

Wildcat Aquisition LLC
 312 Aspen Airport Business Center Suite D
 Aspen, Colorado 81611
 646-413-2854

PLANS FOR
 CONSTRUCTION OF

WILDCAT RESIDENCES

10-3-2023



VICINITY MAP
 NTS

PROJECT
 LOCATION

NO.	TITLE
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ACCEPTANCE BLOCK
 THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
 CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____
 CITY PLANNER _____ DATE _____

Know what's below. Call before you dig.	
SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY	
REVISIONS NO. DESCRIPTION DATE BY	_____ _____ _____ _____
A · C · G AUSTIN CIVIL GROUP, INC. Land Planning • Civil Engineering • Development Services 123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501 (970) 242-7540	
WILDCAT RESIDENCES description COVERSHEET WILDCAT AVE prepared for Wildcat Aquisition LLC	
DRAWN BY: JWC DESIGNED BY: JWC CHECKED BY: MRA APPROVED BY: MRA	JOB NUMBER: 1456.0003 DATE: 10-3-2023 SCALE: NTS SHEET NO: C-1

GENERAL CONSTRUCTION NOTES

- Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging. All Utility locate Information is at a Quality Level C unless otherwise noted.
- The Contractor shall notify the engineer if unanticipated conditions are encountered during completion of the work which require modifications to the contract drawings. The engineer can be reached at (970)242-7540.
- Contractor shall give 48-hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior commencement of work. Contractor shall assure himself that all construction permits are current.
- Contractor shall confine his construction operations to the right-of-way, easements, and lots, as shown on plans and plot. Any damage to private facilities outside these limits shall be repaired by the Contractor at no expense to the Owner.
- All site construction, and related work, all materials, performance and quality of work provided shall conform to the requirements of the City of Fruita Standard Specifications and Drawings and the applicable sections of the most current edition of the Colorado Department of Transportation Standard Specifications for Road and Bridge Construction, Colorado Standard Plans, Division of Highways M & S Standards.
- Contractor shall familiarize himself with the geotechnical testing requirements of the City of Fruita. The results of the required types of tests and numbers of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and retests shall be performed until passing results are obtained. All utility lines, including service lines shall also be tested.
- All utility installations other than the water system, are to be performed in accordance with the City of Fruita Standard Specifications for the Construction of Underground Utilities and Standard Details.
- All water and sewer lines must be tested and approved PRIOR to placement of Base Course Material on street and parking areas. Contractor is required to notify the Owner's representative PRIOR to testing. The Owner's representative must be present to witness testing of water and sewer lines or the City will not approve the installation.
- In the event of a discrepancy between the construction notes contained herein and the notes and details in the City of Fruita Standard Design Criteria and Construction Specifications manual, the City's manual shall control.
- All areas to receive fill, asphalt, concrete, gravel, parking, or structures shall be scarified a minimum of 12", moisture conditioned and re-compacted as specified by the geotechnical report.
- All earthwork operations shall be completed in accordance with the recommendations and requirements of the Huddleston-Berry Engineering and Testing, LLC geotechnical report.
- All areas to receive fill, under asphalt, concrete or the building, shall be stripped of 6-inch minimum topsoil. Contractor shall stockpile topsoil onsite and shall spread topsoil over all grass and impacted soil areas.
- Contractor shall provide as-built drawings prepared by a licensed surveyor, for all underground sewer, water and storm sewer, as well as concrete in the public right of way areas. As-built shots shall be provided at all service line connections, tops of water pipe, valves, fittings, bends, inverts, grate/rim elevations, and spot grades called out on the concrete in public right of way.

FUGITIVE DUST CONTROL PLAN

- Before stripping of the site preparation for overlot grading, the surface is to be pre-wet to control dust.
- Any stockpiles of stripping materials are to be periodically sprayed with water or a crusting agent to stabilize potentially wind blown material.
- Haul road both into and around the site are to be sprayed as needed to suppress dust.
- The Storm Water Management Plan and permit shall be obtained and kept onsite before starting any construction work. Gravel pads are to be constructed at the entrances to the site to help in removing mud from the wheels of haulage trucks before they enter onto City streets.
- Trucks hauling import fill are to be torped to aid in the control of airborne dust.

WATER LINE CONSTRUCTION

- All water line and water service construction shall be constructed in accordance with the Ute Water District Standards and Specifications.
- Contractor shall notify the Ute Water Conservancy 48 hours prior to the beginning of construction of any water line.
- All trenches shall be compacted to 95% within 2% of optimum moisture content, as determined by AASHTO T-99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab.
- Minimum cover required over top of new waterlines is 4'-6".
- All water mains to be DR-18 PVC, conforming to AWWA C-900.
- Fire Hydrants shall conform to AWWA C-502, Mueller Centurian.
- Fire hydrant pumper connections shall be equipped with a five inch non threaded sexless connection and metal cap (commonly referred to as Storz). The two and one half inch butts shall be furnished with National Standard Threads.
- All materials labor and equipment required for testing and disinfection of water lines shall be furnished by Contractor. Disinfection of water lines shall conform to AWWA C-851-86 or latest revision thereof. No separate pay.
- All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per Ute Water Conservancy District details and Technical Specifications.
- All private service lines 2-inch or less to row homes or apartment buildings, shall be pure core or approved equal.

SANITARY SEWER CONSTRUCTION NOTES

- All materials and workmanship shall comply to the Standards and Specifications of the City of Fruita. The City of Fruita reserves the right to accept or reject any materials and or workmanship that does not conform.
- The Contractor shall have one signed copy of plans and a copy of the City of Fruita Design Criteria and Construction Specifications at the job site at all times.
- All sanitary sewer pipe shall be PVC SDR-35 (ASTM 3034) unless otherwise specified.
- All trenches shall be compacted to 95% within 2% of optimum moisture content, as determined AASHTO T-99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab.
- A minimum of 10 ft. of separation shall be maintained at all times between the waterline and sewer line except at specified crossings.
- Where sanitary sewers cross under a water line with less than 18 inches of vertical separation, and in all cases where the sanitary sewer crosses over the waterline at any depth, provide total concrete encasement of pipe for a length of 10 feet to either side of the waterline.
- Clay cut off walls shall be provided upstream of all new manholes installed by the project to minimize groundwater movement within the trench bedding.
- Notify the City of Fruita 48 hours prior to the construction of the sanitary sewer facilities.
- The contractor shall obtain a City of Fruita Street Cut Permit for all work within existing City right-of-way prior to construction.
- Redline as-builts, completed a licensed professional surveyor, shall be submitted to the Engineer at least 72 hours PRIOR to asphalt base placement for review.

STORM SEWER CONSTRUCTION NOTES

- All storm sewer line construction shall be in accordance with the City of Fruita Standards and Specifications. Pipe materials can be smooth wall interior, HDPE or RCP, unless noted on plans.
- All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR-35 unless otherwise noted.
- All High Density Polyethylene (HDPE) pipe and fittings shall be smooth bore and shall conform to the following:
6 inch to 10 inch shall meet AASHTO 12 inch to 36 inch shall meet AASHTO M294
42 inch to 48 inch shall meet AASHTO MP6
All HDPE pipe up to 30" shall be backfilled to springline with Class-6.

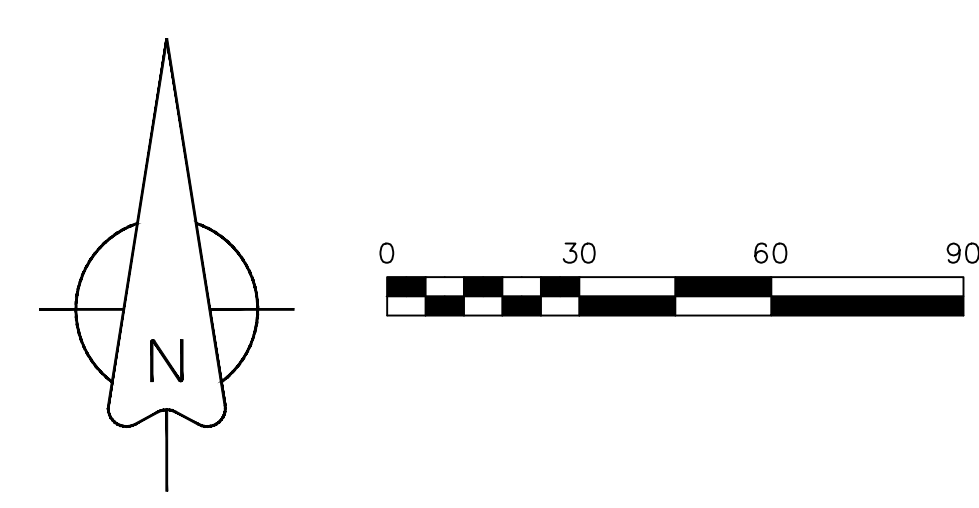
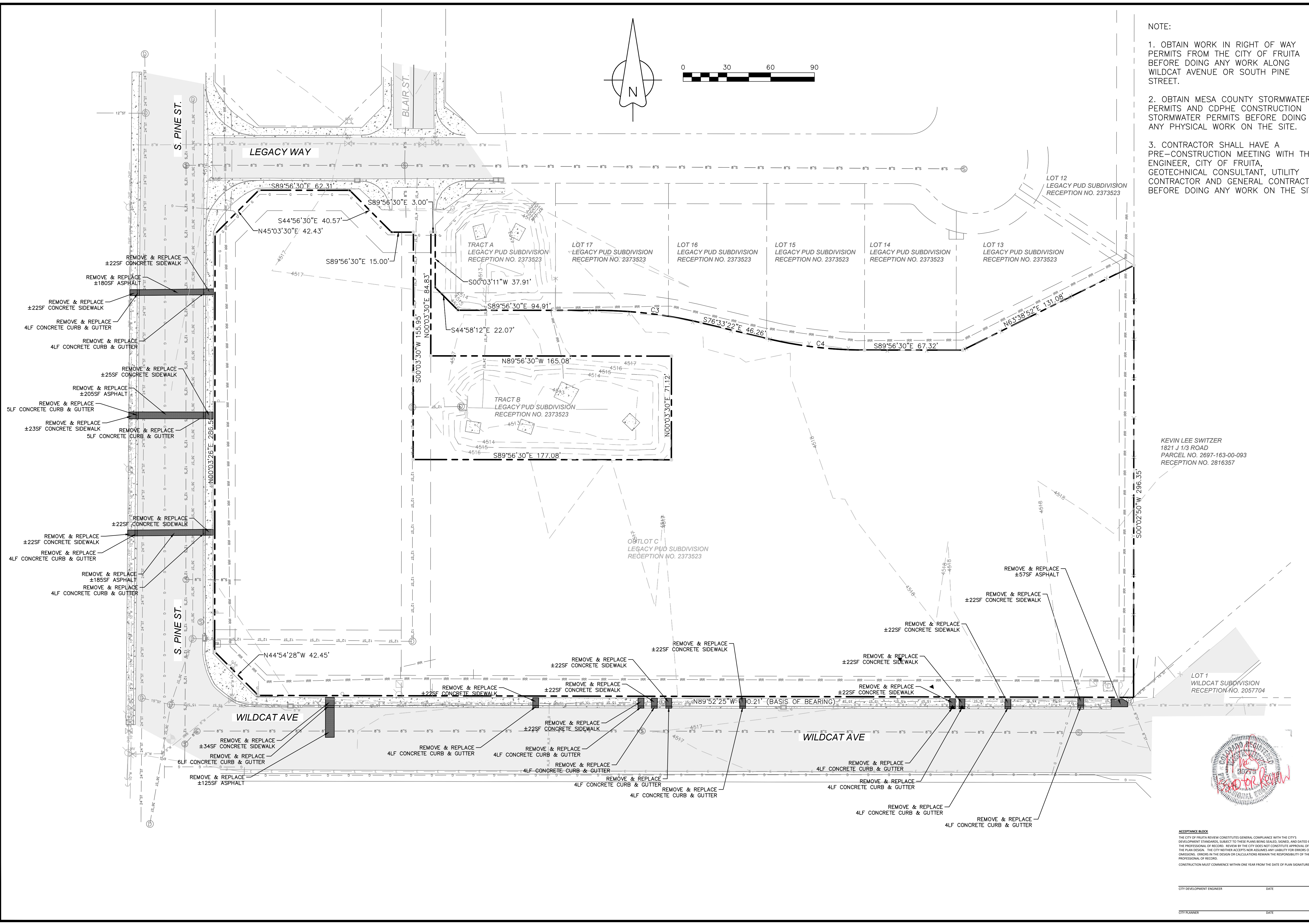
CONCRETE AND PAVING CONSTRUCTION NOTES

- All concrete shall include a minimum of 6-inches of CDOT Class VI ABC unless otherwise noted.
- All concrete flatwork shall be 4-inch, Class GV-B, with 6x6x1.4x1.4 WWF unless otherwise noted. All concrete cold joints shall be doweled to adjacent slabs with #4 dowel bars at 1'-6" spacing max.
- All concrete in driveway and trash areas shall be 8-inch thick, Class P Concrete with #4 rebar at 1'-6" On Center, Each Way, unless otherwise noted.
- All concrete flatwork shall have a scored pattern not more than 8 foot square maximum.
- All road widths and radii are to flow line unless noted otherwise. Any "spot" design elevations are to flow line of curb and gutter unless otherwise noted.

