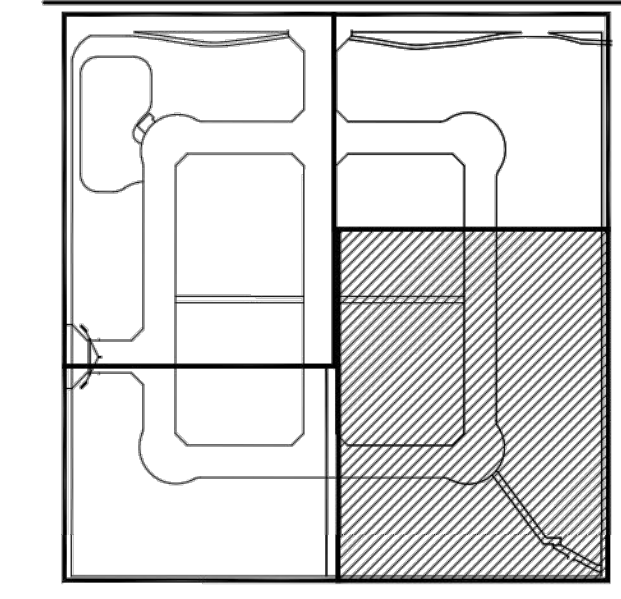
Scale: 1" = 20'

of 11 Sheets



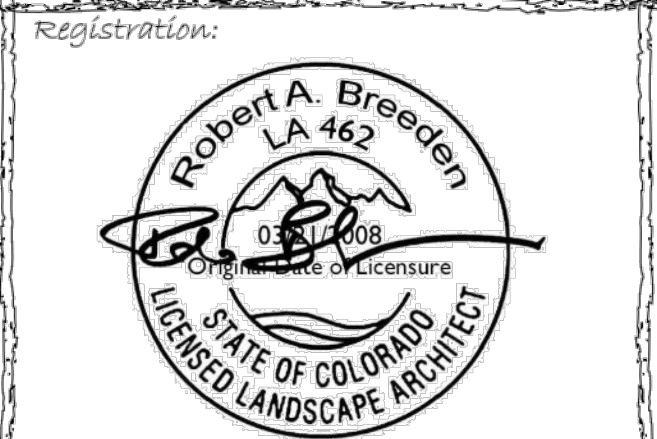


**Key Map**



Project Name:  
**West Canyon**  
 18 Rd. & K Rd.  
 Fruita, Colorado

Landscape Architect:  
**NVISION DESIGN STUDIO, INC.**  
 477 23 Road Grand Junction, CO 81504  
 Phone: 970.210.2155 Email: r@nvision.biz  
 Web: www.nvision.biz  
 (Landscape Architecture | Visual Simulation | Graphic Design)



**Legend**

- RAINBIRD ESP-LXD ENHANCED MODULAR CONTROLLER MOUNTED ON INT. WALL IN WATER PROOF CABINET WITH RELAY SWITCH FOR PUMP OPERATION
- FILTERS & PRESSURE REDUCER
- ZONE 1** VALVE STATION NUMBER
- 1"** VALVE SIZE
- SPRAY** TYPE OF IRRIGATION
- POINT OF CONNECTION
- ELECTRIC REMOTE CONTROL VALVE
- WYE STRAINER FOR DRIP ZONES
- MANUAL VALVE
- WIRE PATH
- DOUBLE JACKETED AND INSULATED, SOLID COPPER CORE, PE COATED 1/2 GA WIRE - CONNECT WITH DBRY-8 CONNECTORS OR EQUIVALENT
- GRAVITY MAINLINE PIPE & SIZE (PVC SCHEDULE 40 PIPE OR PE)
- PRESSURIZED MAINLINE PIPE & SIZE (PVC SCHEDULE 40 PIPE OR PE)
- LATERAL PIPE SIZE (PVC SCHEDULE 40 PIPE)
- 
- 
- 
- USE VARIABLE ARC NOZZLES FOR ALL POP-UP HEADS (USE SMALLER RADIUS VAN IF NEEDED)
- RAINBIRD 700 SERIES ROTOR W/ #40 ORANGE NOZZLE PRESSURE = 70 PSI RADIUS = 71 FEET FLOW = 29.8 GPM (MODEL A-700-SAM-70-40)

Revisions:

NO.	DESCRIPTION

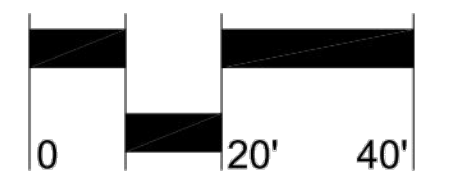
Sheet Title:  
**Irrigation Plan**

Project: West Canyon  
 Date: November 15, 2023  
 Scale: 1" = 20'

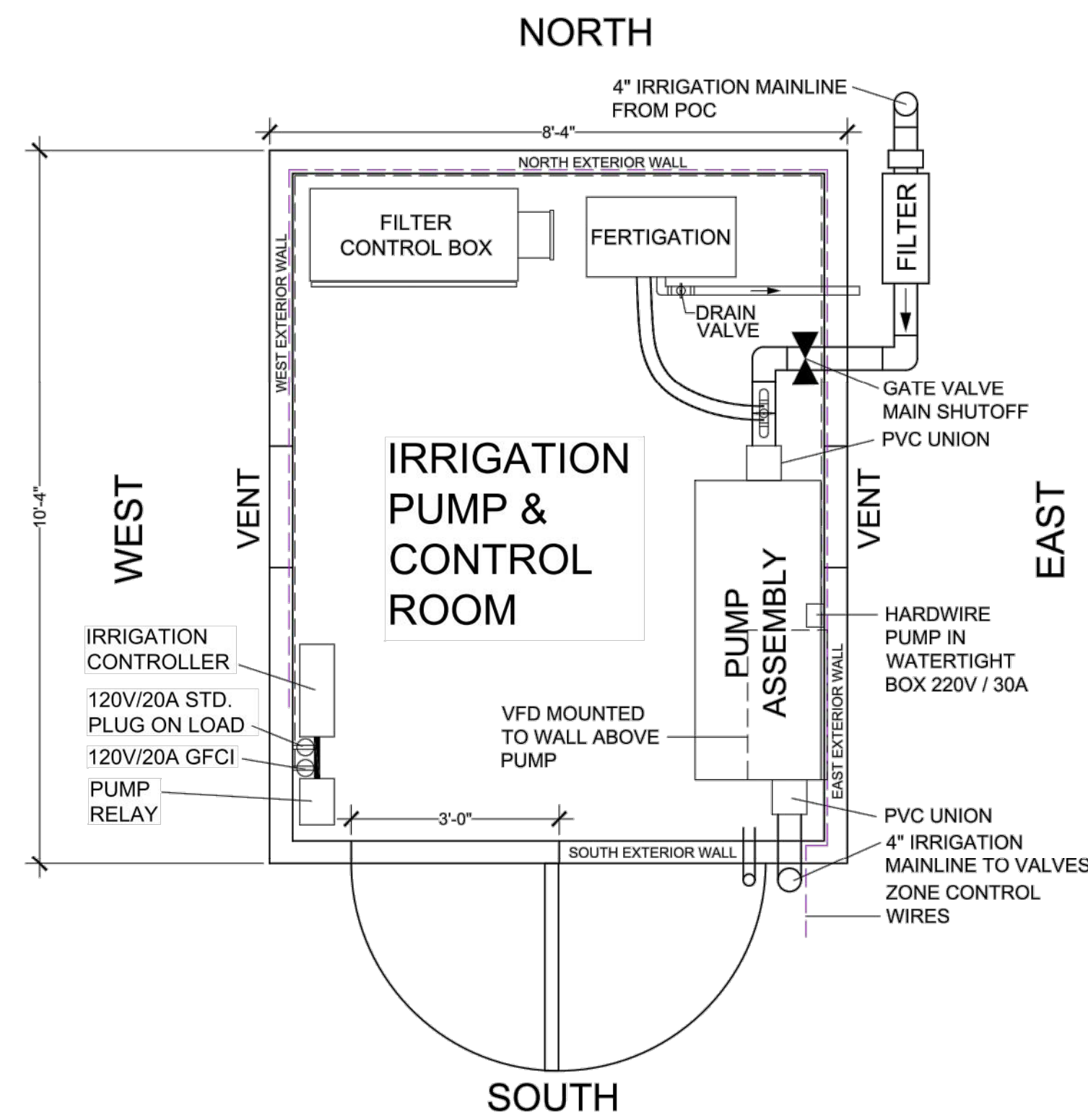
of 11 Sheets

ACCEPTANCE BLOCK:  
 THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD. CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY PLANNER \_\_\_\_\_ DATE \_\_\_\_\_





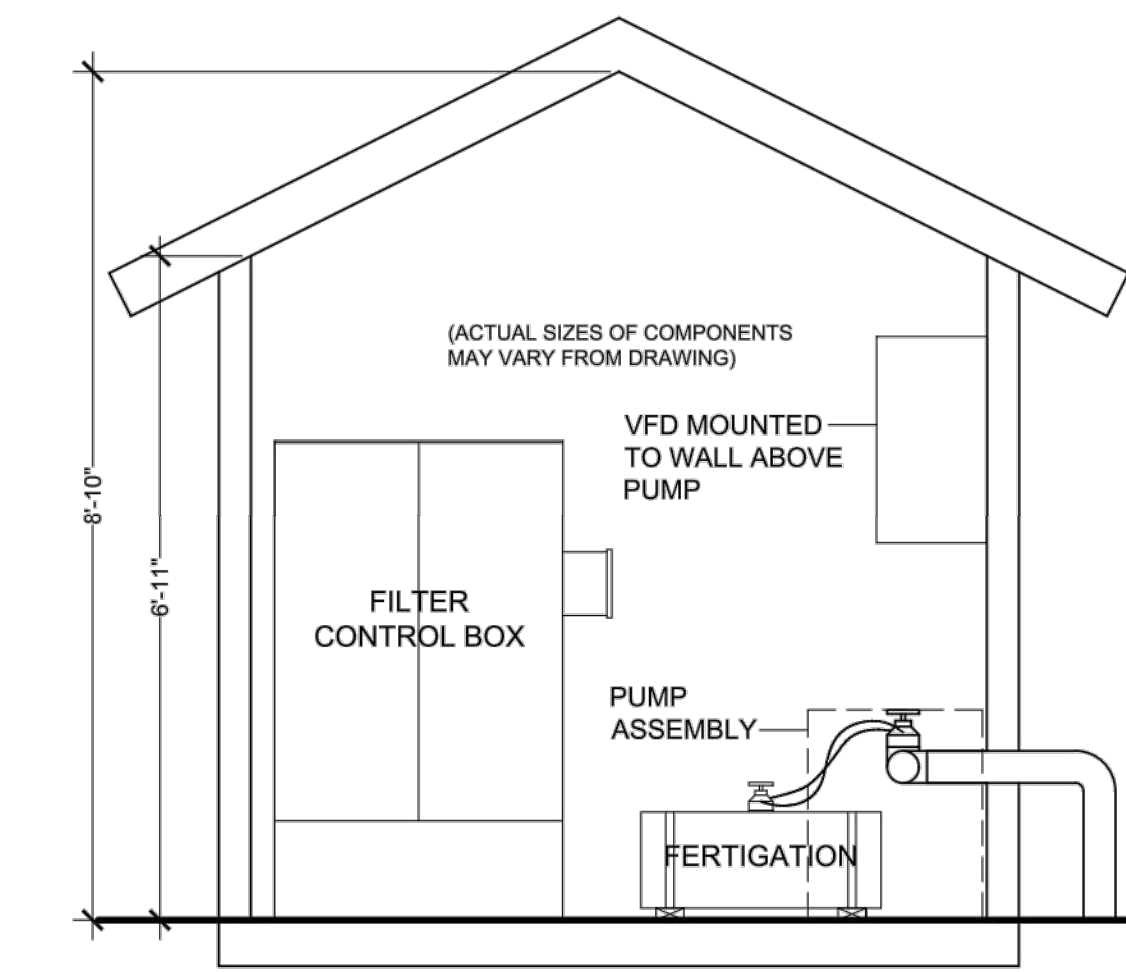


**1 Pump House Plan Layout**  
1/2" = 1'-0"

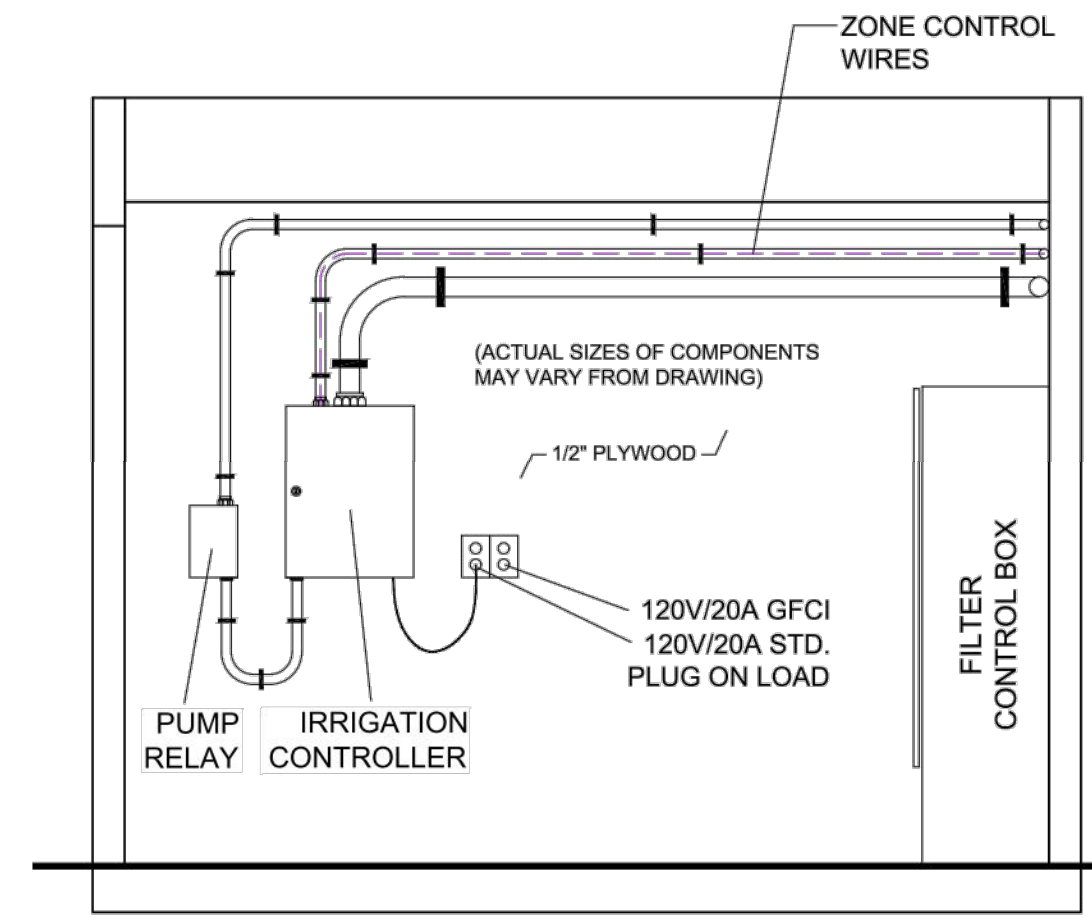


EZ-FLO - HIGH CAPACITY - 23 GALLON  
SKU: EZ025-HC  
MAX PSI: 80  
ABOVE GROUND INSTALLATION: YES  
UNDERGROUND INSTALLATION: YES  
WARRANTY: 5 YEARS  
TANK SIZE (GALLONS): 23  
PRIMARY USE: FERTILIZER AND INSECTICIDE  
HTTPS://EZFLOWNECTION.COM

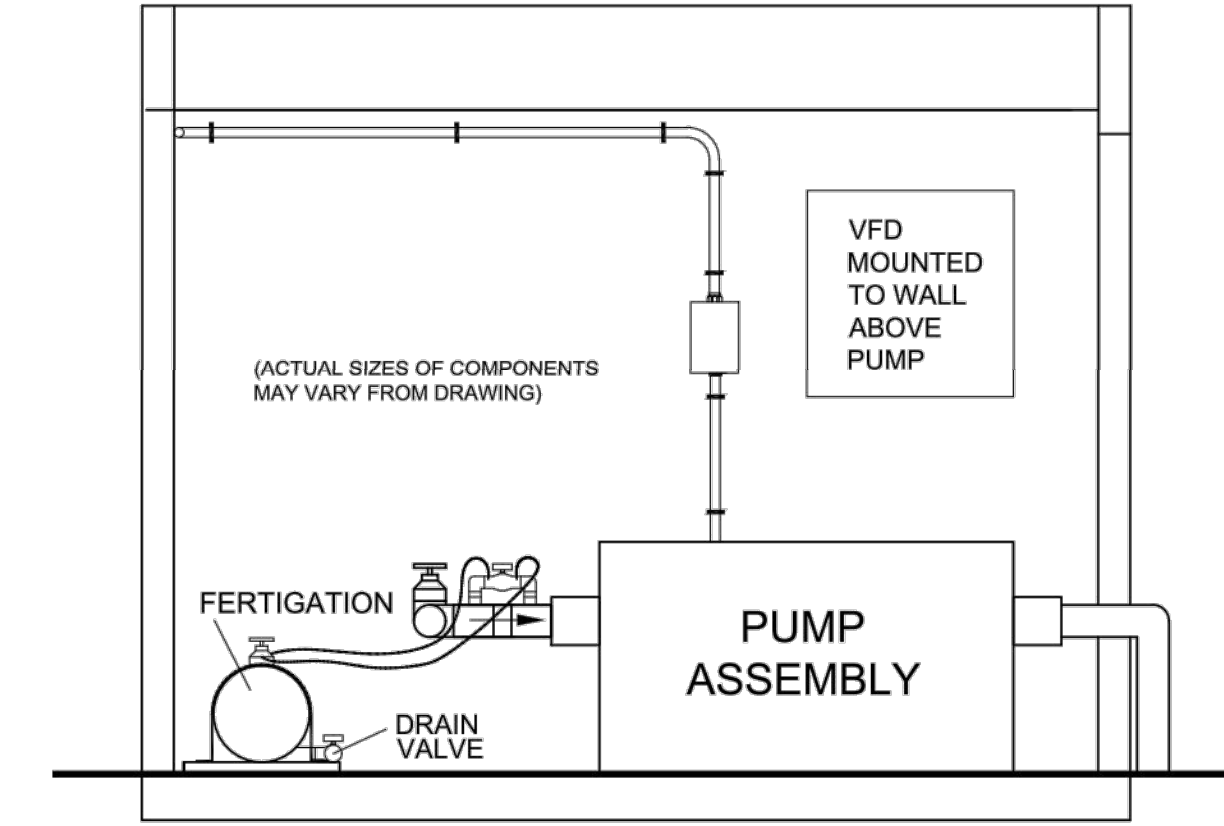
**5 Fertigation Tank**  
NTS



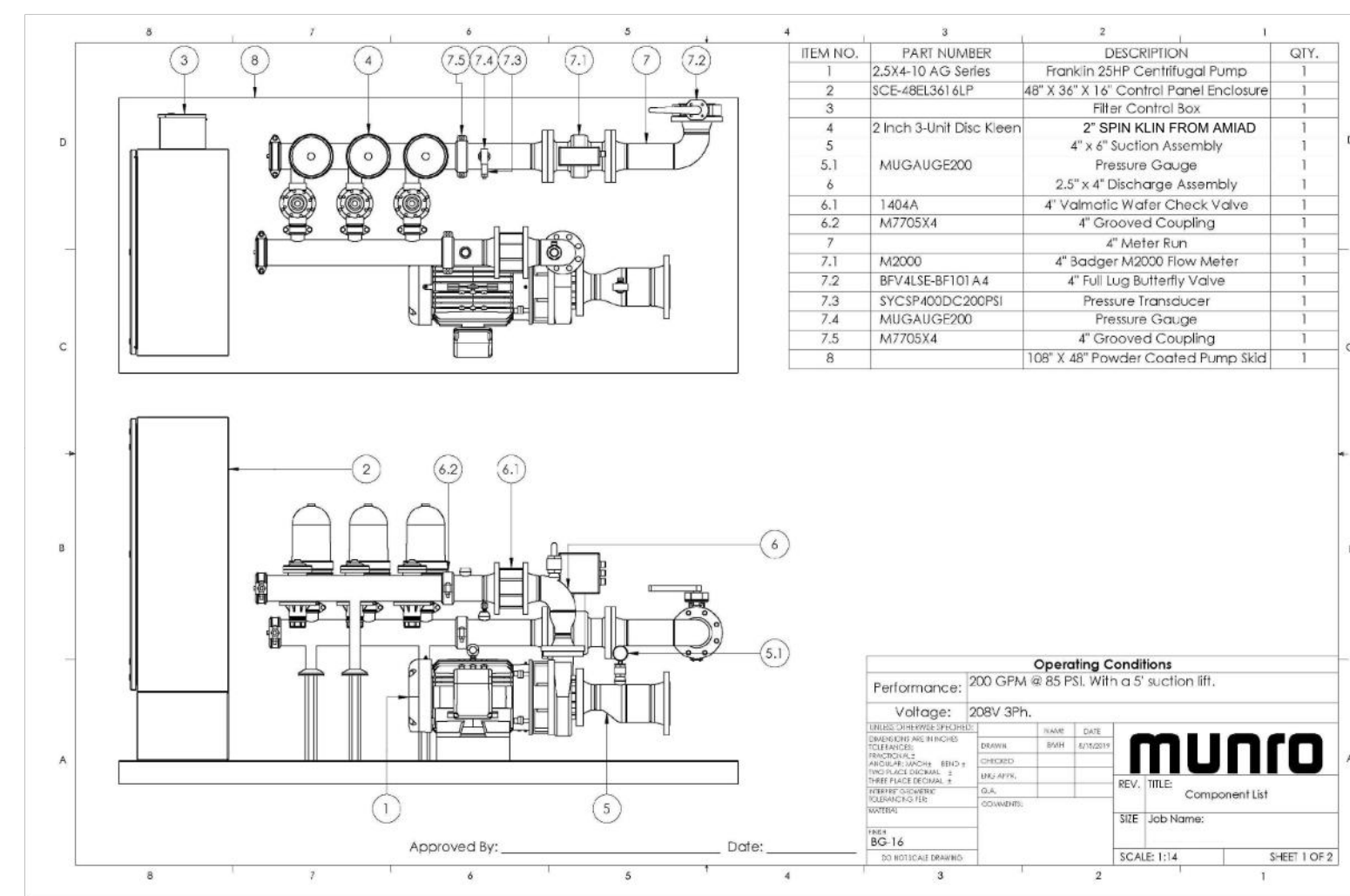
**2 Pump House - North Interior Wall Elevation**  
1/2" = 1'-0"