LEGEND

--- PROPOSED PROPERTY LINE	--- EXISTING 8" WATER MAIN
--- EXISTING PROPERTY LINE	--- PROPOSED 2" DOMESTIC SERVICE
--- ADJACENT PROPERTY LINE	--- PROPOSED 4" FIRE LINE
--- EXISTING EASEMENT	--- EXISTING FIRE HYDRANT
--- PROPOSED EASEMENT	--- PROPOSED FIRE HYDRANT
--- EXISTING BUILDING	--- EXISTING WATER METER
--- PROPOSED BUILDING	--- PROPOSED WATER METER
--- EXISTING CURB/GUTTER	--- PROPOSED METER/BACKFLOW VAULT
--- PROPOSED CURB/GUTTER	--- PROPOSED IRRIGATION MANHOLE
--- PROPOSED SPILL CURB/GUTTER	--- PROPOSED FENCE
--- PROPOSED TRANSITION CURB/GUTTER	--- EXISTING FENCE
--- EXISTING RETAINING WALL	--- PROPOSED TRAFFIC FLOW
--- EXISTING 1-Ft CONTOUR	--- GRADE BREAK
--- EXISTING 5-Ft CONTOUR	--- ROOF DRAIN (RD)
--- PROPOSED 1-Ft CONTOUR	--- STREET LIGHT POLE
--- PROPOSED 5-Ft CONTOUR	--- FIRE DEPARTMENT CONNECTION
--- EXISTING ASPHALT	--- PARKING LOT LIGHT
--- PROPOSED ASPHALT	--- PROPOSED BUILDING LIGHT
--- PROPOSED HEAVY DUTY ASPHALT	--- POWER POLE
--- EXISTING CONCRETE	--- FLOWLINE
--- PROPOSED CONCRETE	--- EDGE OF PAVEMENT
--- PROPOSED HEAVY DUTY CONCRETE	--- TOP OF CONCRETE
--- EXISTING SANITARY SEWER	--- TOP OF WALL
--- PROPOSED SANITARY SEWER	--- BOTTOM OF WALL
--- EXISTING SANITARY SEWER MANHOLE	--- TOP BACK OF WALK
--- PROPOSED SANITARY SEWER MANHOLE	--- TOP OF CURB
--- EXISTING SANITARY SEWER CLEANOUT	--- BACK OF CURB
--- EXISTING STORM SEWER	--- BOC
--- PROPOSED STORM SEWER	--- TOS
--- EXISTING STORM SEWER INLET	--- TS
--- PROPOSED STORM SEWER INLET	--- BS
--- EXISTING STORM SEWER MANHOLE	--- EG
--- PROPOSED STORM SEWER MANHOLE	--- FG
--- EXISTING STORM SEWER CLEANOUT	--- LG
--- EXISTING STORM SEWER INLET	--- SWALE FLOWLINE
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--- EXISTING STORM SEWER MANHOLE	
--- PROPOSED STORM SEWER MANHOLE	

P:\156.0003 - Wildcat Ave Apartments\DWG\C3\Production Dwg\PROD-SITE WILDCAT.dwg, C-3 EXISTING CONDITIONS & DEMO PLAN, 10/11/2023 3:55:11 PM, AutoCAD PDF (General Documentation).pc3



- NOTE:
- OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF FRUITA BEFORE DOING ANY WORK ALONG WILDCAT AVENUE OR SOUTH PINE STREET.
 - OBTAIN MESA COUNTY STORMWATER PERMITS AND CDPHE CONSTRUCTION STORMWATER PERMITS BEFORE DOING ANY PHYSICAL WORK ON THE SITE.
 - CONTRACTOR SHALL HAVE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER, CITY OF FRUITA, GEOTECHNICAL CONSULTANT, UTILITY CONTRACTOR AND GENERAL CONTRACTOR BEFORE DOING ANY WORK ON THE SITE.

Know what's below. Call before you dig.

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NO.	REVISIONS DESCRIPTION	DATE	BY

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 Land Planning · Civil Engineering · Development Services
 123 North 7th Street, Suite 300 · Grand Junction, Colorado 81501
 (970) 242-7540

WILDCAT RESIDENCES
 EXISTING CONDITIONS & DEMO PLAN
 WILDCAT AVE
 prepared for
Wildcat Acquisition LLC

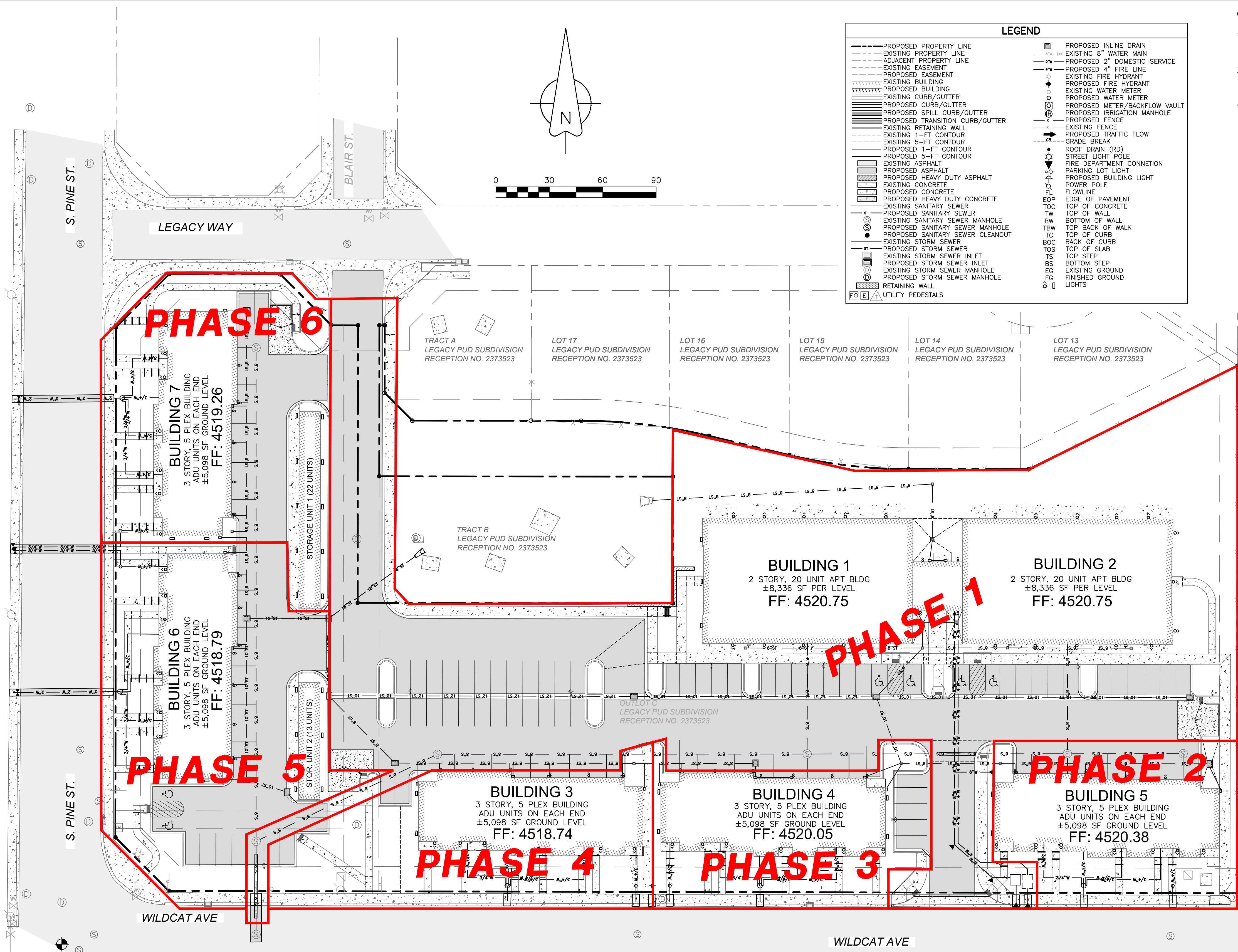
DRAWN BY:	JWC
DESIGNED BY:	JWC
CHECKED BY:	MRA
APPROVED BY:	MRA
JOB NUMBER:	1456.0003
DATE:	10-3-2023
SCALE:	1"=30'
SHEET NO.:	C-3

KEVIN LEE SWITZER
 1821 J 1/3 ROAD
 PARCEL NO. 2897-163-00-093
 RECEPTION NO. 2816357



ACCEPTANCE BLOCK
 THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONALS OF RECORD.
 CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____
 CITY PLANNER _____ DATE _____



LEGEND	
---	PROPOSED PROPERTY LINE
- - -	EXISTING PROPERTY LINE
- · - · -	ADJACENT PROPERTY LINE
- · - · -	EXISTING EASEMENT
- · - · -	PROPOSED EASEMENT
▭	PROPOSED BUILDING
▭	EXISTING CURB/GUTTER
▭	PROPOSED CURB/GUTTER
▭	PROPOSED SPILL CURB/GUTTER
▭	PROPOSED TRANSITION CURB/GUTTER
▭	EXISTING RETAINING WALL
▭	EXISTING 1-FT CONTOUR
▭	EXISTING 5-FT CONTOUR
▭	PROPOSED 1-FT CONTOUR
▭	PROPOSED 5-FT CONTOUR
▭	EXISTING ASPHALT
▭	PROPOSED ASPHALT
▭	PROPOSED HEAVY DUTY ASPHALT
▭	EXISTING CONCRETE
▭	PROPOSED CONCRETE
▭	PROPOSED HEAVY DUTY CONCRETE
▭	EXISTING SANITARY SEWER
▭	PROPOSED SANITARY SEWER
○	EXISTING SANITARY SEWER MANHOLE
○	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED SANITARY SEWER CLEANOUT
○	EXISTING STORM SEWER
○	PROPOSED STORM SEWER
○	EXISTING STORM SEWER INLET
○	PROPOSED STORM SEWER INLET
○	EXISTING STORM SEWER MANHOLE
○	PROPOSED STORM SEWER MANHOLE
▭	RETAINING WALL
▭	UTILITY PEDESTALS
—	PROPOSED INLINE DRAIN
—	EXISTING 8" WATER MAIN
—	PROPOSED 2" DOMESTIC SERVICE
—	PROPOSED 4" FIRE LINE
—	EXISTING FIRE HYDRANT
—	PROPOSED FIRE HYDRANT
—	EXISTING WATER METER
—	PROPOSED WATER METER
—	PROPOSED METER/BACKFLOW VAULT
—	PROPOSED IRRIGATION MANHOLE
—	PROPOSED FENCE
—	EXISTING FENCE
—	PROPOSED TRAFFIC FLOW
—	GRADE BREAK
—	ROOF DRAIN (RD)
—	STREET LIGHT POLE
—	FIRE DEPARTMENT CONNECTION
—	PARKING LOT LIGHT
—	PROPOSED BUILDING LIGHT
—	POWER POLE
—	FL
—	FLOWLINE
—	EOP
—	EDGE OF PAVEMENT
—	TOC
—	TOP OF CONCRETE
—	TW
—	TOP OF WALL
—	BW
—	BOTTOM OF WALL
—	TBW
—	TOP BACK OF WALK
—	TC
—	TOP OF CURB
—	BOC
—	BACK OF CURB
—	TOS
—	TOP OF SLAB
—	TS
—	TOP STEP
—	BS
—	BOTTOM STEP
—	EG
—	EXISTING GROUND
—	FG
—	FINISHED GROUND
—	LIGHTS

- GENERAL NOTES:
1. ALL PARKING SPACES ARE 9-FT WIDE X 18.5-FT LONG UNLESS OTHERWISE NOTED.
 2. ALL ADA PARKING SPACES SHALL BE SIGNED AND STRIPED PER DETAIL ___ ON DRAWING C-02.
 3. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH THE CITY OF FRUITA PRIOR TO ANY WORK ON THE SITE & TO ALSO MAKE SURE AND OBTAIN ALL CONSTRUCTION STORMWATER PERMITS & BMPS.

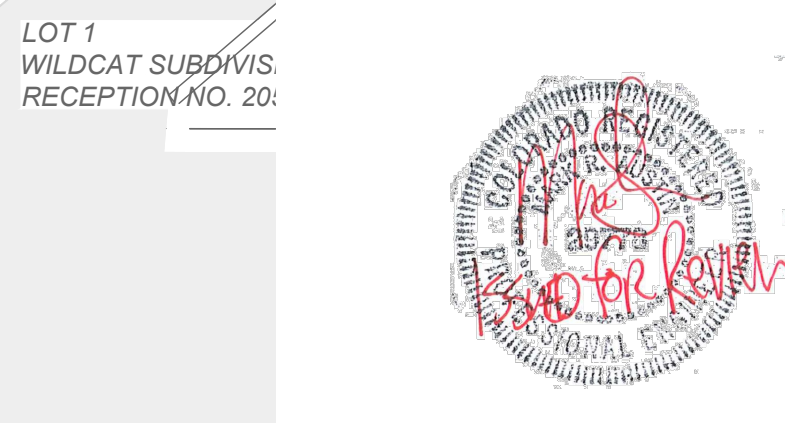
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Land Planning · Civil Engineering · Development Services
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(970) 242-7540

KEVIN LEE SWITZER
1821 J 1/3 ROAD
PARCEL NO. 2697-163-00-093
RECEPTION NO. 2816357



UTILITIES AND AGENCIES		
CITY OF FRUITA SANITARY SEWER	SAM ATKINS	858-6377
LIVE WATER	JIM DALCHERRY	242-7401
CITY OF FRUITA IRRIGATION	SAM ATKINS	858-6377
CITY OF FRUITA STORM SEWER	SAM ATKINS	858-6377
JOEL ENERGY - GAS & ELECTRIC	MAKE CASTRO	293-6504
CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JOHN WILDEZ	243-8750
MESA COUNTY STORMWATER	JOSH MARTINEZ	883-4206