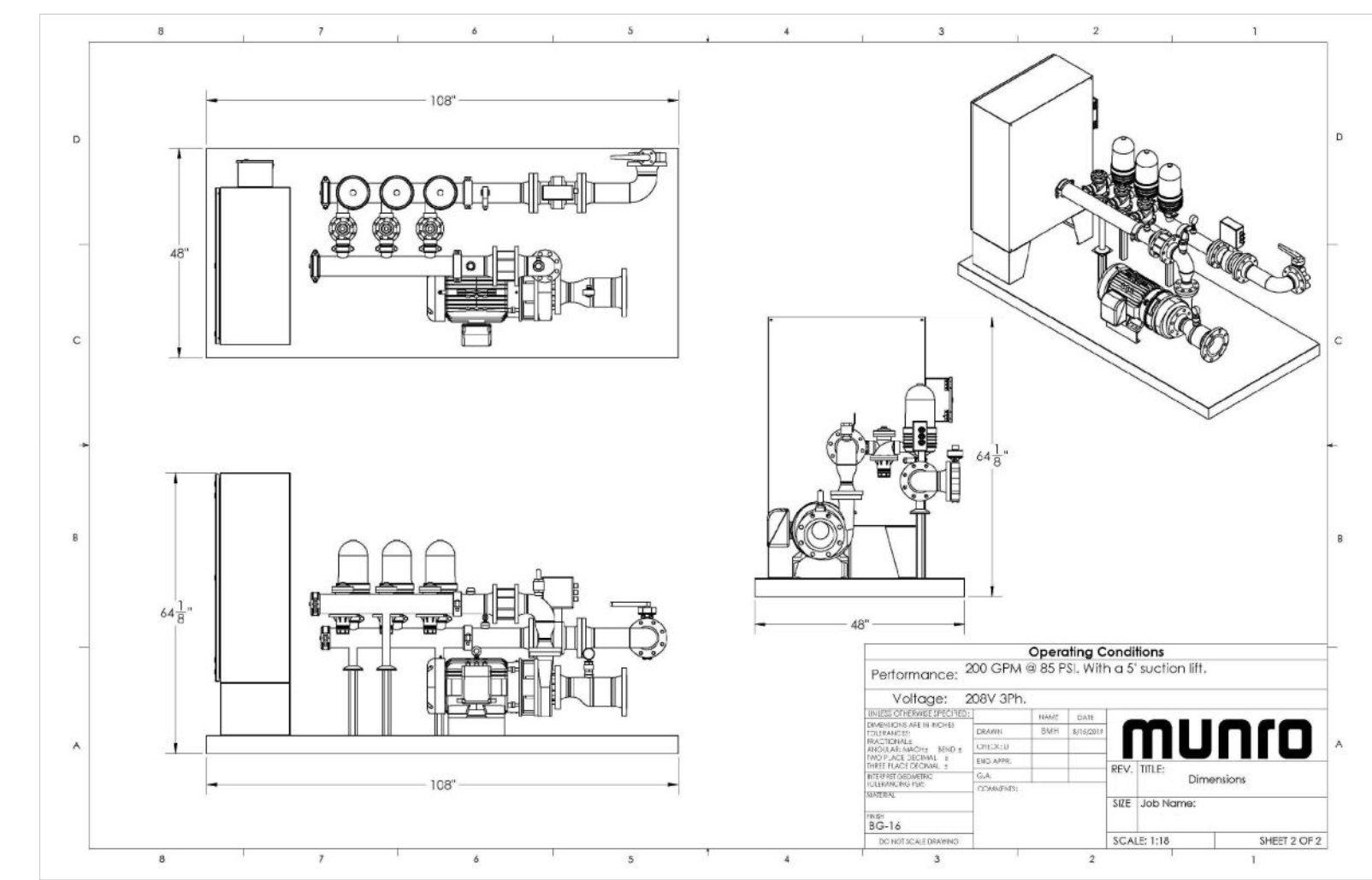
**3 Pump House - West Interior Wall Elevation**  
1/2" = 1'-0"



**4 Pump House - East Interior Wall Elevation**  
1/2" = 1'-0"



**6 Pump & Filter Components**  
NTS



**7 Pump Dimensions**  
NTS

Project Name:  
**West Canyon**  
18 Rd. & K Rd.  
Fruita, Colorado

Landscape Architect:  
**NVISION DESIGN STUDIO, INC.**  
477 25 Road Grand Junction, CO 81505  
Phone: 970.210.2155 Email: nvisi@nvisi.biz  
Web: www.nvisi.biz  
Landscape Architecture | Visual Simulation | Graphic Design

Registration:  
**Robert A. Breeden**  
LA 462  
08/01/2008  
Original License of Licensure  
STATE OF COLORADO  
LICENSED LANDSCAPE ARCHITECT

ACCEPTANCE BLOCK:  
THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD. CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY PLANNER \_\_\_\_\_ DATE \_\_\_\_\_

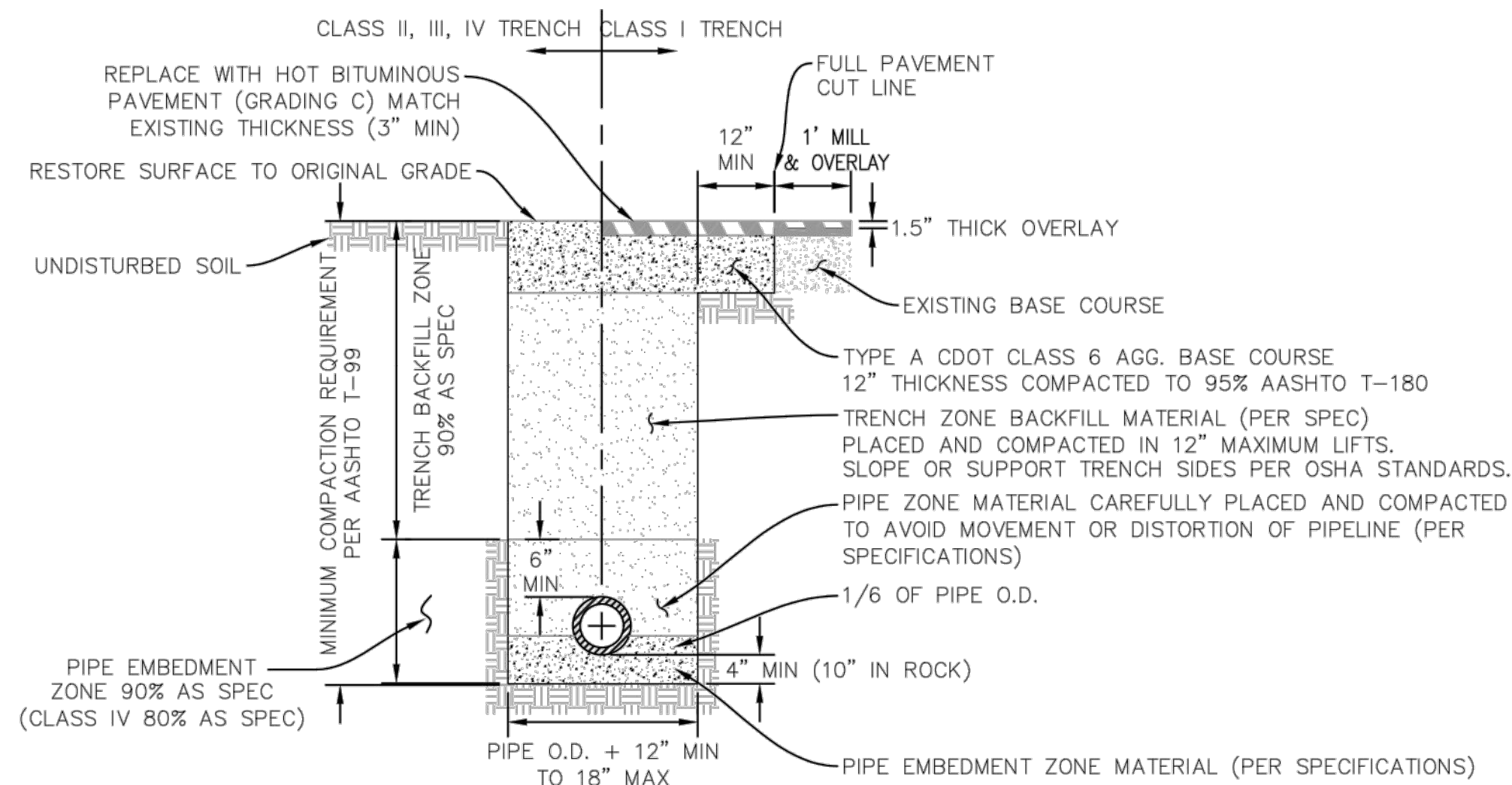
Revisions:


Sheet Title:  
**Irrigation Pump Details**

Project: West Canyon  
Date: November 15, 2023  
Scale: \_\_\_\_\_

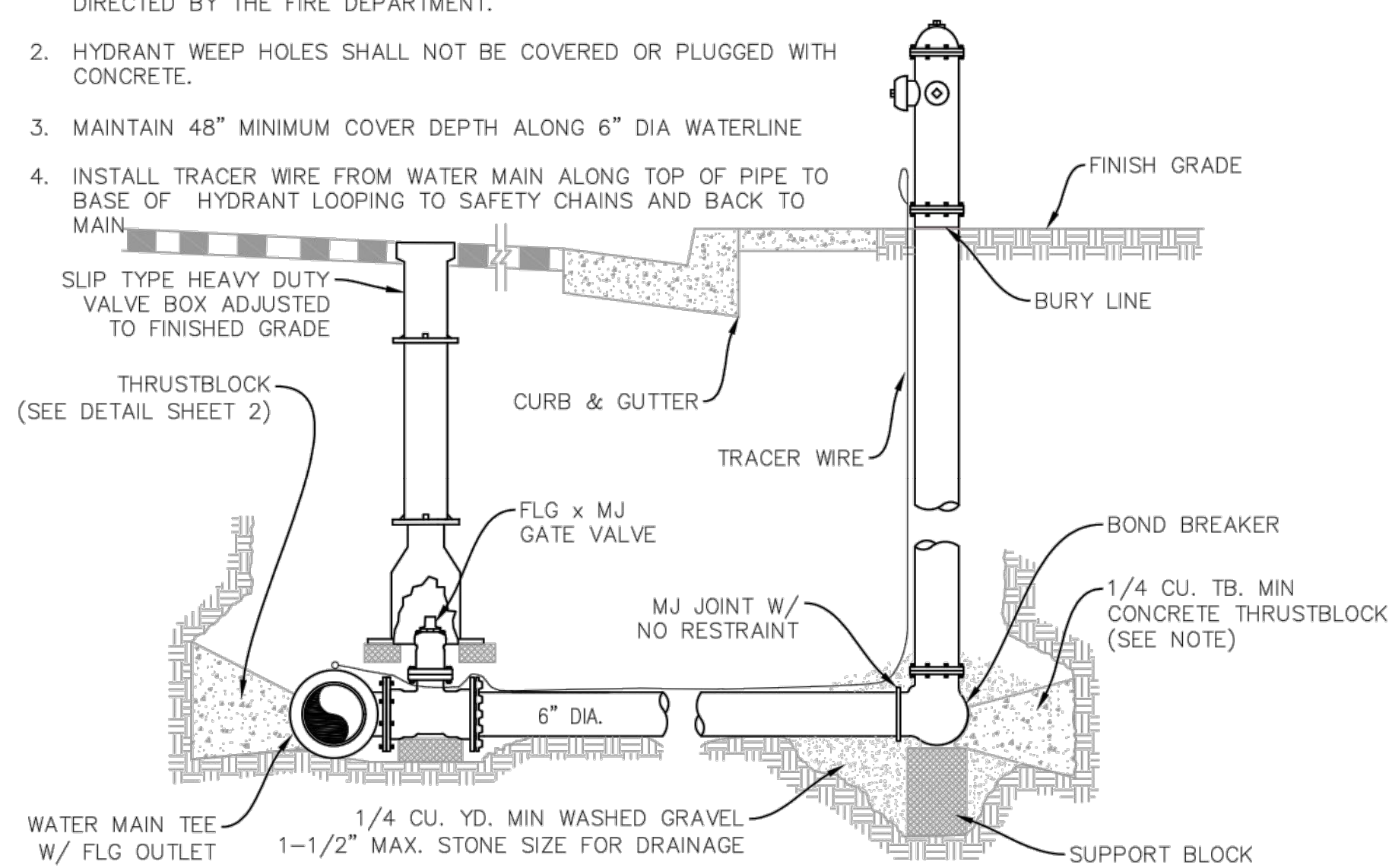
North  
**IR5**  
of 11 Sheets



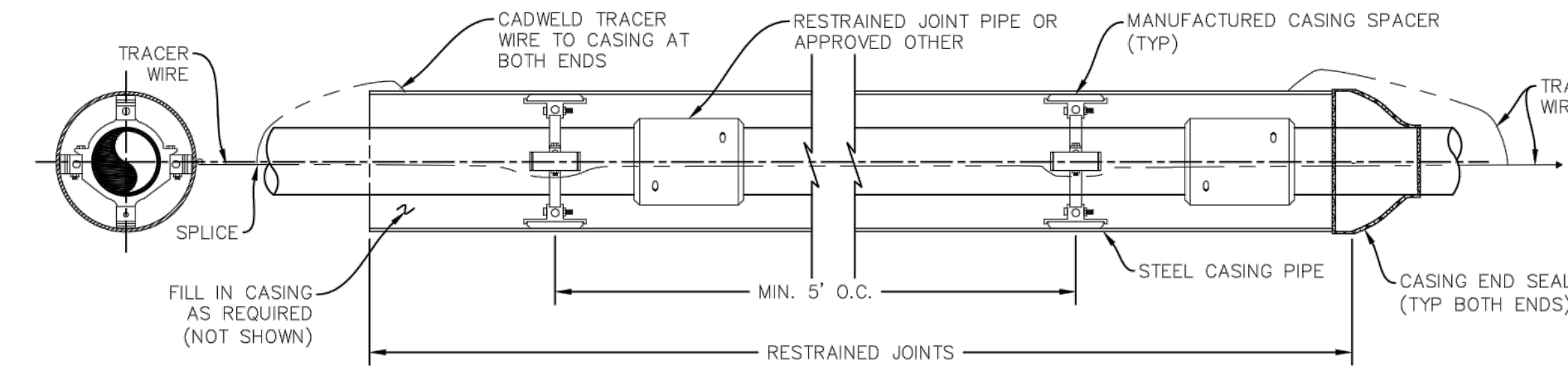


**TRENCH DETAIL (A)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS

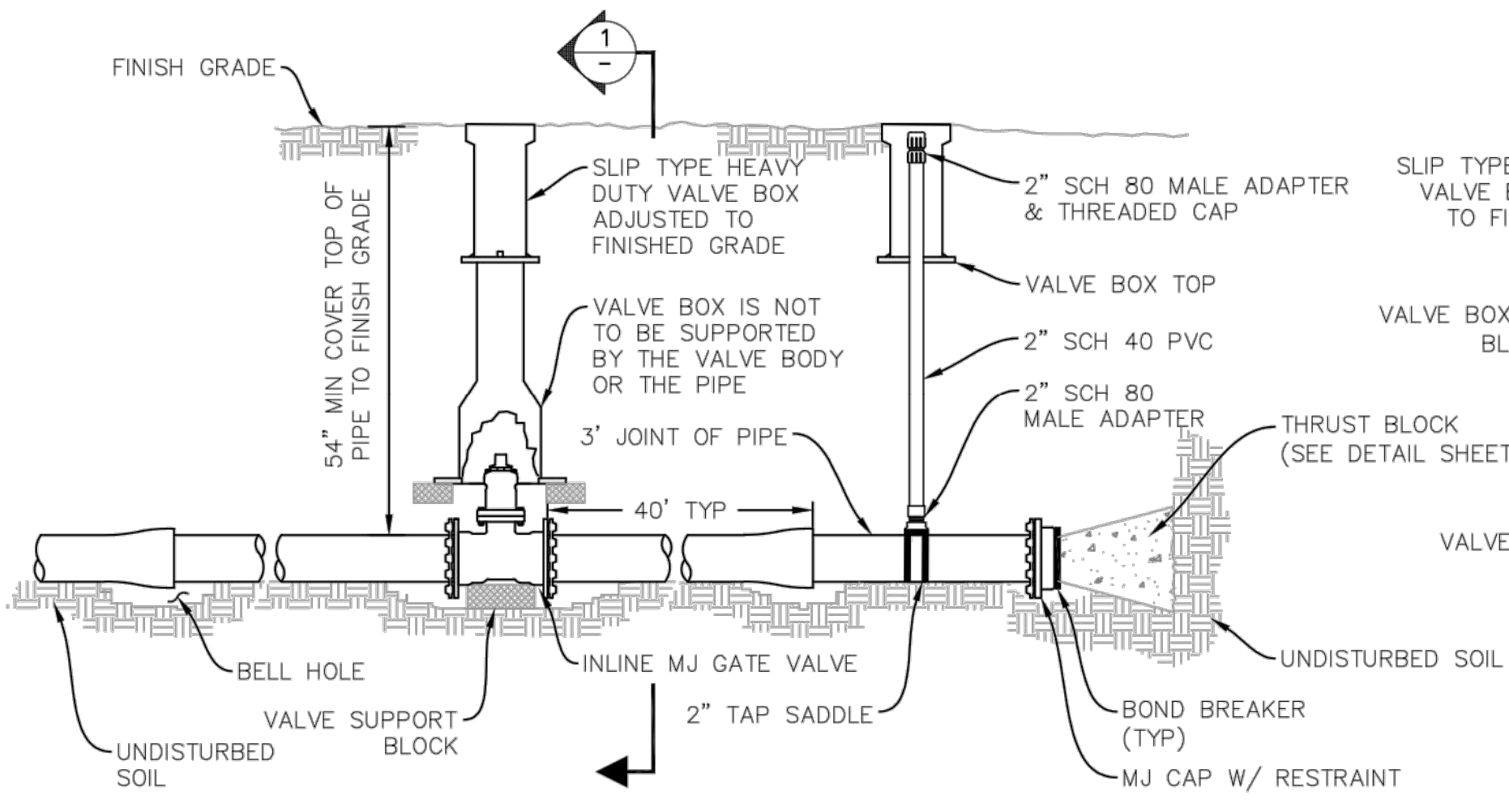
- NOTES:**
1. FIRE HYDRANTS ARE TO BE PLACED AS SHOWN ON DRAWINGS OR AS DIRECTED BY THE FIRE DEPARTMENT.
  2. HYDRANT WEEP HOLES SHALL NOT BE COVERED OR PLUGGED WITH CONCRETE.
  3. MAINTAIN 48" MINIMUM COVER DEPTH ALONG 6" DIA WATERLINE
  4. INSTALL TRACER WIRE FROM WATER MAIN ALONG TOP OF PIPE TO BASE OF HYDRANT LOOPING TO SAFETY CHAINS AND BACK TO MAIN



**FIRE HYDRANT DETAIL (D)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS

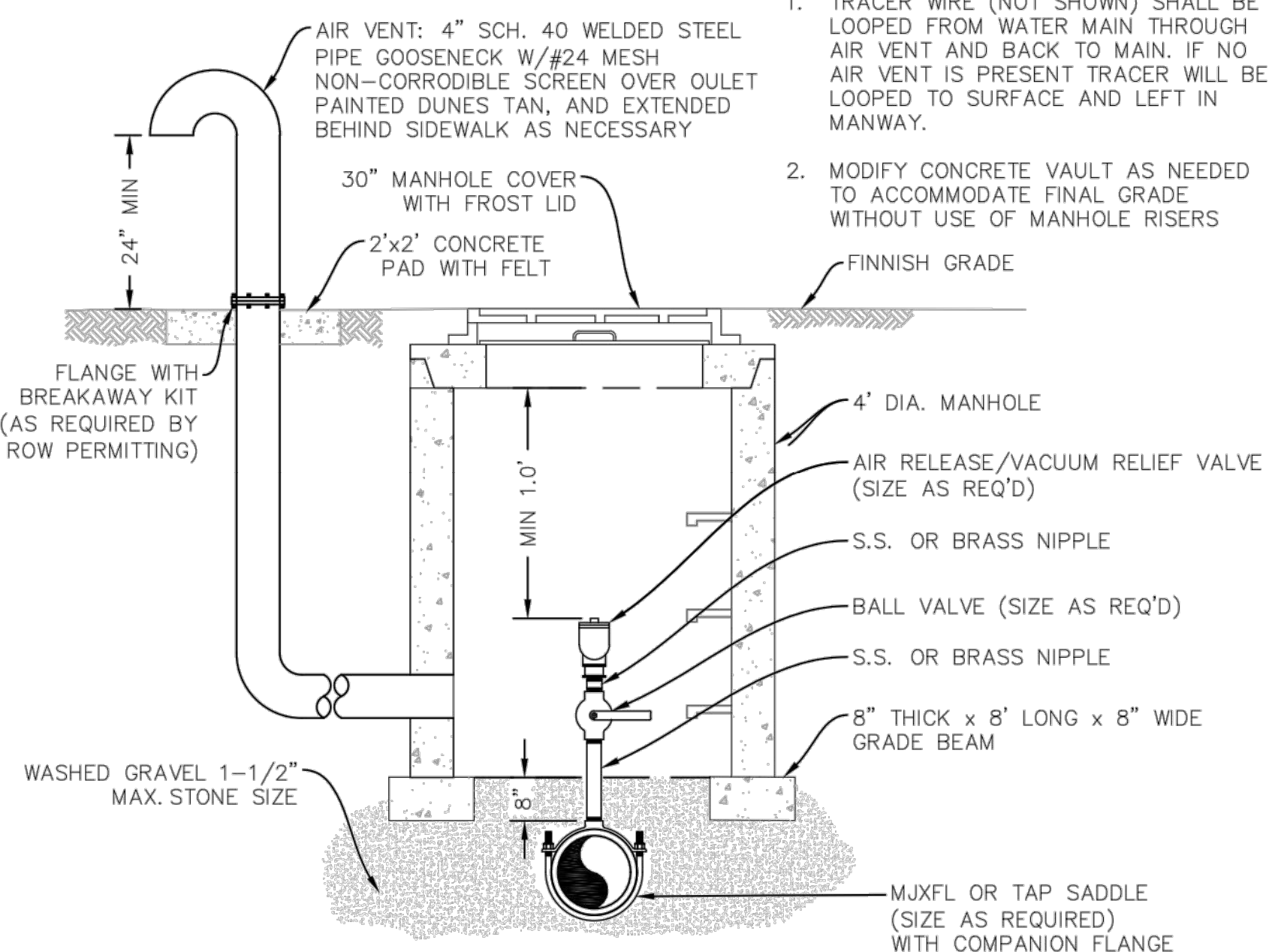


**PIPELINE ENCASEMENT DETAIL (G)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS



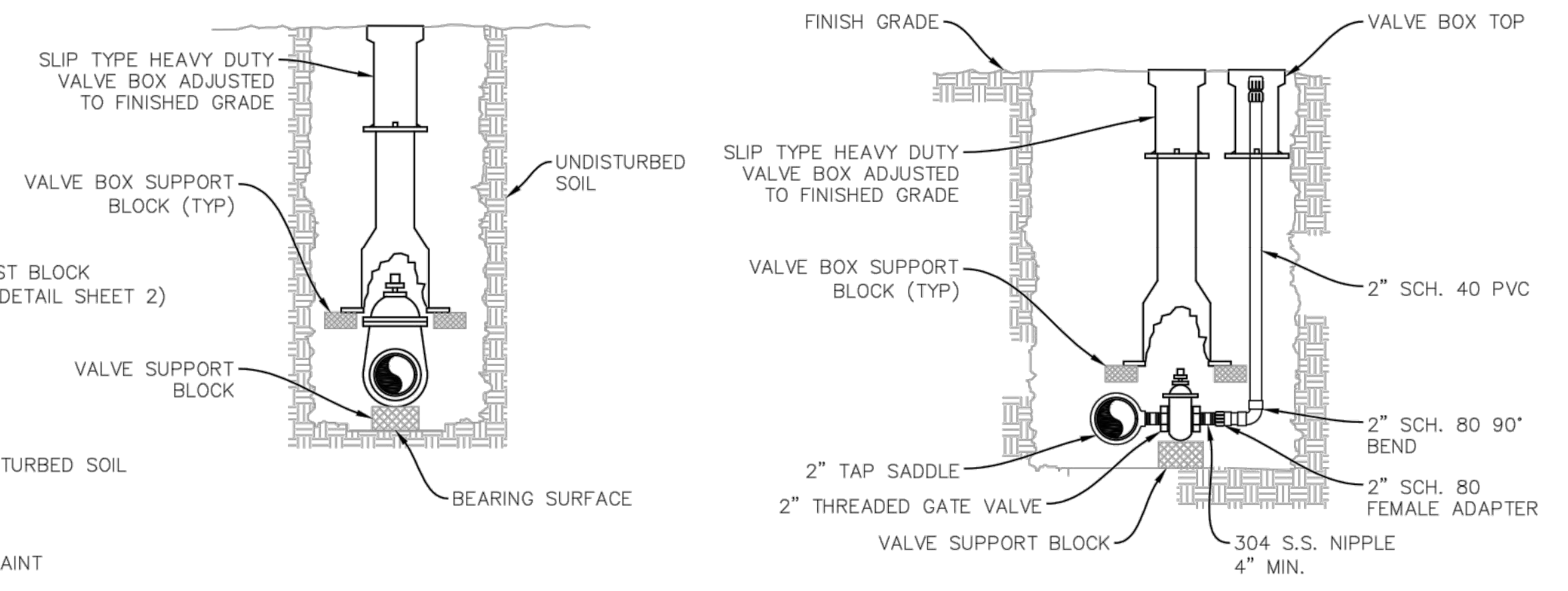
**VALVE INSTALLATION, LINE TERMINATION & TYPE "A" BLOWOFF (B)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS

- NOTES:**
1. TRACER WIRE (NOT SHOWN) SHALL BE LOOPEO FROM WATER MAIN THROUGH AIR VENT AND BACK TO MAIN. IF NO AIR VENT IS PRESENT TRACER WILL BE LOOPEO TO SURFACE AND LEFT IN MANWAY.
  2. MODIFY CONCRETE VAULT AS NEEDED TO ACCOMMODATE FINAL GRADE WITHOUT USE OF MANHOLE RISERS



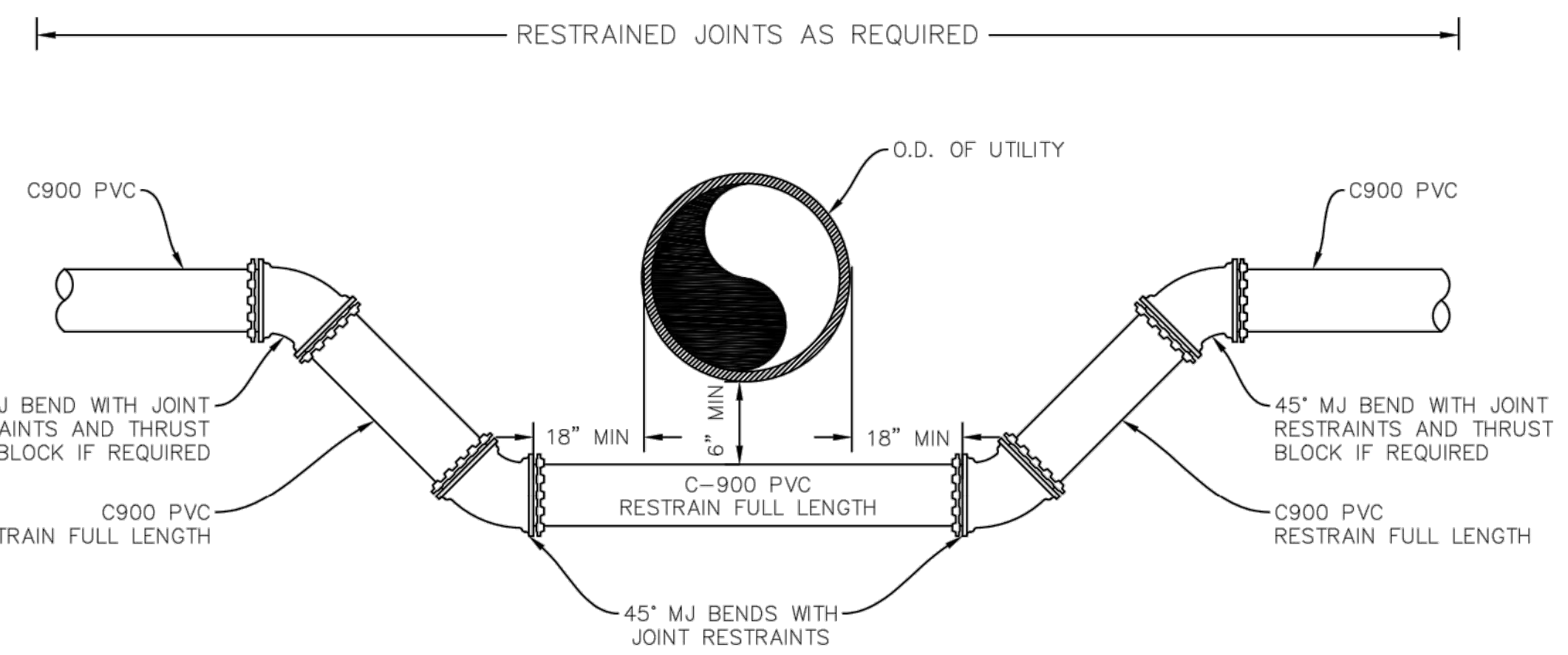
**AIR RELEASE VALVE DETAIL (E)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS

- NOTE:**
1. CONCRETE WITH FIBER MESH REQUIRED FOR SEWER LINE ENCASEMENT ABOVE WATER LINE.
  2. CONCRETE COLLAR OR ENCASEMENT SHALL BE A MINIMUM OF 6" THICK ON ALL SIDES OF SEWER LINE.