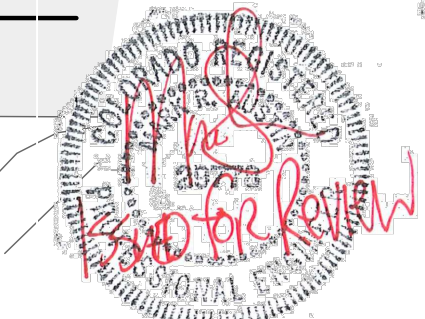
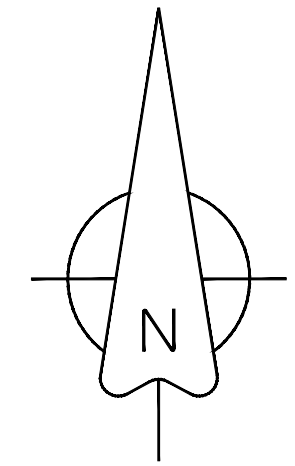
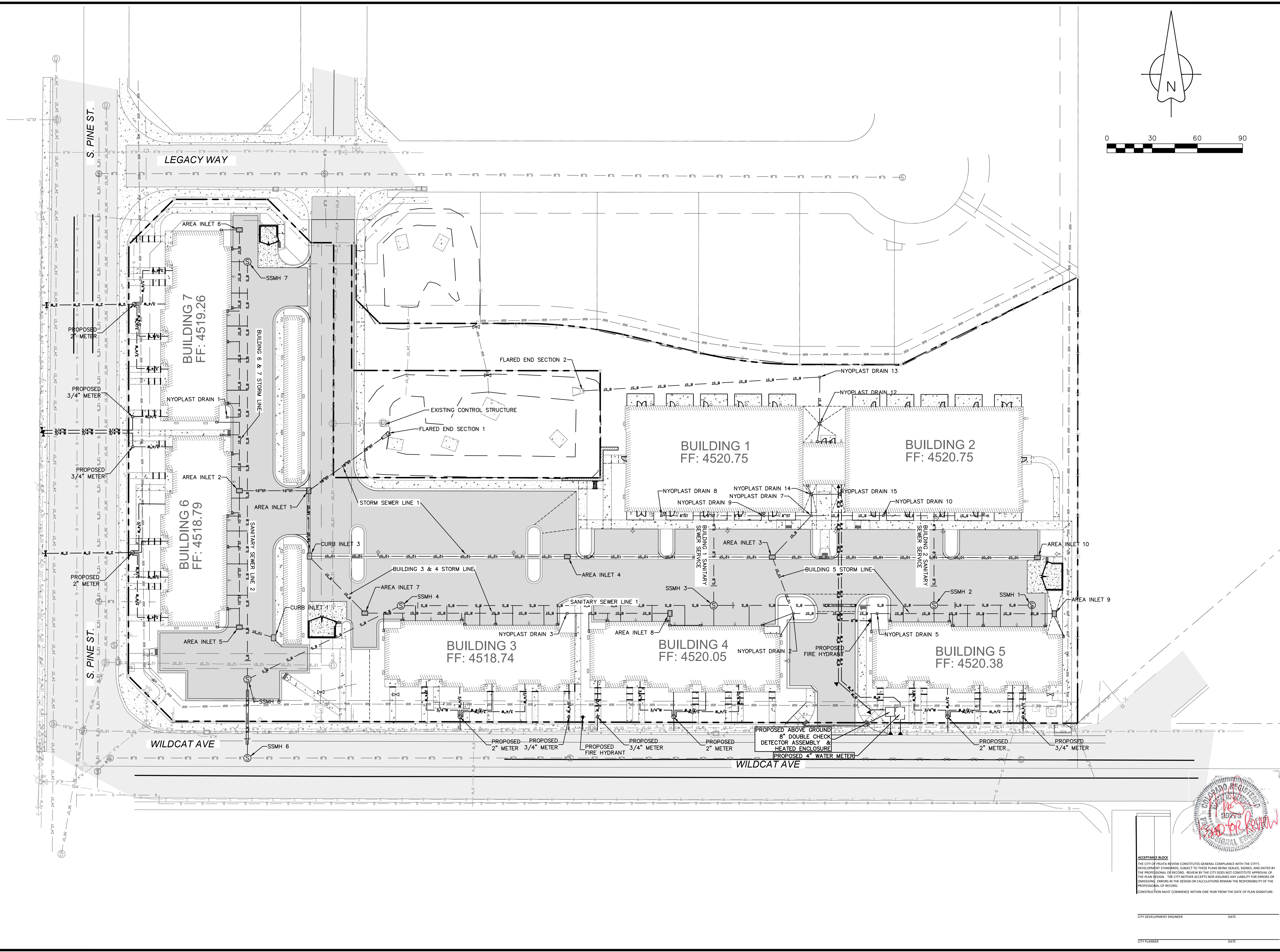
WILDCAT RESIDENCES
PHASING PLAN
WILDCAT AVE
prepared for
Wildcat Acquisition LLC

DRAWN BY:	JWC
DESIGNED BY:	JWC
CHECKED BY:	MRA
APPROVED BY:	MRA
JOB NUMBER:	1456.0003
DATE:	10-3-2023
SCALE:	1"=30'
SHEET NO.:	C-5

ACCEPTANCE BLOCK
THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SCALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSURES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER DATE

CITY PLANNER DATE



<p>WILDCAT RESIDENCES description UTILITY COMPOSITE SHEET - OVERALL WILDCAT AVE prepared for Wildcat Acquisition LLC</p>		<p>A · C · G AUSTIN CIVIL GROUP, INC. Land Planning · Civil Engineering · Development Services 123 North 7th Street, Suite 300 · Grand Junction, Colorado 81501 (970) 242-7540</p>	
DRAWN BY: JWC	DESIGNED BY: JWC	CHECKED BY: MRA	APPROVED BY: MRA
JOB NUMBER: 1456.0003		DATE: 10-3-2023	
SCALE: 1" = 30'		SHEET NO: C-6	
CITY DEVELOPMENT ENGINEER: _____ DATE: _____		CITY PLANNER: _____ DATE: _____	
REVISIONS NO. DESCRIPTION		BY DATE	

Know what's below.
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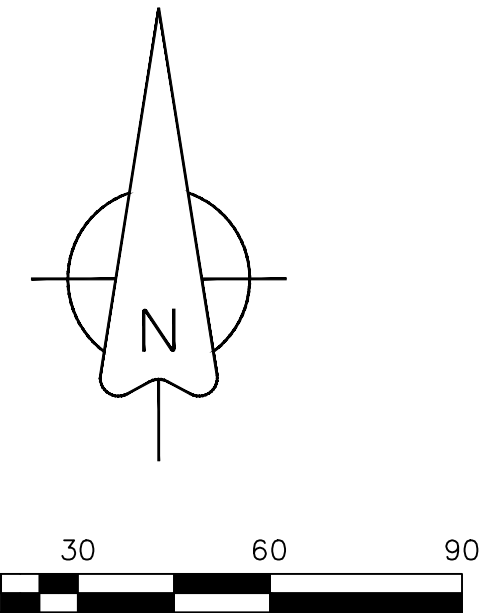
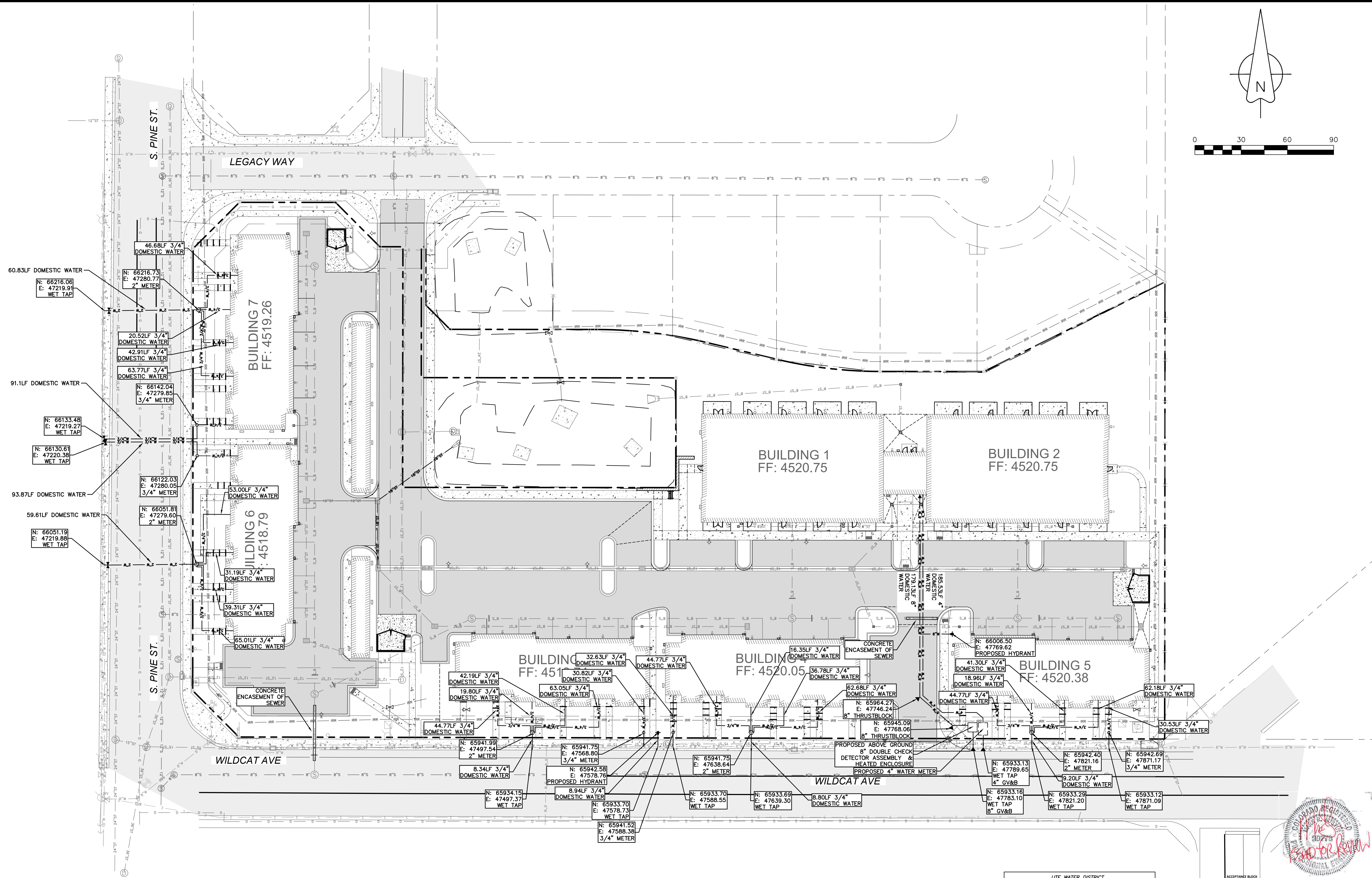
811

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ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION ACCEPTS GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

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 (970) 242-7540

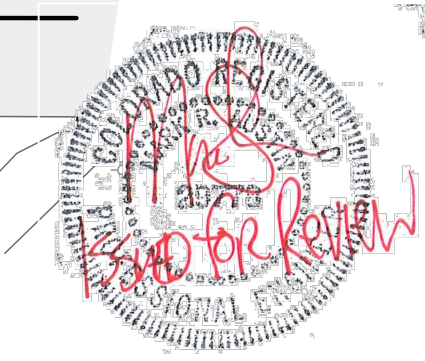
WILDCAT RESIDENCES
 description
UTILITY COMPOSITE SHEET - WATER
 prepared for
Wildcat Acquisition LLC

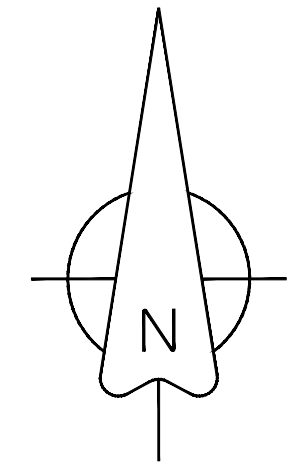
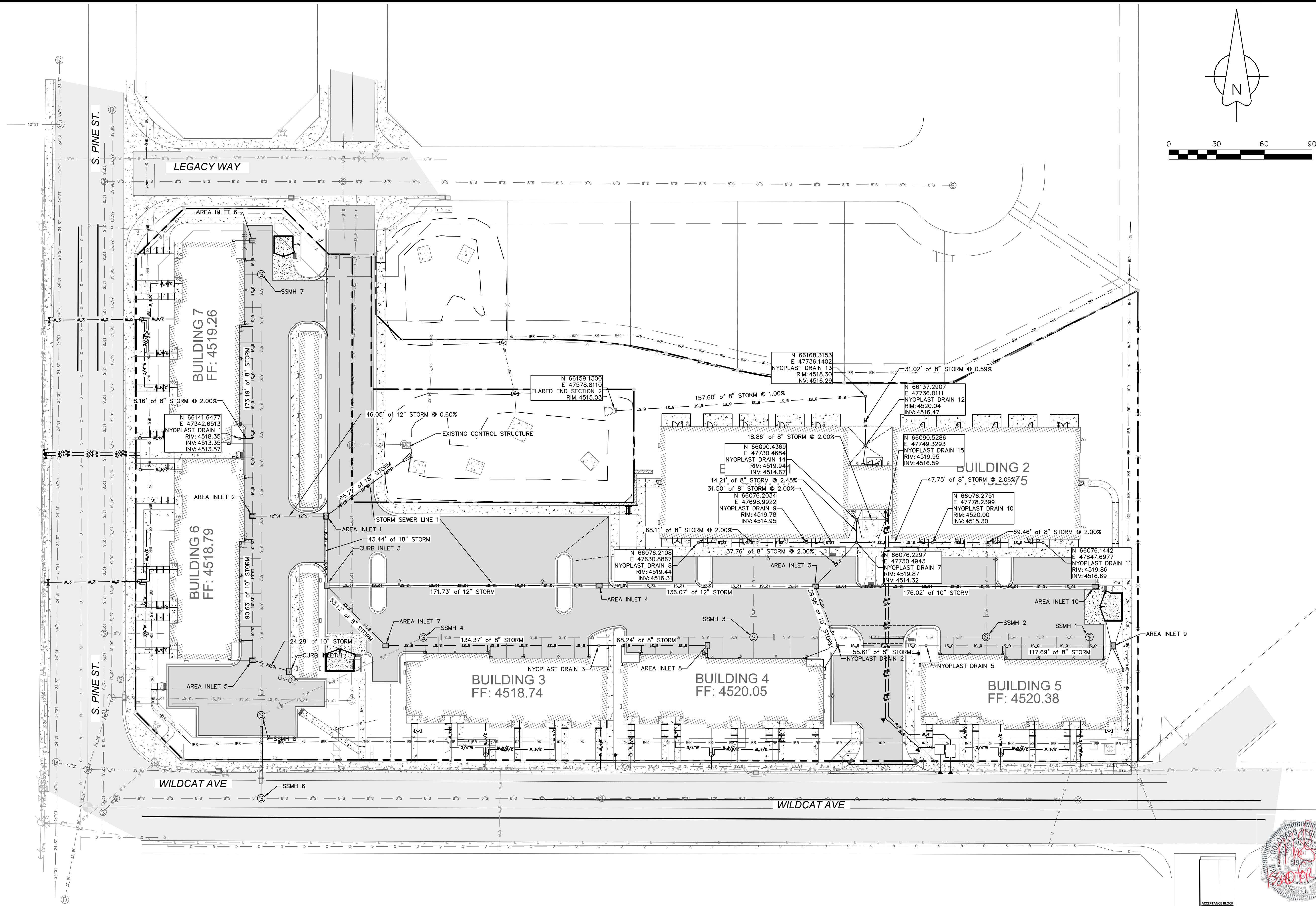
DRAWN BY:	JWC
DESIGNED BY:	JWC
CHECKED BY:	MRA
APPROVED BY:	MRA
JOB NUMBER:	1456.0003
DATE:	10-3-2023
SCALE:	1"=30'
SHEET NO.:	C-7