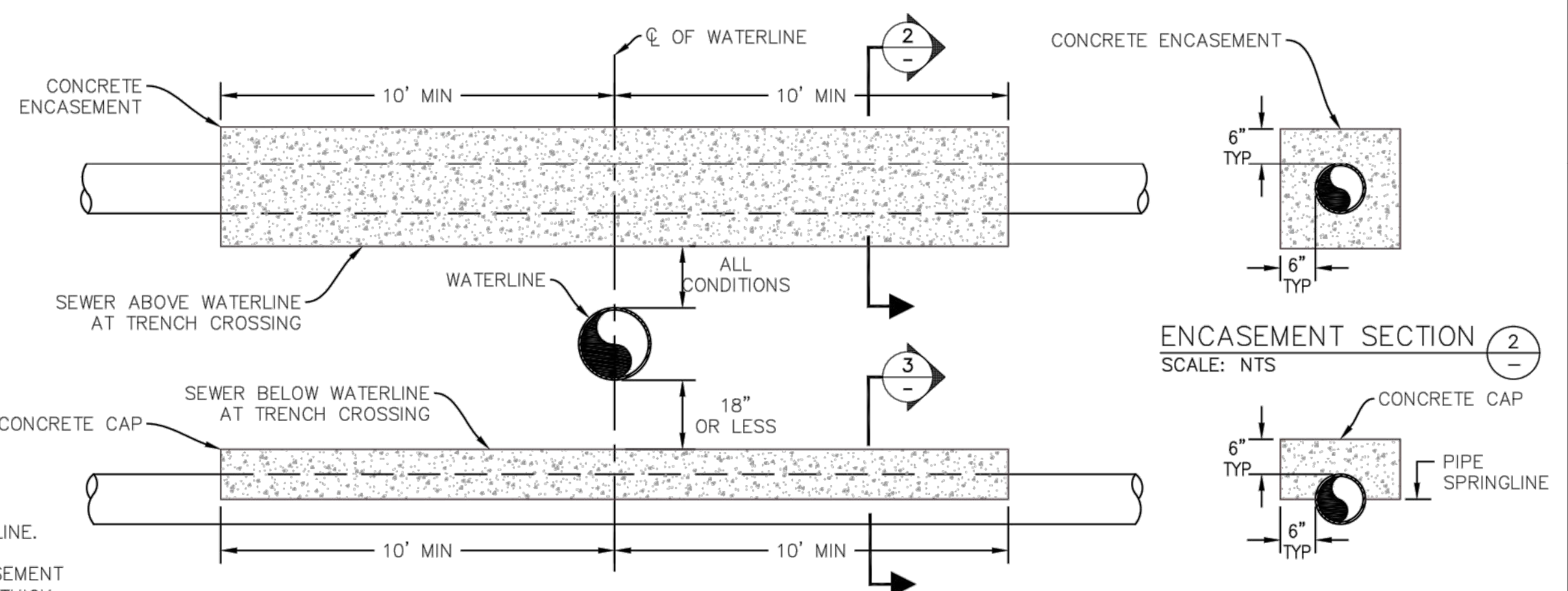


**VALVE SECTION (1)**  
SCALE: NTS

**TYPE "B" BLOWOFF DETAIL (C)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS



**TRENCH CROSSING UNDER UTILITY (F)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS



**TRENCH CROSSING OF SEWER (H)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS

**ENCASEMENT SECTION (2)**  
SCALE: NTS

**ENCASEMENT SECTION (3)**  
SCALE: NTS

DATE:	JANUARY 2021
CAD:	B.BOX
DESIGN:	
CHECKED:	VERT. SCALE: NTS
APPROVED: D.PRISKE	HORIZ. SCALE: NTS



UTE WATER CONSERVANCY DISTRICT  
GRAND JUNCTION, CO 81505  
PH. (970)242-7491  
FX. (970)242-9189

NO.	REVISION	DATE	BY
1			
2			
3			
4			

UTE WATER  
STANDARD DETAILS

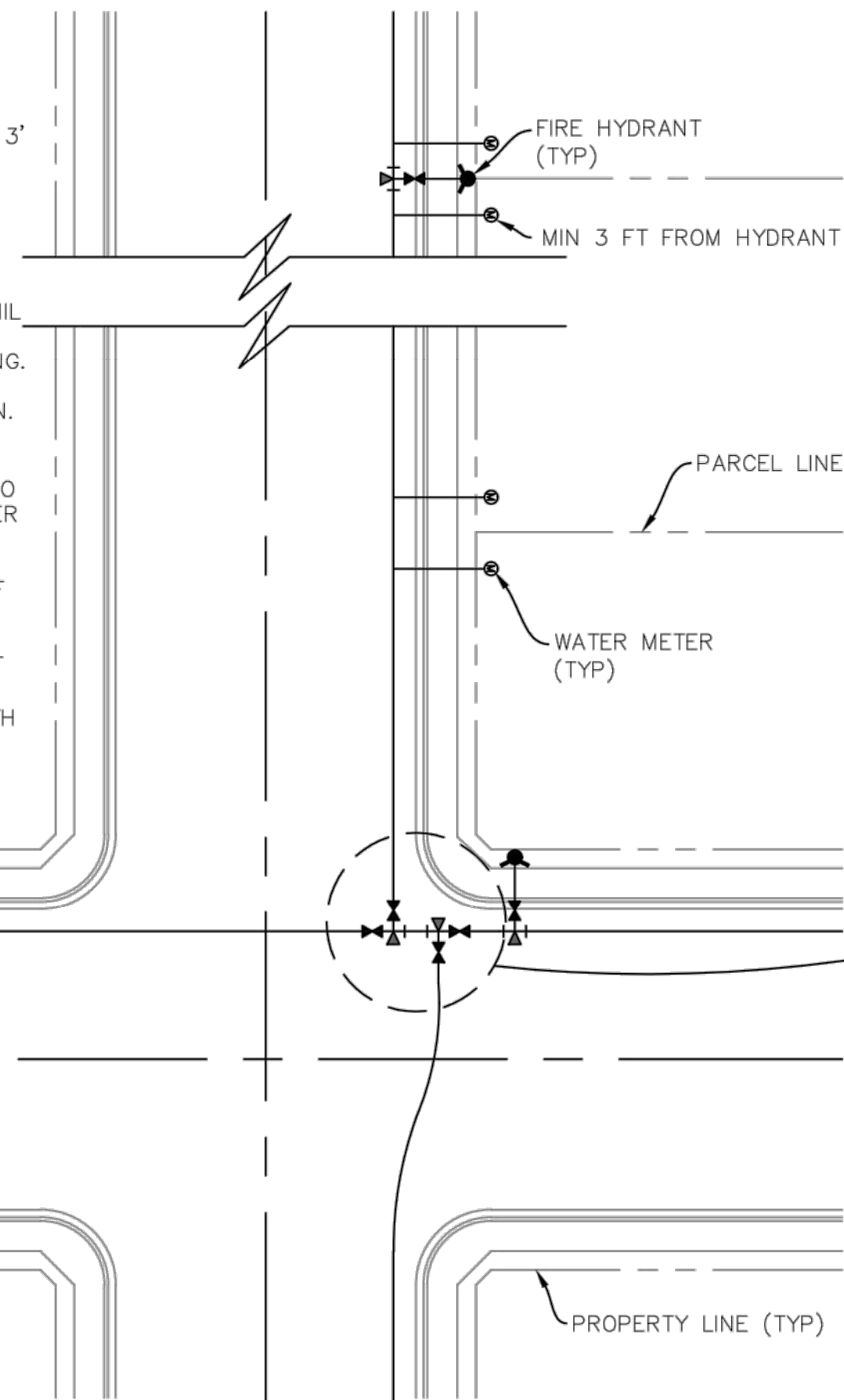
DETAIL SHEET 1 OF 2

SHEET NO.  
1



**NOTES:**

1. WATER LINES ARE TO BE INSTALLED ON THE NORTH OR EAST SIDE OF THE R.O.W., NO LESS THAN 2' OR MORE THAN 3' FROM LIP OF CURB UNLESS OTHERWISE SHOWN.
2. ALL FERROUS METAL PIPE, VALVES, FITTINGS, AND APPURTENANCES SHALL BE WRAPPED WITH A MINIMUM 8 MIL HIGH DENSITY POLYETHYLENE MATERIAL PRIOR TO BACKFILLING.
3. DEADENDS MUST EXTEND A MIN. OF 43' BEYOND THE LAST VALVE, TO A POINT BEYOND SURFACE IMPROVEMENTS, OR TO THE PROJECT LIMITS, WHICHEVER IS GREATER.
4. AVOID METER SERVICES OFF OF DEADEND LINES.
5. HYDRANT LOCATIONS TO BE AT INTERSECTIONS AND/OR ON PARCEL LINES AND PAIRED WITH WATER METER SERVICES.



**TYPICAL TRACT PLAN** (I)  
UTE WATER STANDARD DETAILS  
SCALE: NTS

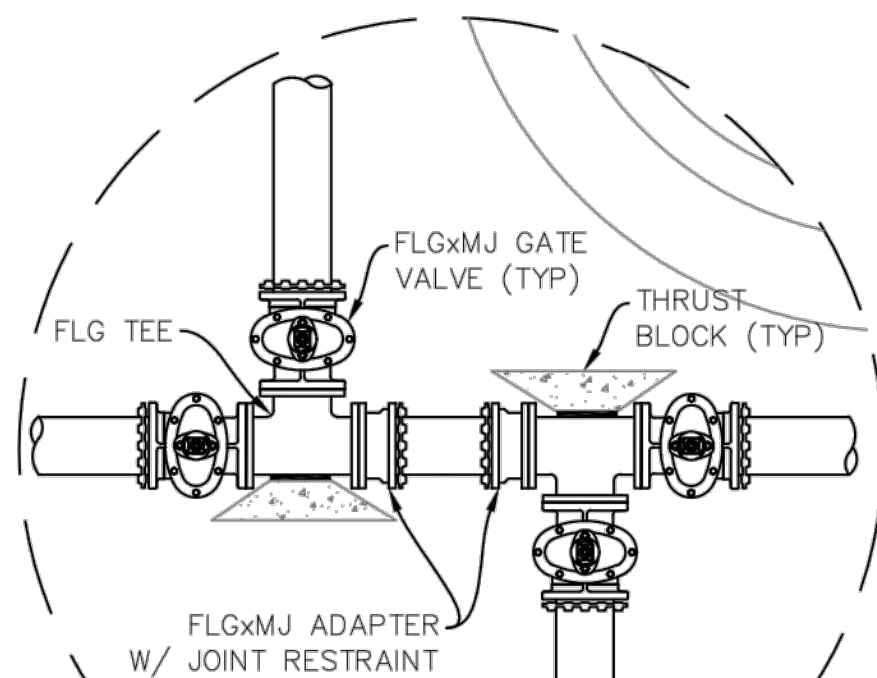


TABLE FOR CONCRETE THRUST BLOCKING  
BEARING AREAS (IN SQ. FT.)