UTE WATER DISTRICT
 APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
 BY: _____ DATE: _____
 ACCEPTED AS CONSTRUCTED
 BY: _____ DATE: _____

ACCEPTANCE BLOCK
 THE CITY OF HULTA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
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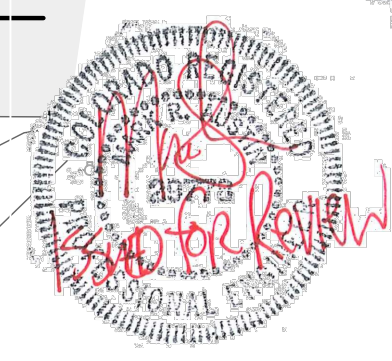
CITY DEVELOPMENT ENGINEER DATE: _____
 CITY PLANNER DATE: _____





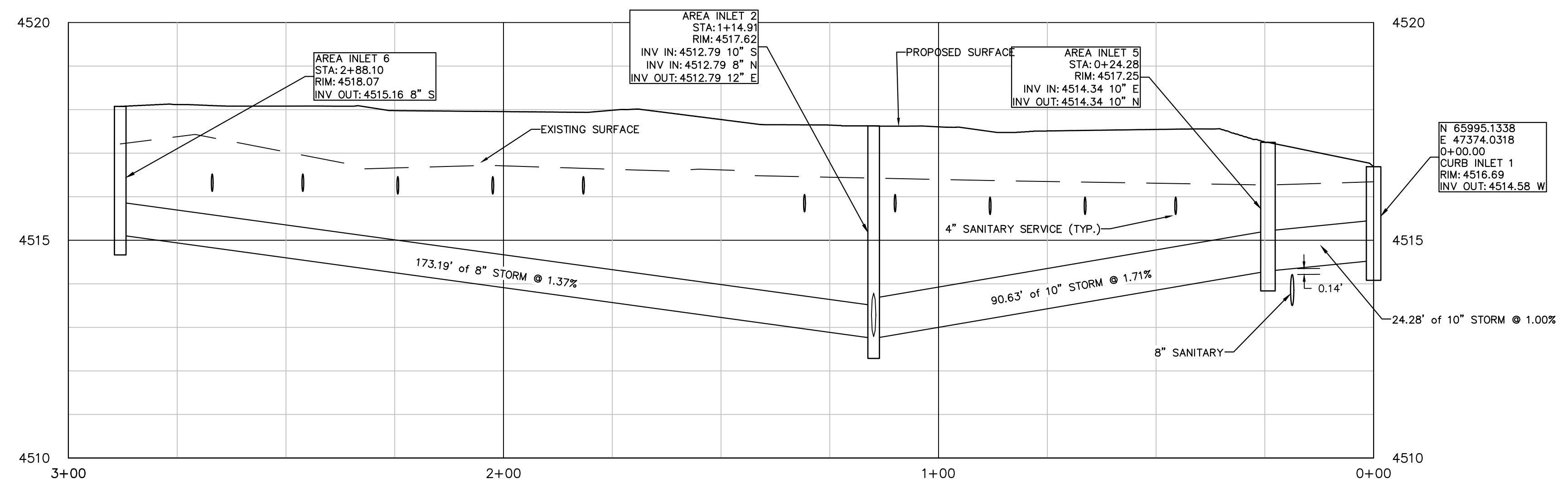
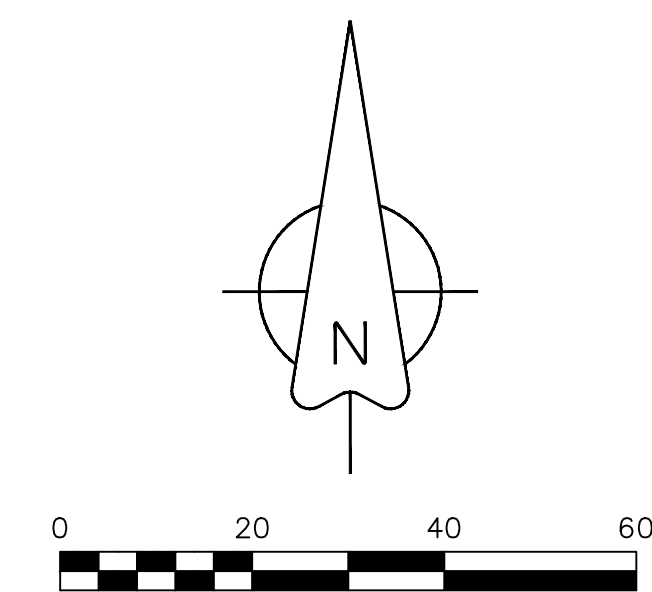
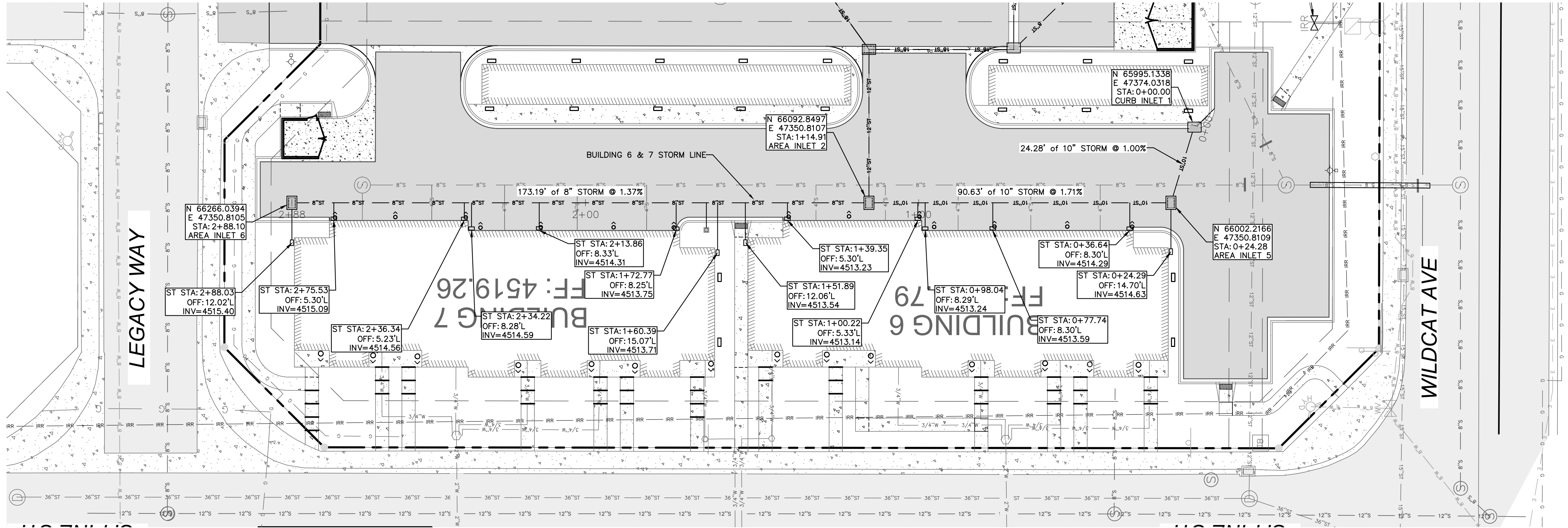
ACCEPTANCE BLOCK
 THE CITY OF FORTA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
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CITY DEVELOPMENT ENGINEER DATE
 CITY PLANNER DATE

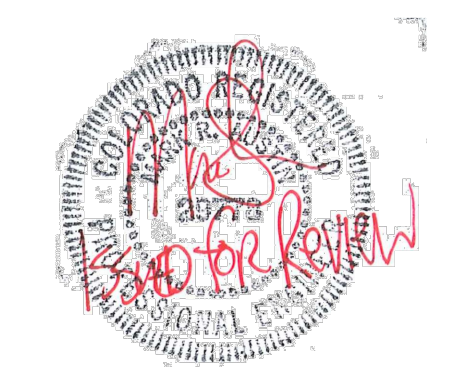


<p>WILDCAT RESIDENCES UTILITY COMPOSITE SHEET - STORM WILDCAT AVE prepared for Wildcat Acquisition LLC</p>		<p>A · C · G AUSTIN CIVIL GROUP, INC. Land Planning · Civil Engineering · Development Services 123 North 7th Street, Suite 300 · Grand Junction, Colorado 81501 (970) 242-7540</p>
<p>DRAWN BY: JWC DESIGNED BY: JWC CHECKED BY: MRA APPROVED BY: MRA</p>	<p>NO. _____ DATE _____ REVISIONS DESCRIPTION</p>	<p>Know what's below. Call before you dig. SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY</p>
<p>JOB NUMBER: 1456.0003</p>	<p>DATE: 10-3-2023</p>	<p>SCALE: 1" = 30'</p>
<p>SHEET NO: C-8</p>		

P:\456.003 - Wildcat Ave Apartments\Dwg\C3d\Production Dwg\PROD-UTILITIES.dwg, C-11 BUILDING 6 & 7 STORM LINE, 10/11/2023 3:55:34 PM, AutoCAD PDF (General Documentation).pc3



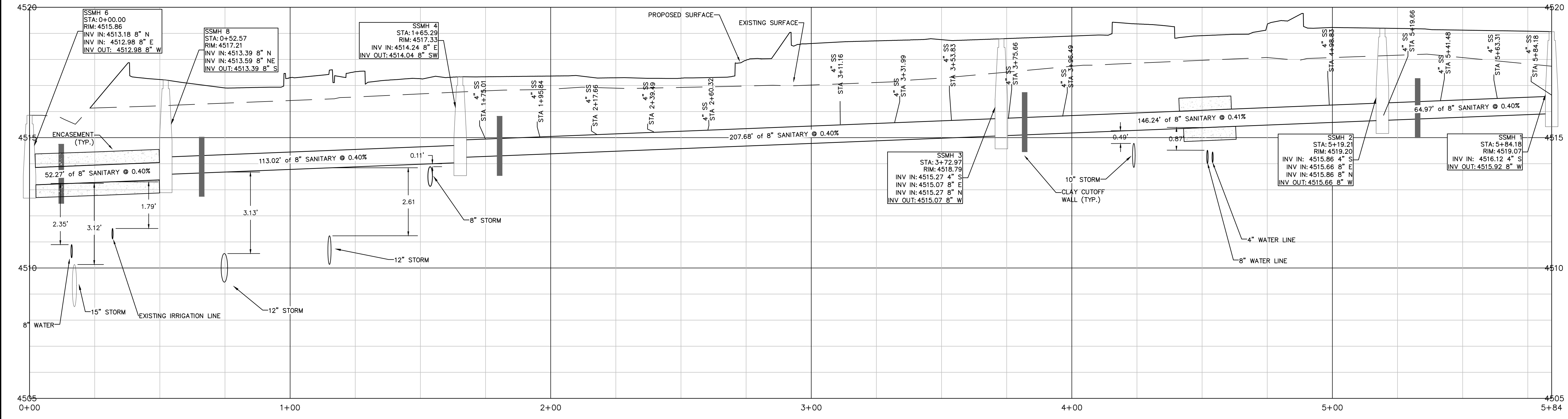
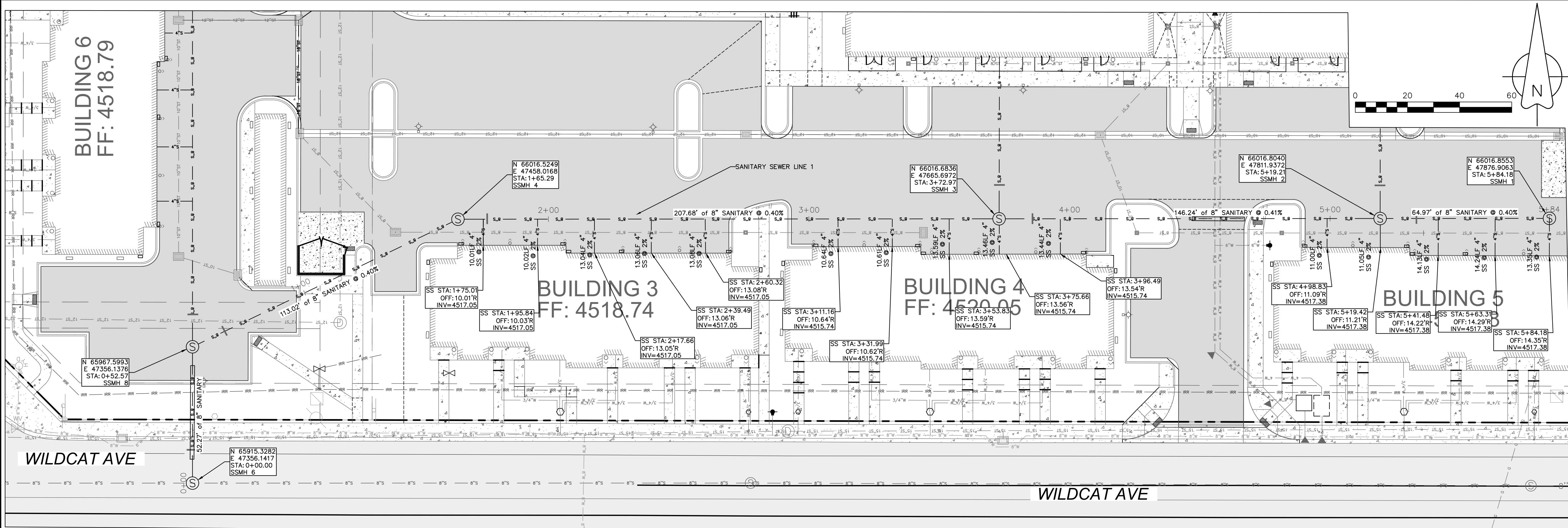
Bldg 6 & 7 - 8in Roof Drain Pickup
HORIZONTAL: 1"=20', VERTICAL: 1"=2'



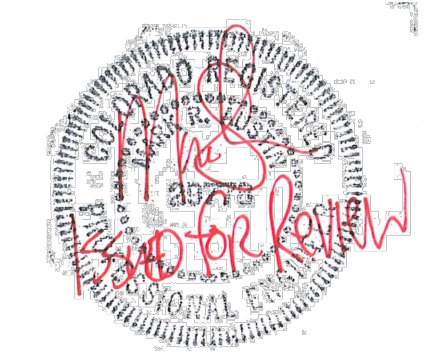
ACCEPTANCE BLOCK
THE CITY OF DENVER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
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CITY DEVELOPMENT ENGINEER _____ DATE _____
CITY PLANNER _____ DATE _____

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SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY		REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>		NO.	DESCRIPTION	DATE	BY																
NO.	DESCRIPTION	DATE	BY																				
A · C · G AUSTIN CIVIL GROUP, INC. Land Planning • Civil Engineering • Development Services 123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501 (970) 242-7540																							
WILDCAT RESIDENCES description BUILDING 6 & 7 STORM LINE WILDCAT AVE prepared for Wildcat Acquisition LLC		DRAWN BY: DESIGNED BY: CHECKED BY: APPROVED BY:																					
JOB NUMBER: 1456.0003		DATE: 10-3-2023																					
SCALE: 1"=20'		SHEET NO: C-11																					



Sanitary Main Line 1
HORIZONTAL: 1"=20', VERTICAL: 1"=2'



ACCEPTANCE BLOCK
 THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
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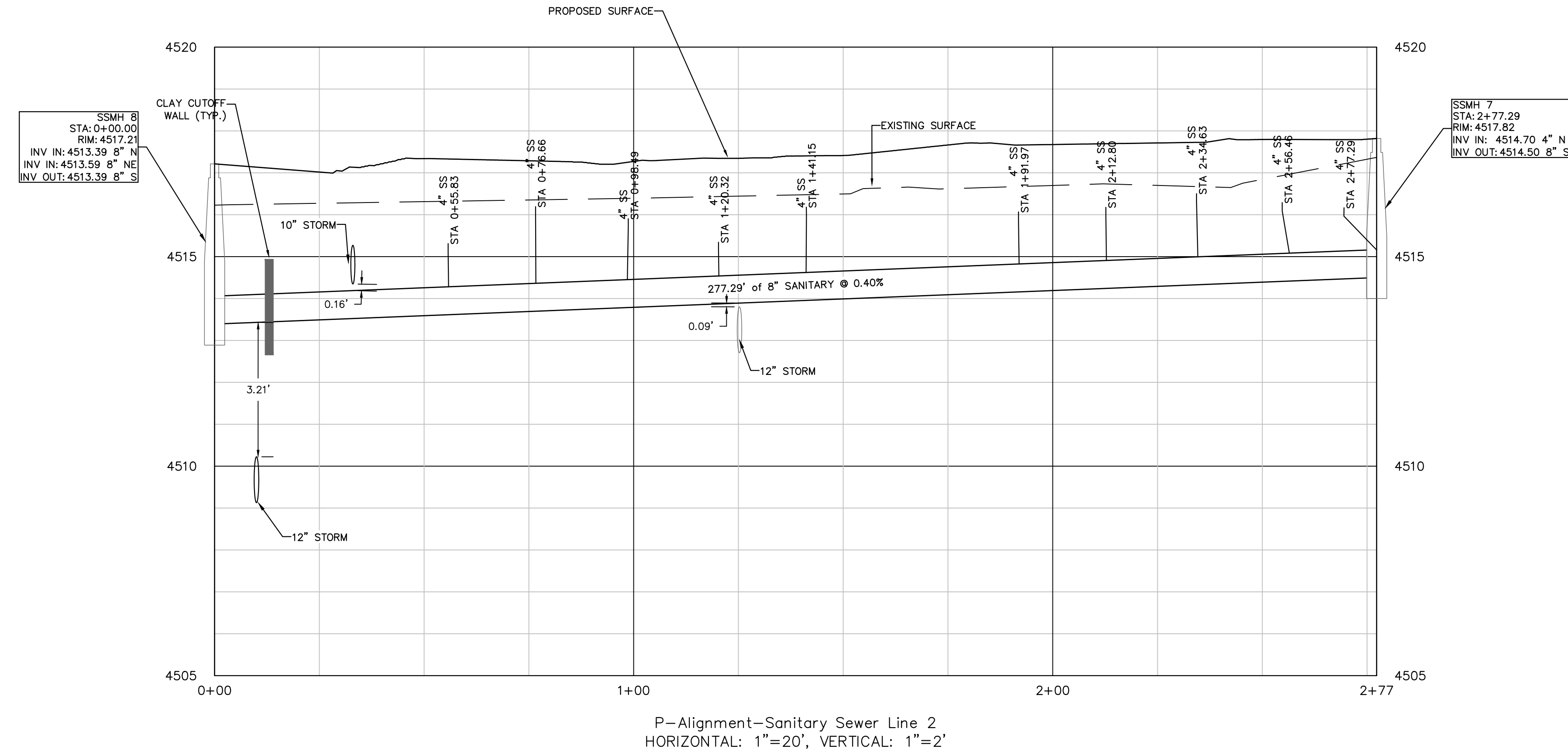
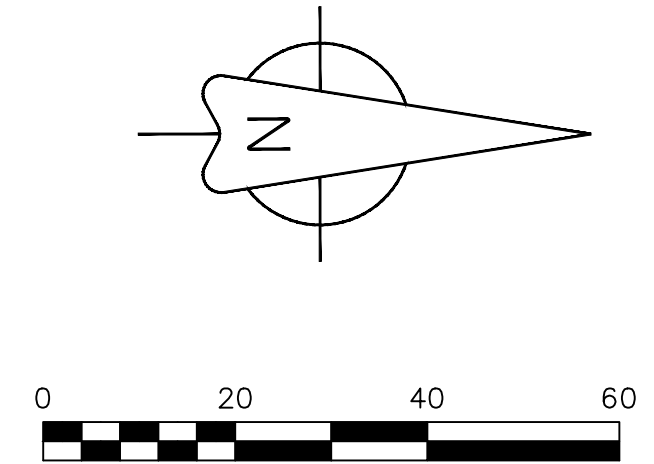
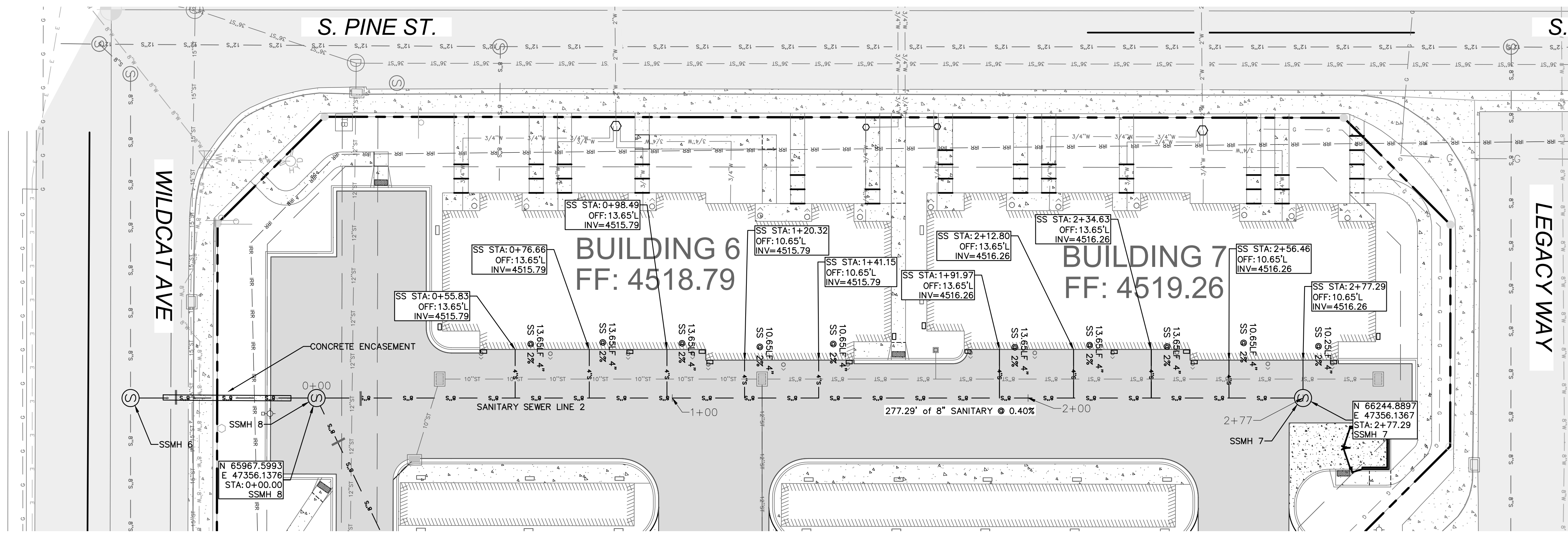
A C G

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Land Planning • Civil Engineering • Development Services
 123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501
 (970) 242-7540

WILDCAT RESIDENCES	WILDCAT AVE
SANITARY SEWER LINE 1	prepared for
ENCASUREMENT (TYP.)	Wildcat Acquisition LLC

DRAWN BY: JWC	DESIGNED BY: JWC	CHECKED BY: MRA	APPROVED BY: MRA
JOB NUMBER: 1456.0003			
DATE: 10-3-2023			
SCALE: 1"=20'			
SHEET NO: C-12			



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Land Planning · Civil Engineering · Development Services
123 North 7th Street, Suite 300 · Grand Junction, Colorado 81501
(970) 242-7540

WILDCAT RESIDENCES
SANITARY SEWER LINE 2
WILDCAT AVE
prepared for
Wildcat Acquisition LLC

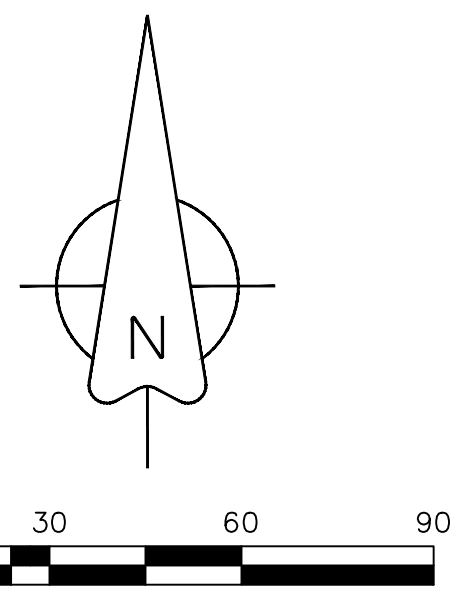
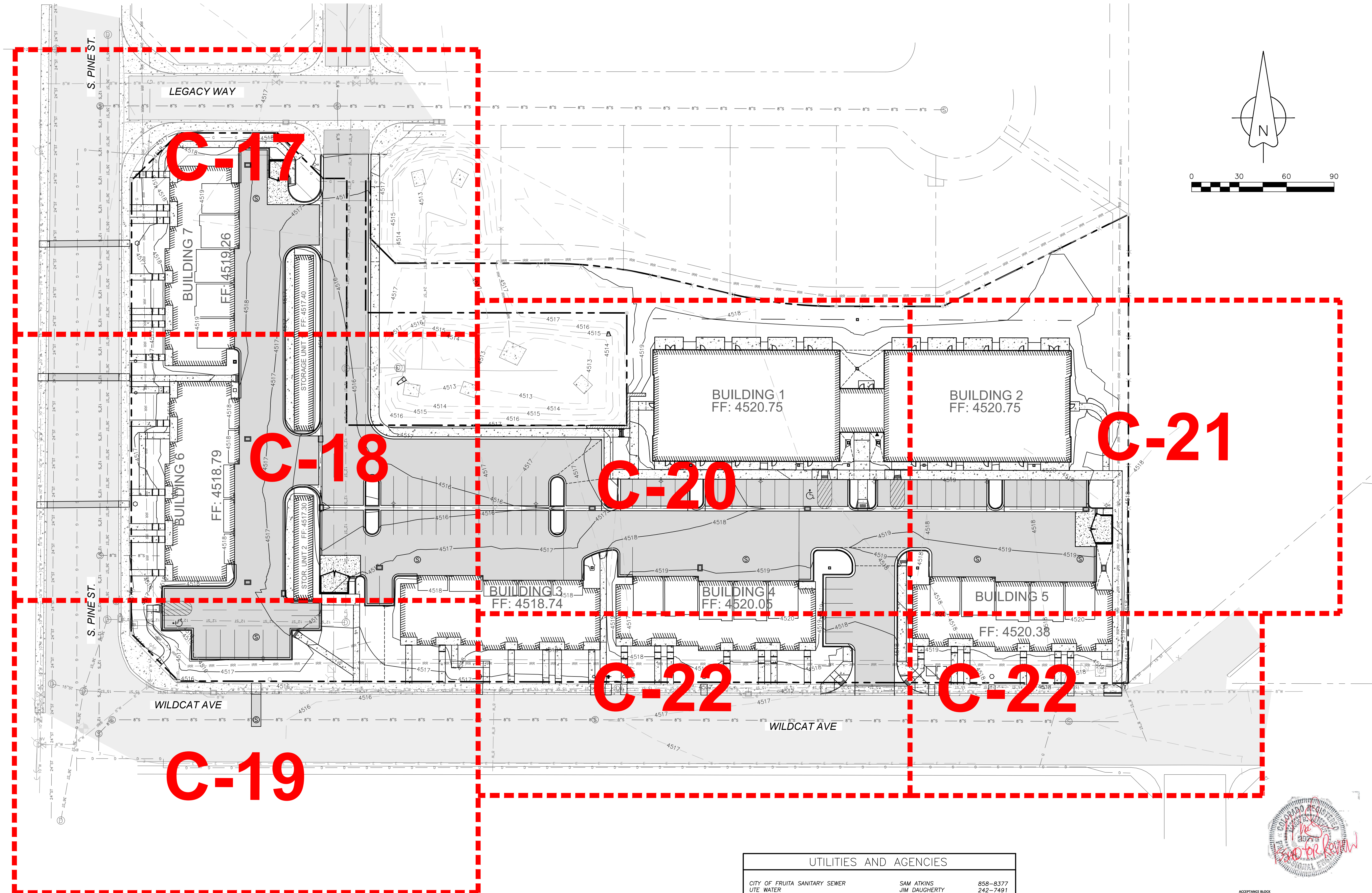
DRAWN BY:	JWC
DESIGNED BY:	JWC
CHECKED BY:	MRA
APPROVED BY:	MRA