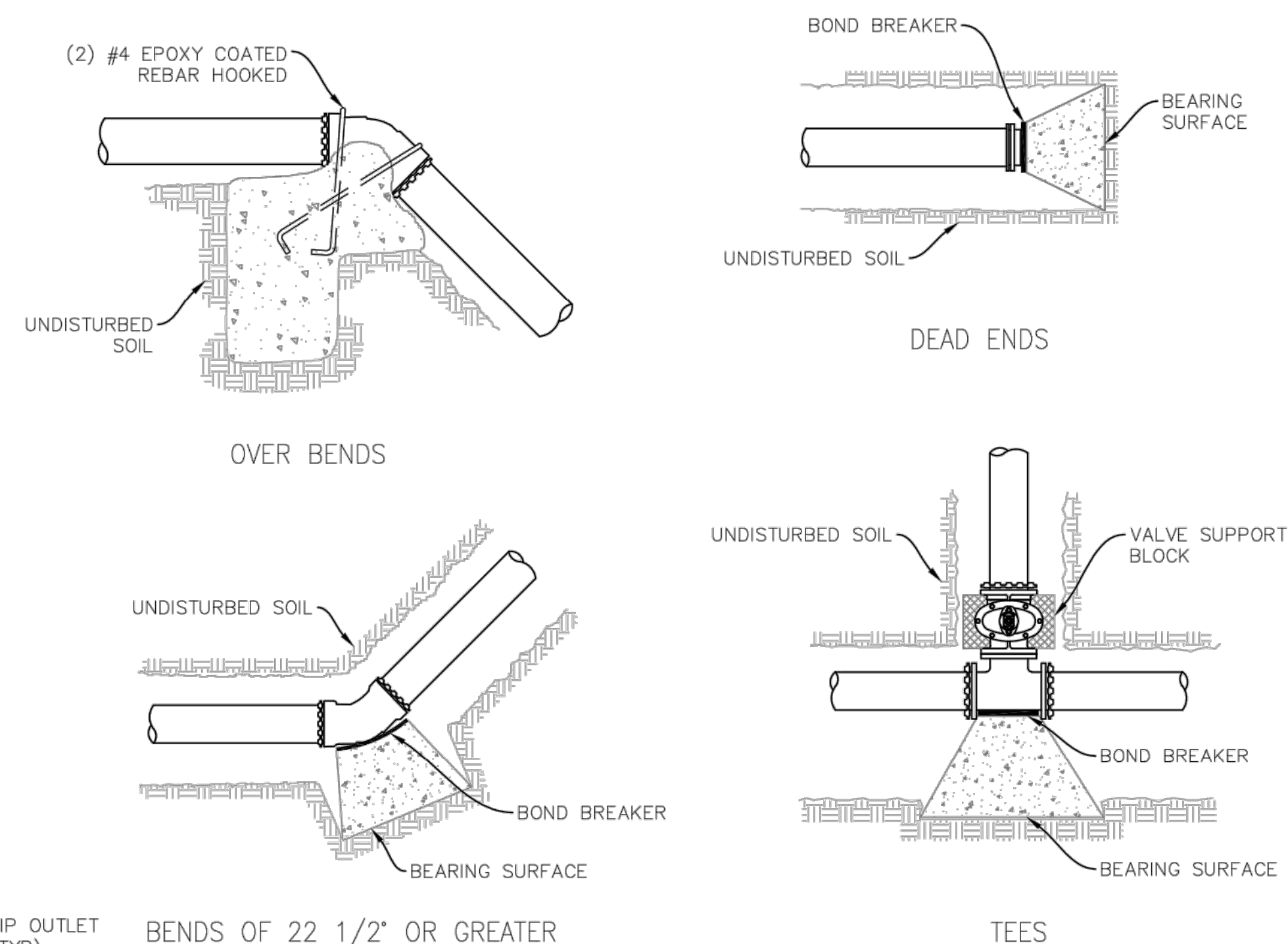
SIZE	BENDS			TEE BRANCH SIZE AND DEAD ENDS
	90°	45°	22 1/2°	
6	4.0	2.2	1.1	2.8
8	7.1	3.8	2.0	5.0
10	11.1	6.0	3.0	7.8
12	16.0	8.6	4.4	11.3
14	21.7	11.8	6.0	15.4
16	28.4	15.3	8.0	20.0

FIRE HYDRANT THRUST BLOCKS SHALL BE A MIN OF 1/4 CU. YD. IN MASS AND HAVE A MIN BEARING AREA OF 5 SQ. FT.

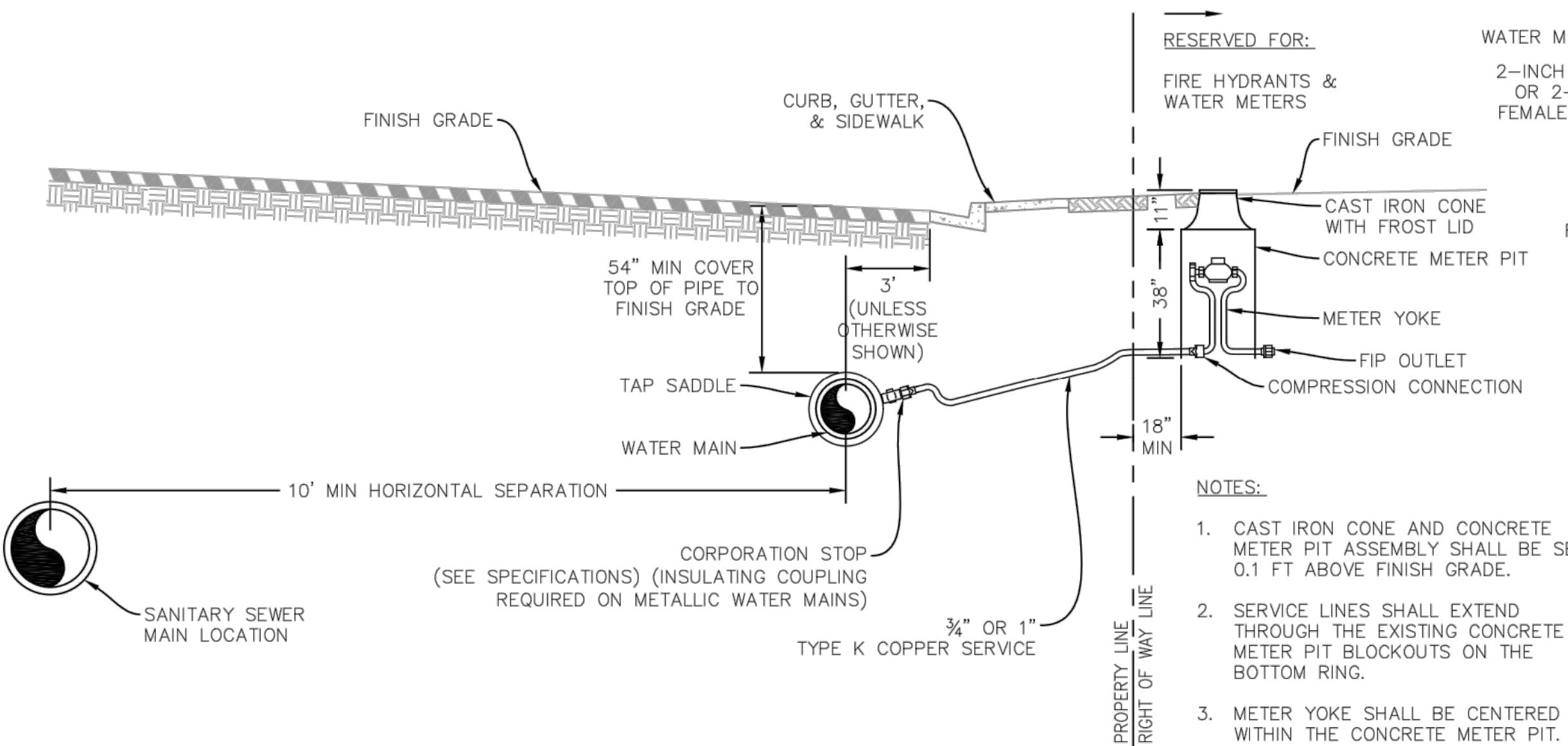
AREAS GIVEN ARE BASED ON INTERNAL STATIC PRESSURE OF 100 P.S.I. AND SOIL BEARING CAPACITY OF 1,000 LBS. PER SQ. FT.

AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING TABULATED VALUES BY A CORRECTION FACTOR "F"