JOB NUMBER: 1456.0003
DATE: 10-3-2023
SCALE: 1"=20'
SHEET NO: C-13

ACCEPTANCE BLOCK
THE CITY OF FLUVA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
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CITY DEVELOPMENT ENGINEER DATE
CITY PLANNER DATE

P:\1456.0003 - Wildcat Ave Apartments\Dwg\C3d\Production Dwg\PROD-UTILITIES.dwg, C-13 SANITARY SEWER LINE 2, 10/11/2023 3:55:39 PM, AutoCAD PDF (General Documentation).pc3



UTILITIES AND AGENCIES		
CITY OF FRUITA SANITARY SEWER	SAM ATKINS	858-8377
UTE WATER	JIM DAUGHERTY	242-7491
CITY OF FRUITA IRRIGATION	SAM ATKINS	858-8377
CITY OF FRUITA STORM SEWER	SAM ATKINS	858-8377
XCEL ENERGY - GAS & ELECTRIC	MIKE CASTRO	260-6804
CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JOHN VALDEZ	245-8750
MESA COUNTY STORMWATER	JOSH MARTINEZ	683-4206

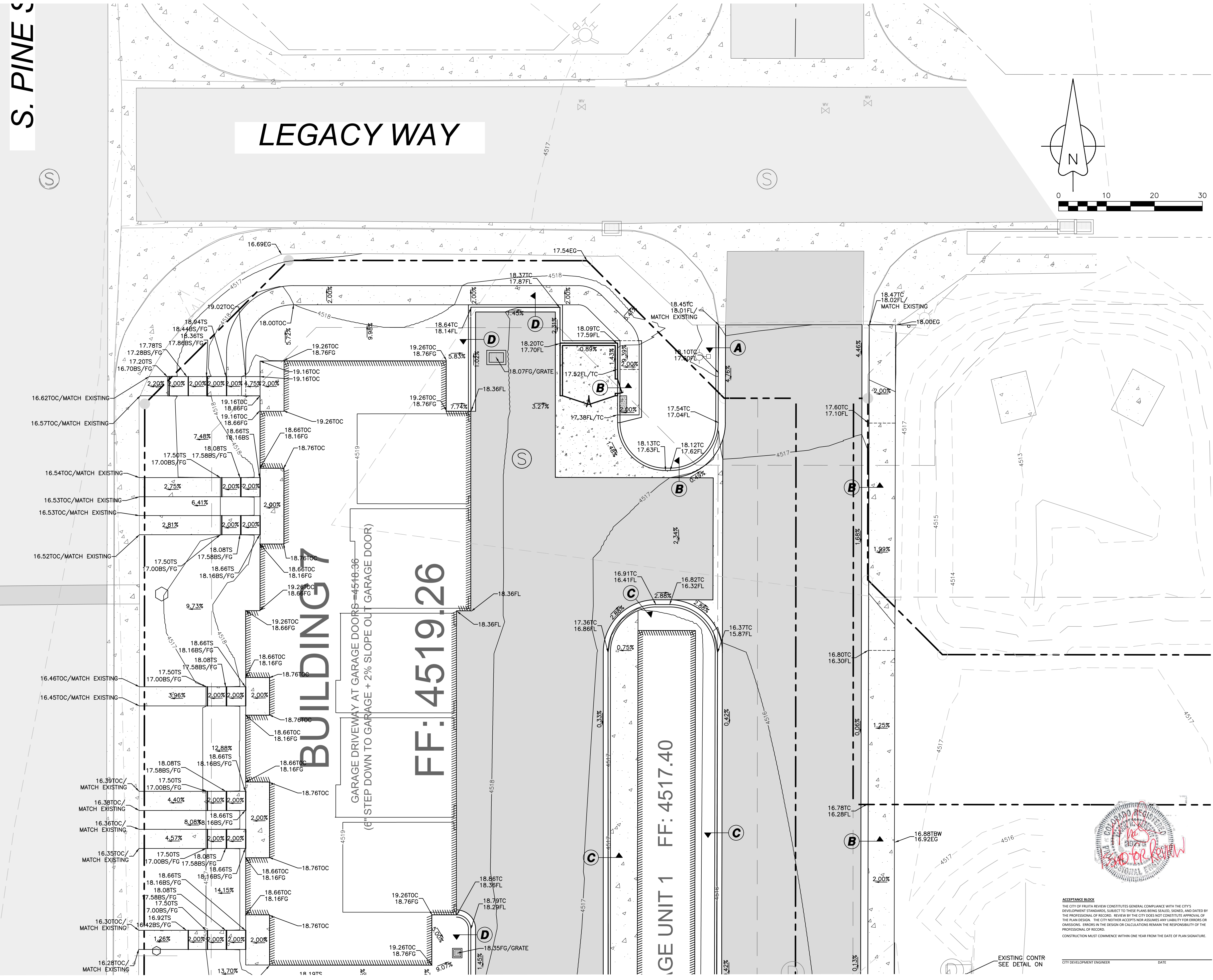


ACCEPTANCE BLOCK
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WILDCAT RESIDENCES GRADING INDEX SHEET WILDCAT AVE prepared for Wildcat Acquisition LLC		DRAWN BY: JWC DESIGNED BY: JWC CHECKED BY: MRA APPROVED BY: MRA	
JOB NUMBER: 1456.0003		DATE: 10-3-2023	
SCALE: 1" = 30'		SHEET NO: C-15	

P:\156.0003 - Wildcat Ave Apartments\DWG\C3d\Production Dwg\PROD-GRADING.dwg, C-17 GRADING PLAN - SHT. 1, 10/11/2023 3:56:09 PM, AutoCAD PDF (General Documentation).pc3



S. PINE S

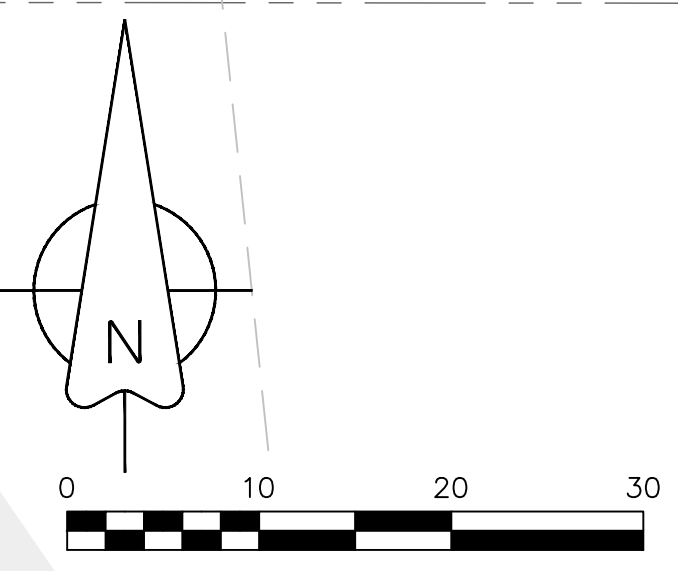
LEGACY WAY

BUILDING 7

GARAGE DRIVEWAY AT GARAGE DOORS - 4518-36
(6" STEP DOWN TO GARAGE + 2% SLOPE OUT GARAGE DOOR)

FF: 4519.26

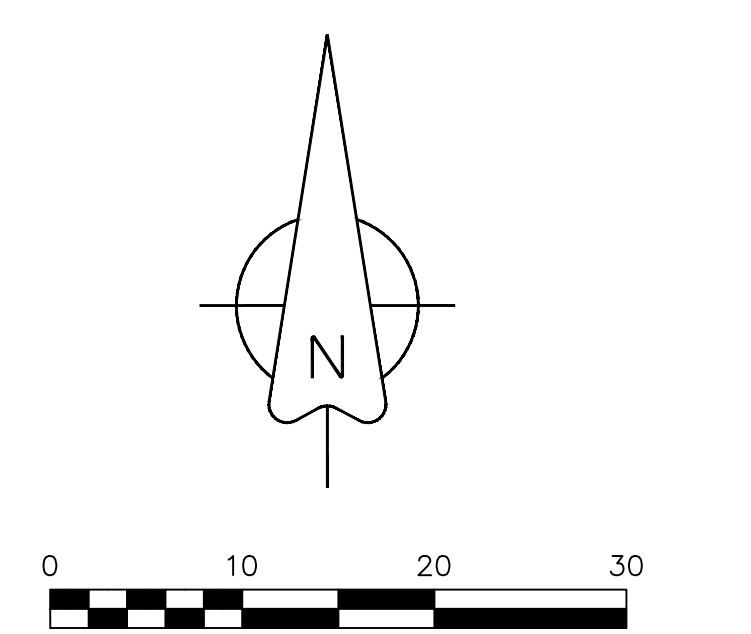
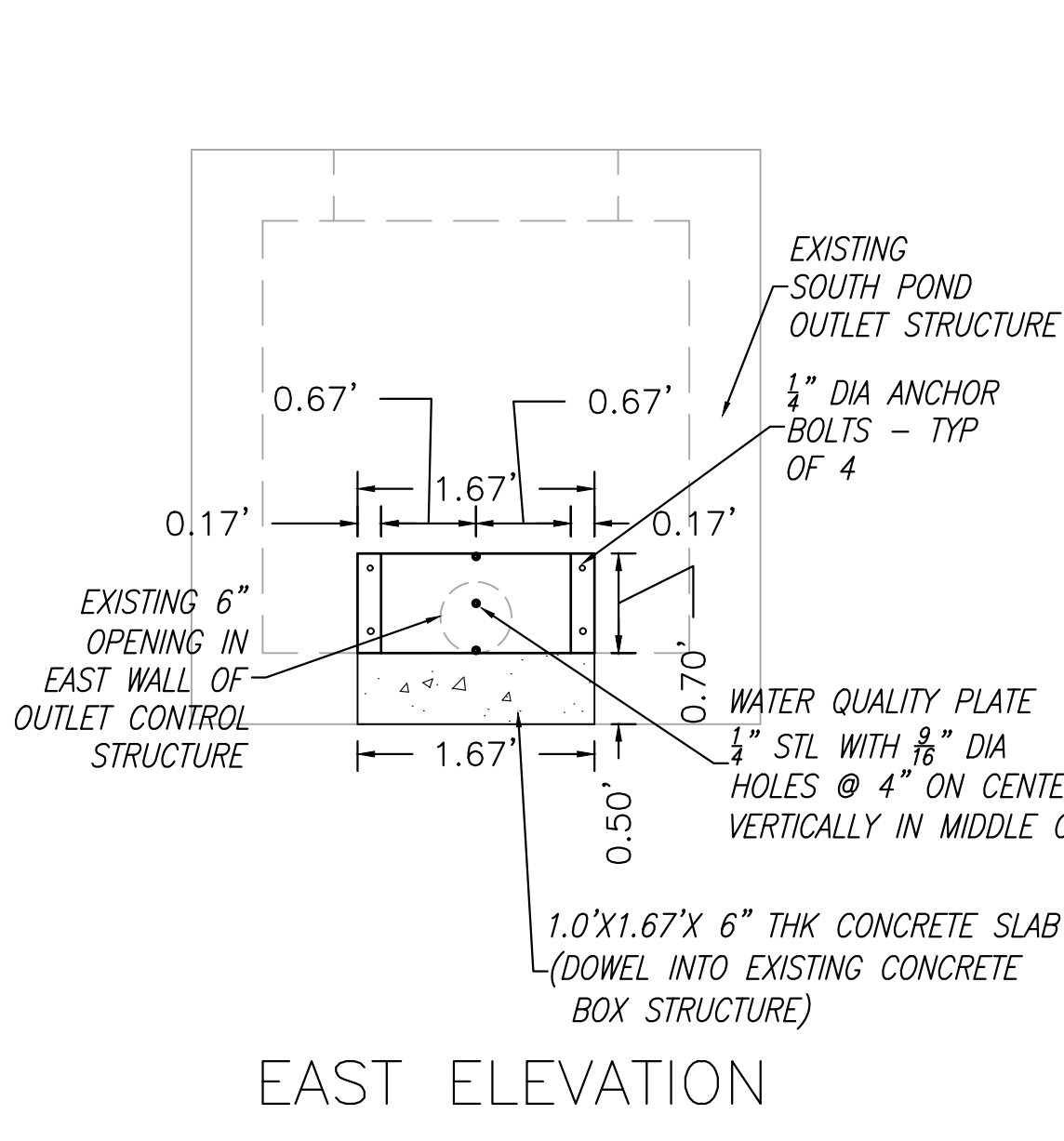
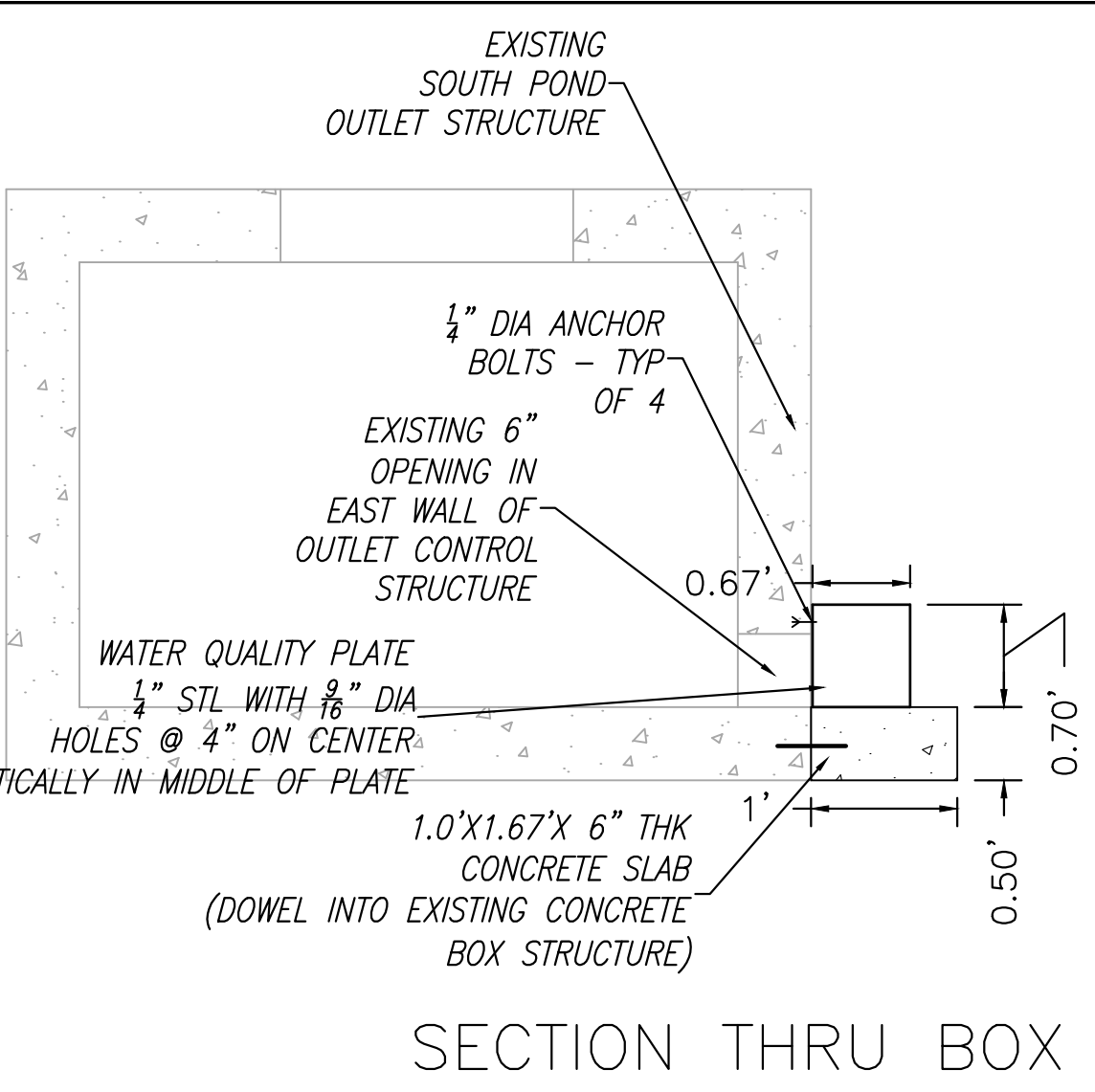
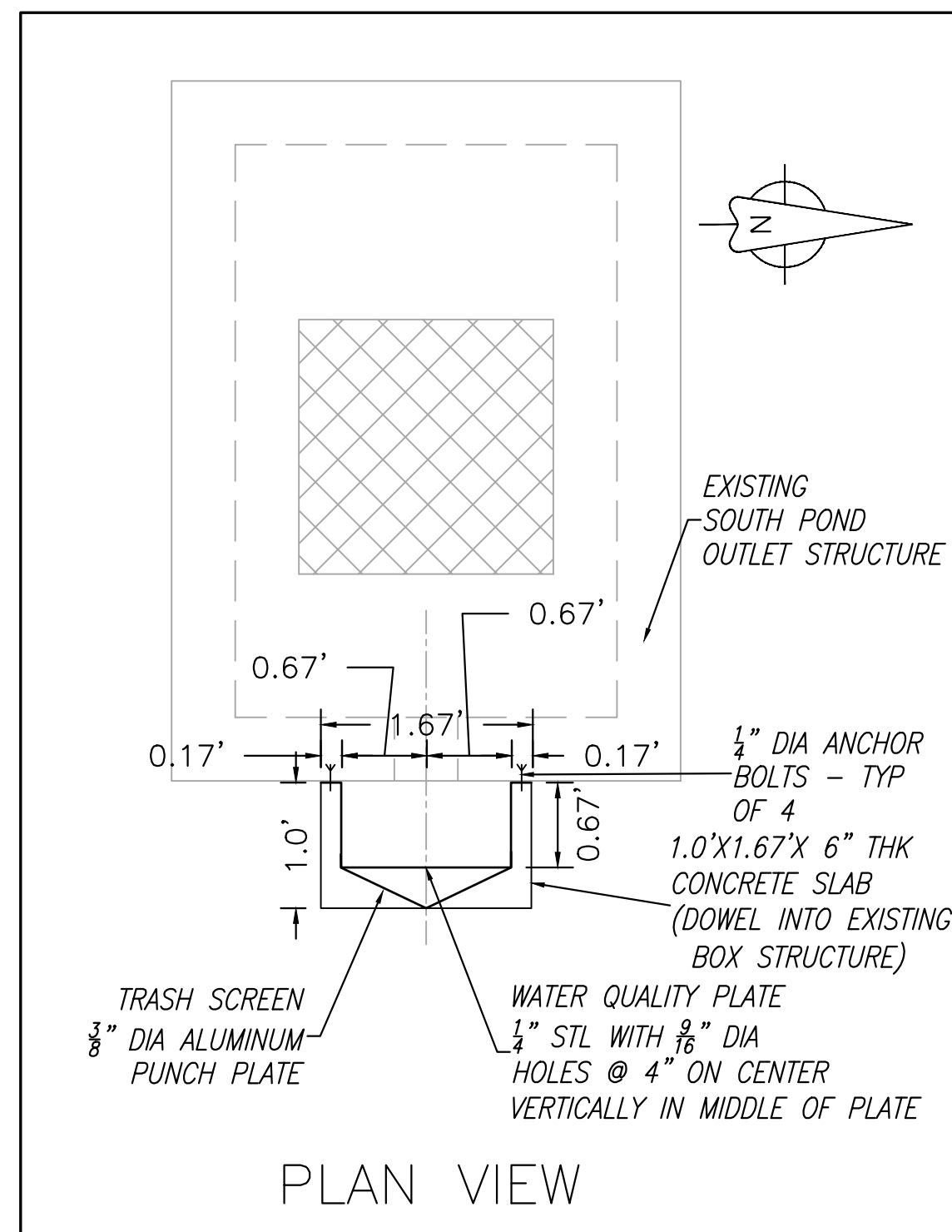
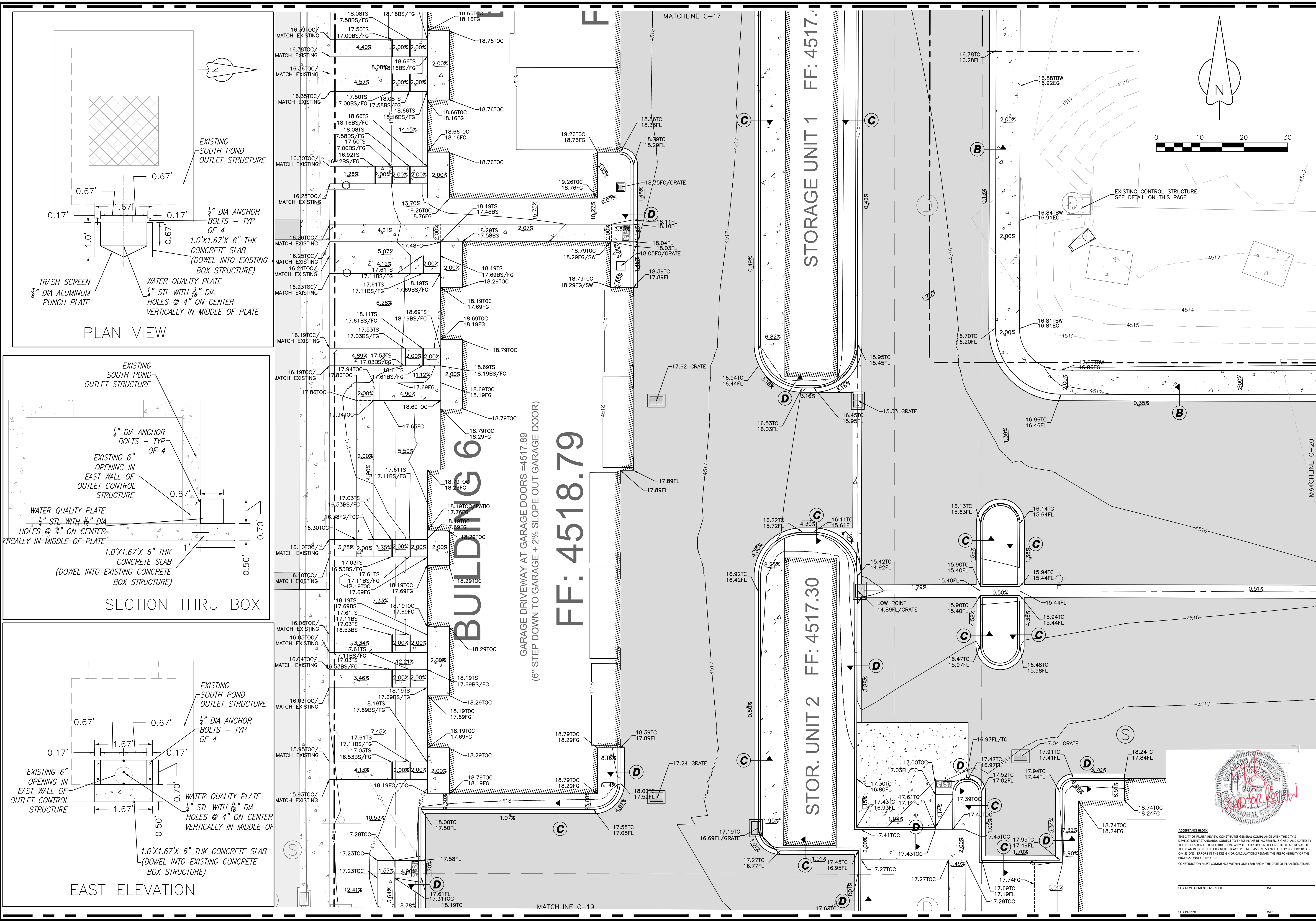
GE UNIT 1 FF: 4517.40



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<p>A · C · G AUSTIN CIVIL GROUP, INC. Land Planning · Civil Engineering · Development Services 123 North 7th Street, Suite 300 · Grand Junction, Colorado 81501 (970) 242-7540</p>	
<p>WILDCAT RESIDENCES description GRADING PLAN - SHT. 1 prepared for WILDCAT AVE Wildcat Acquisition LLC</p>	
DRAWN BY:	JWC
DESIGNED BY:	JWC
CHECKED BY:	MRA
APPROVED BY:	MRA
JOB NUMBER:	1456.0003
DATE:	10-3-2023
SCALE:	1"=10'
SHEET NO.:	C-17

MATCHLINE C-18

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WILDCAT RESIDENCES
description
GRADING PLAN - SHT. 2
prepared for
WILDCAT AVE
Wildcat Acquisition LLC

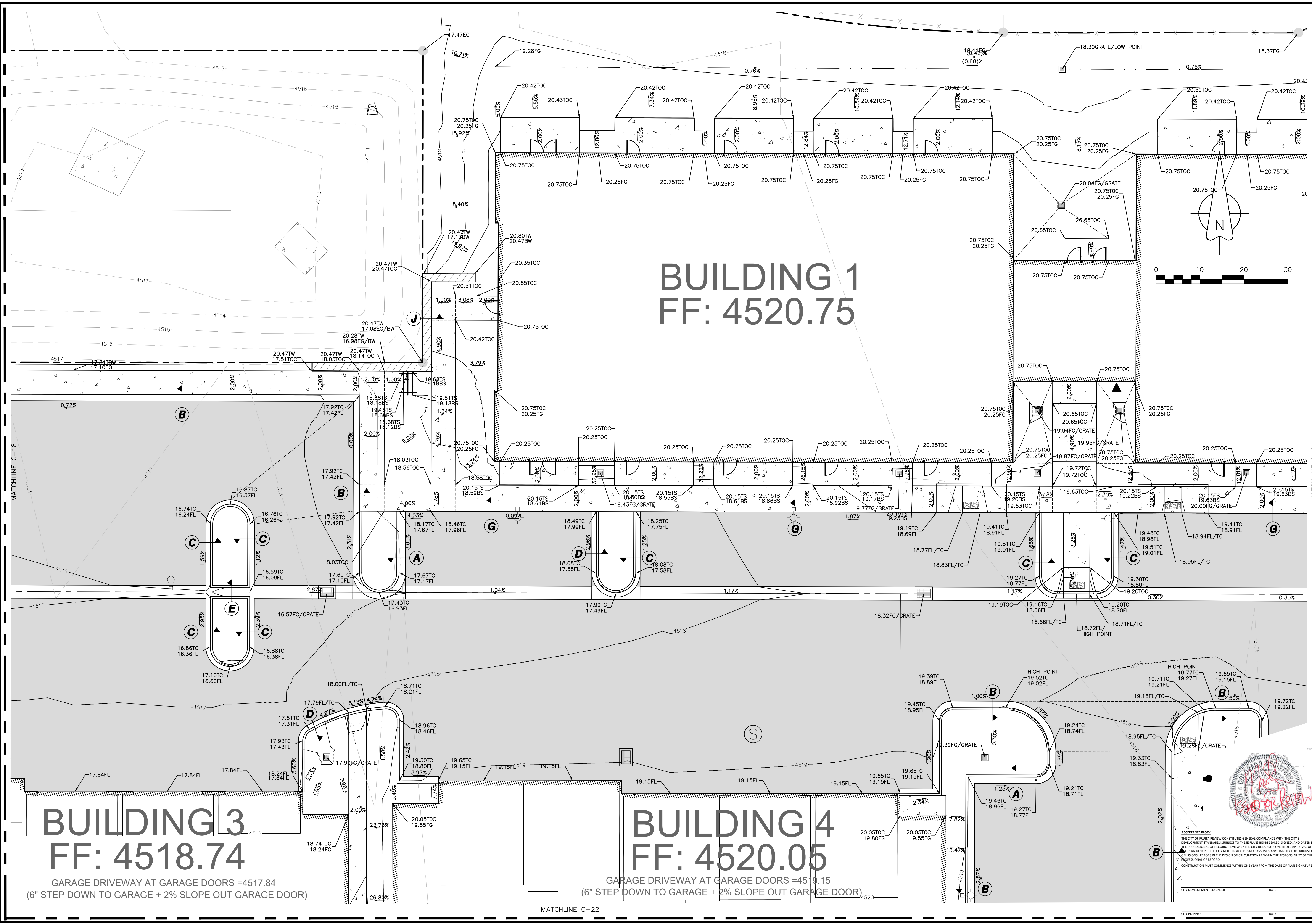
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CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER DATE
CITY PLANNER DATE