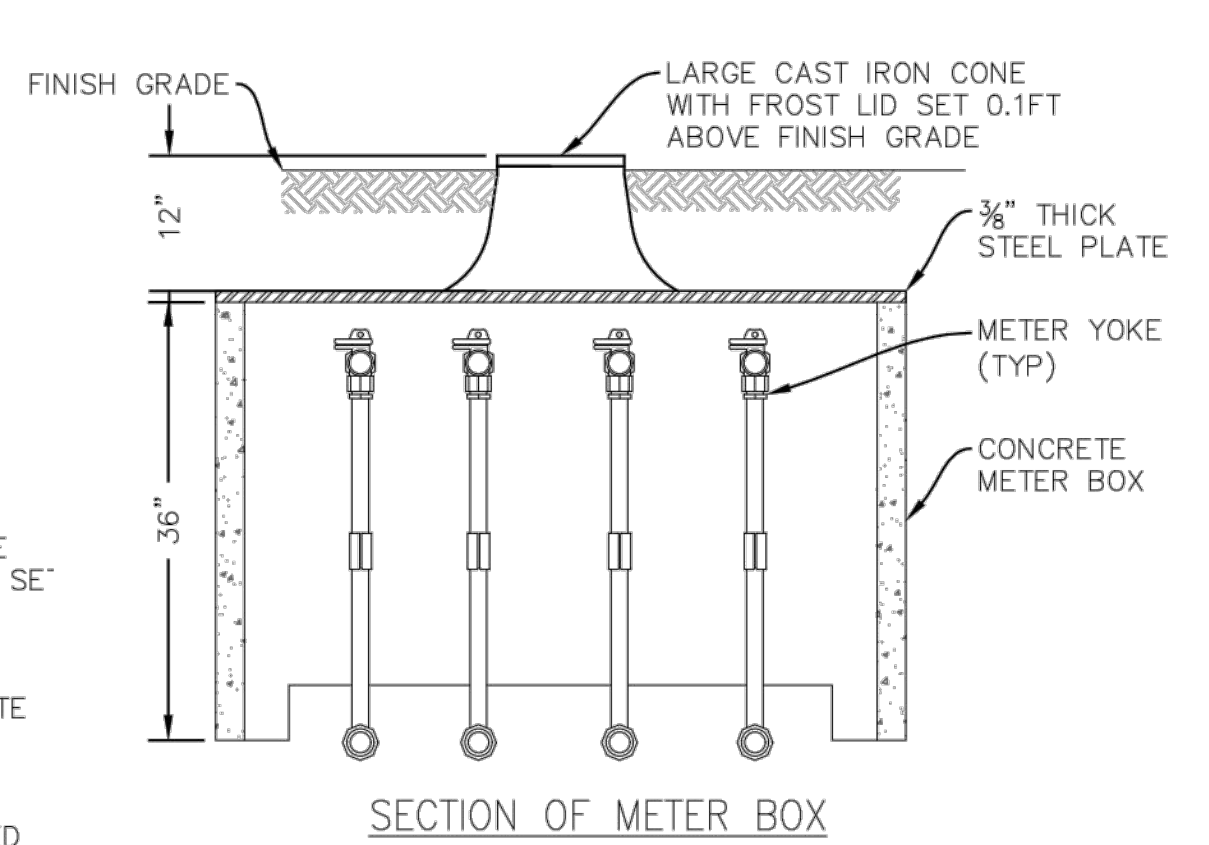
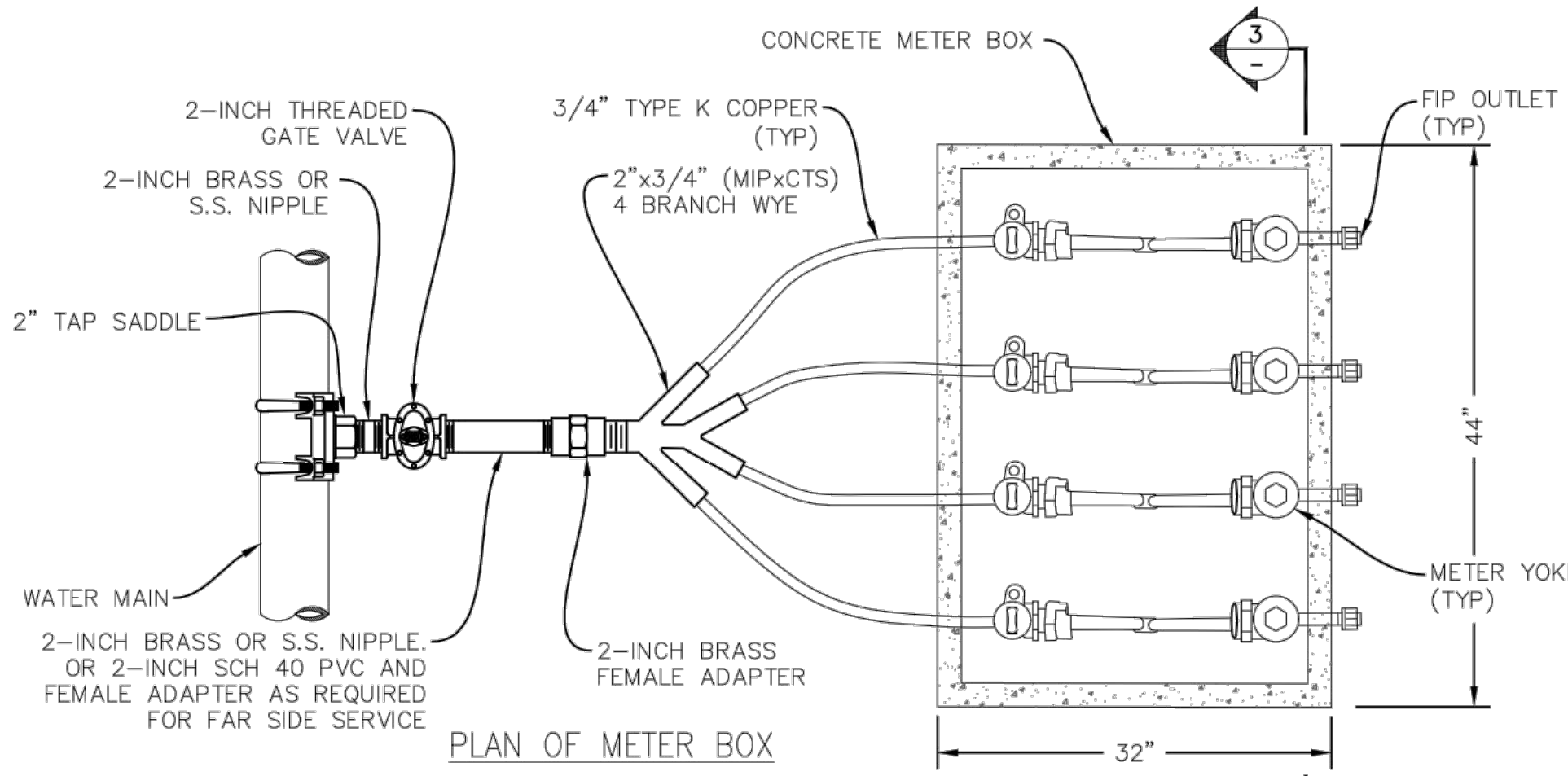
F = ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS PER SQ. INCH. / ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.



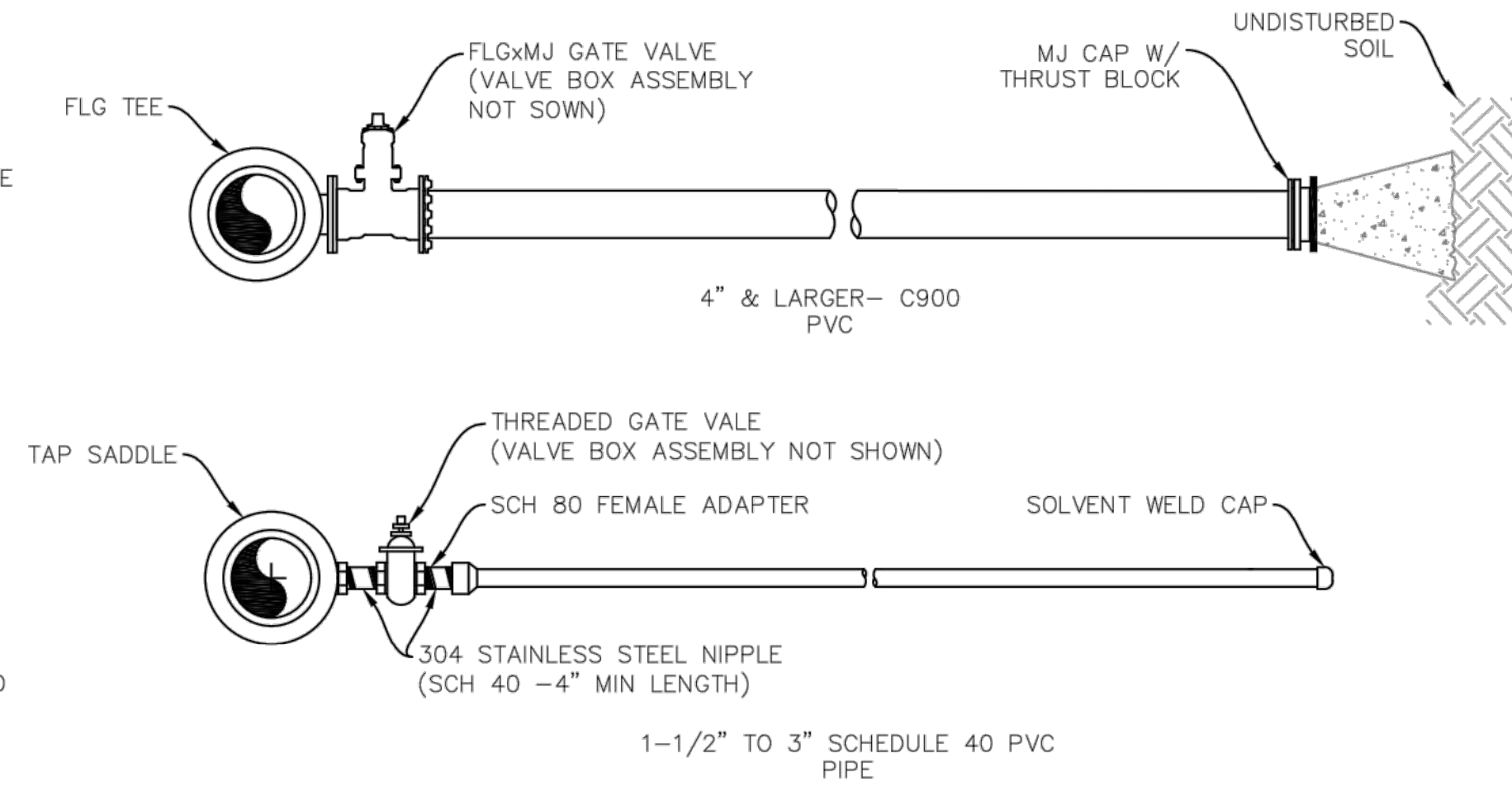
**THRUST BLOCK DETAILS** (J)  
UTE WATER STANDARD DETAILS  
SCALE: NTS



**DOMESTIC SERVICE DETAIL** (K)  
UTE WATER STANDARD DETAILS  
SCALE: NTS



**4 METER GANG BOX DETAIL** (L)  
UTE WATER STANDARD DETAILS  
SCALE: NTS



- NOTES:**
1. CAST IRON CONE, CONCRETE METER BOX, STEEL PLATE, & METER YOKES TO BE PROVIDED BY DISTRICT
  2. CAST IRON CONE AND CONCRETE METER BOX ASSEMBLY SHALL BE SET 0.1 FT ABOVE FINISH GRADE
- NOTES:**
1. ALL COMMERCIAL SERVICE LINES SHALL HAVE A 3/4" TAP SADDLE, CORP STOP AND COPPER INSTALLED AT THE END TO ALLOW FOR BLEEDING OF AIR. CONTRACTOR SHALL DIG UP AND TURN OFF CORP STOP AFTER TESTING HAS BEEN COMPLETED AND WATER LINE IS ACCEPTED BY UTE WATER.
  2. SERVICE LINE ENDPOINT IS TO EXTEND TO PROPERTY SIDE OF THE RIGHT OF WAY LINE AND MARKED WITH A STEEL POST.

**1-1/2" & LARGER SERVICE DETAILS** (M)  
UTE WATER STANDARD DETAILS  
SCALE: NTS