DRAWN BY: JWC
DESIGNED BY: JWC
CHECKED BY: MRA
APPROVED BY: MRA

JOB NUMBER: 1456.0003
DATE: 10-3-2023
SCALE: 1"=10'
SHEET NO: C-18





811

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WILDCAT RESIDENCES	WILDCAT AVE
GRADING PLAN - SHT. 4	prepared for Wildcat Acquisition LLC

DRAWN BY: JWC	DESIGNED BY: JWC	CHECKED BY: MRA
DATE: 10-3-2023	APPROVED BY: MRA	JOB NUMBER: 1456.0003
SCALE: 1" = 10'	SHEET NO: C-20	DATE: 10-3-2023

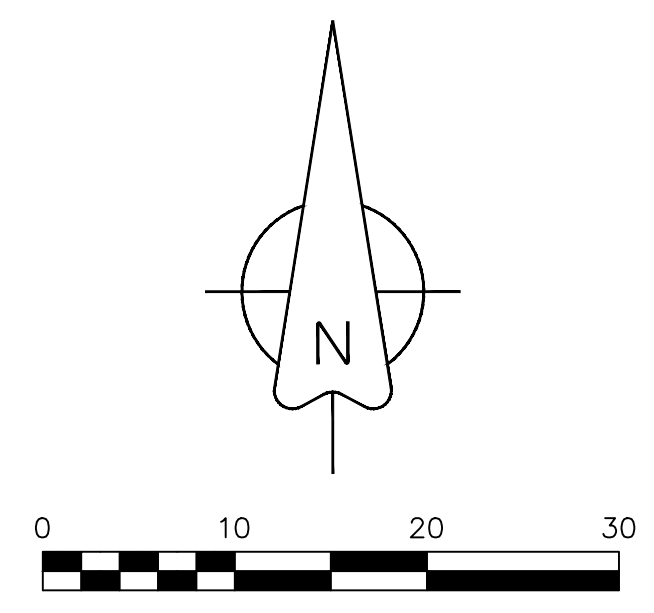
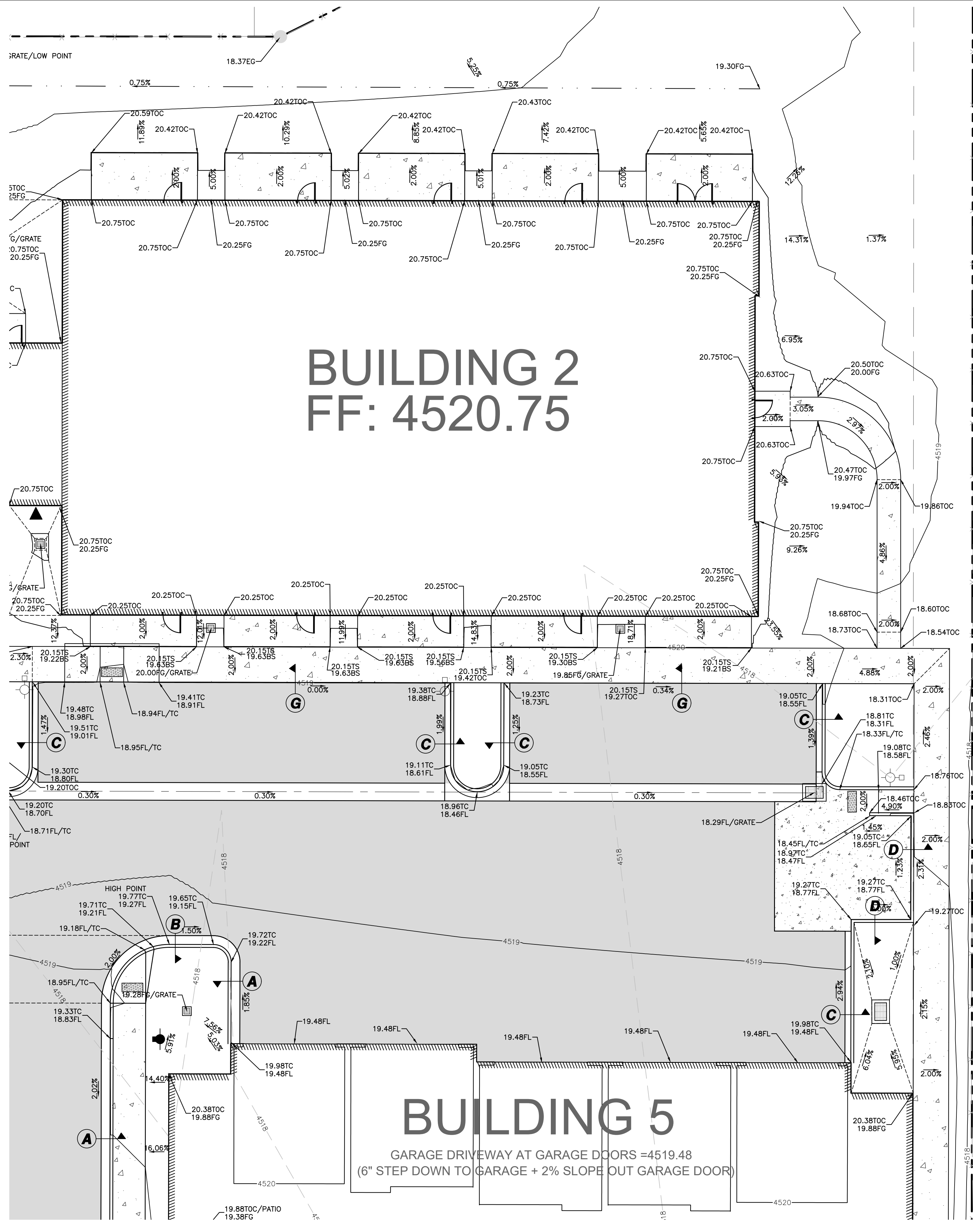
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CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER DATE: _____

CITY FINANCER DATE: _____



UTILITIES AND AGENCIES		
CITY OF FRUITA SANITARY SEWER	SAM ATKINS	858-8377
UTE WATER	JIM DAUGHERTY	242-7491
CITY OF FRUITA IRRIGATION	SAM ATKINS	858-8377
CITY OF FRUITA STORM SEWER	SAM ATKINS	858-8377
XCEL ENERGY - GAS & ELECTRIC	MIKE CASTRO	260-6804
CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JOHN VALDEZ	245-8750
MESA COUNTY STORMWATER	JOSH MARTINEZ	683-4206



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 CITY PLANNER _____ DATE _____

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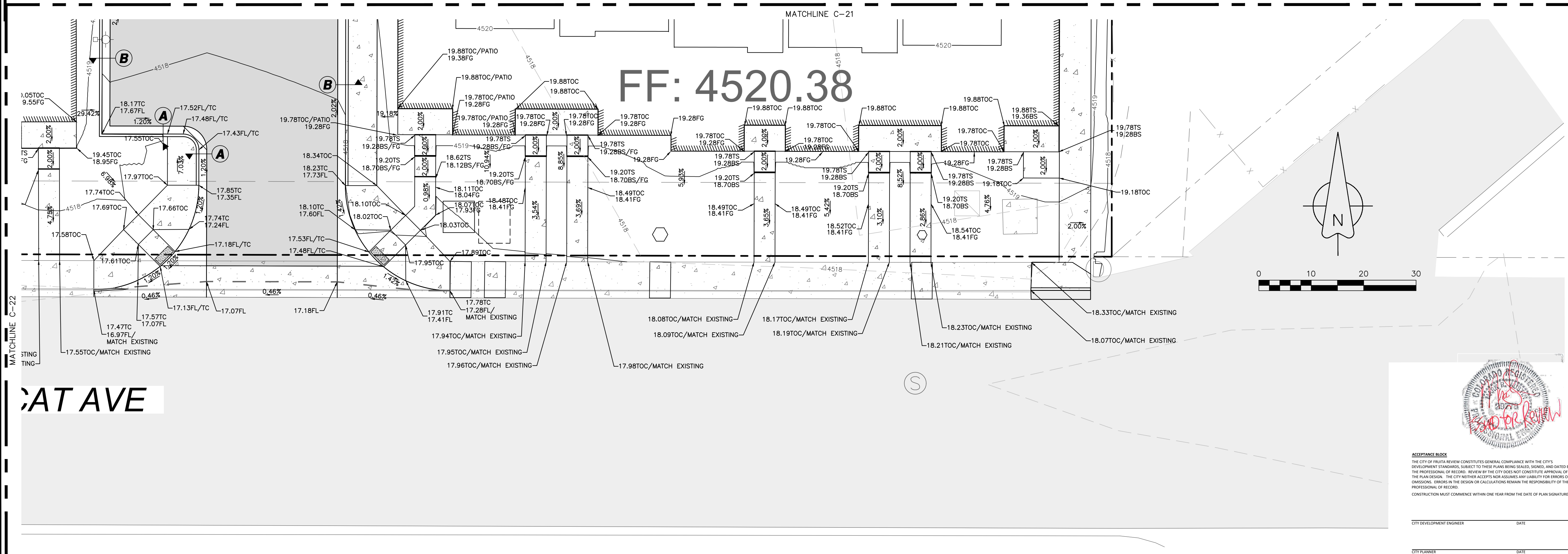
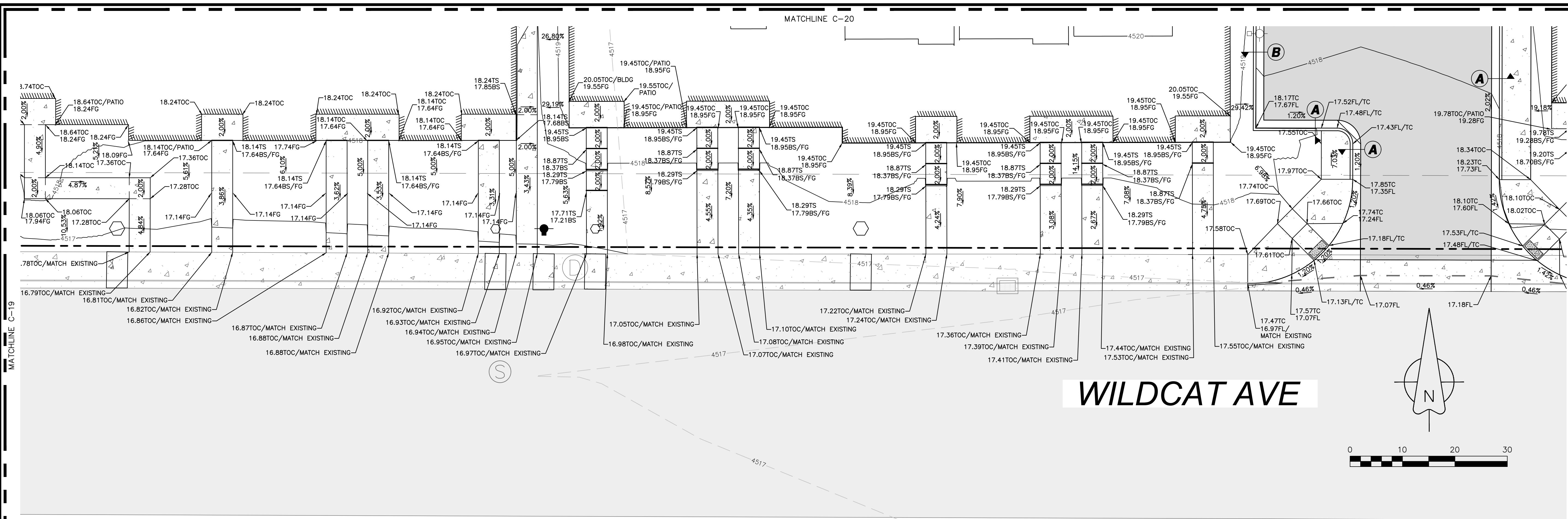
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WILDCAT RESIDENCES	WILDCAT AVE
description	prepared for
GRADING PLAN - SHT. 5	Wildcat Acquisition LLC

DRAWN BY: JWC	DESIGNED BY: JWC	CHECKED BY: MRA	APPROVED BY: MRA
JOB NUMBER: 1456.0003			
DATE: 10-3-2023			
SCALE: 1"=10'			
SHEET NO: C-21			

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WILDCAT RESIDENCES	WILDCAT AVE
GRADING PLAN - SHT. 6	prepared for Wildcat Acquisition LLC
DRAWN BY: JWC	DESIGNED BY: JWC
CHECKED BY: MRA	APPROVED BY: MRA
JOB NUMBER: 1456.0003	DATE: 10-3-2023
SCALE: 1"=10'	SHEET NO: C-22

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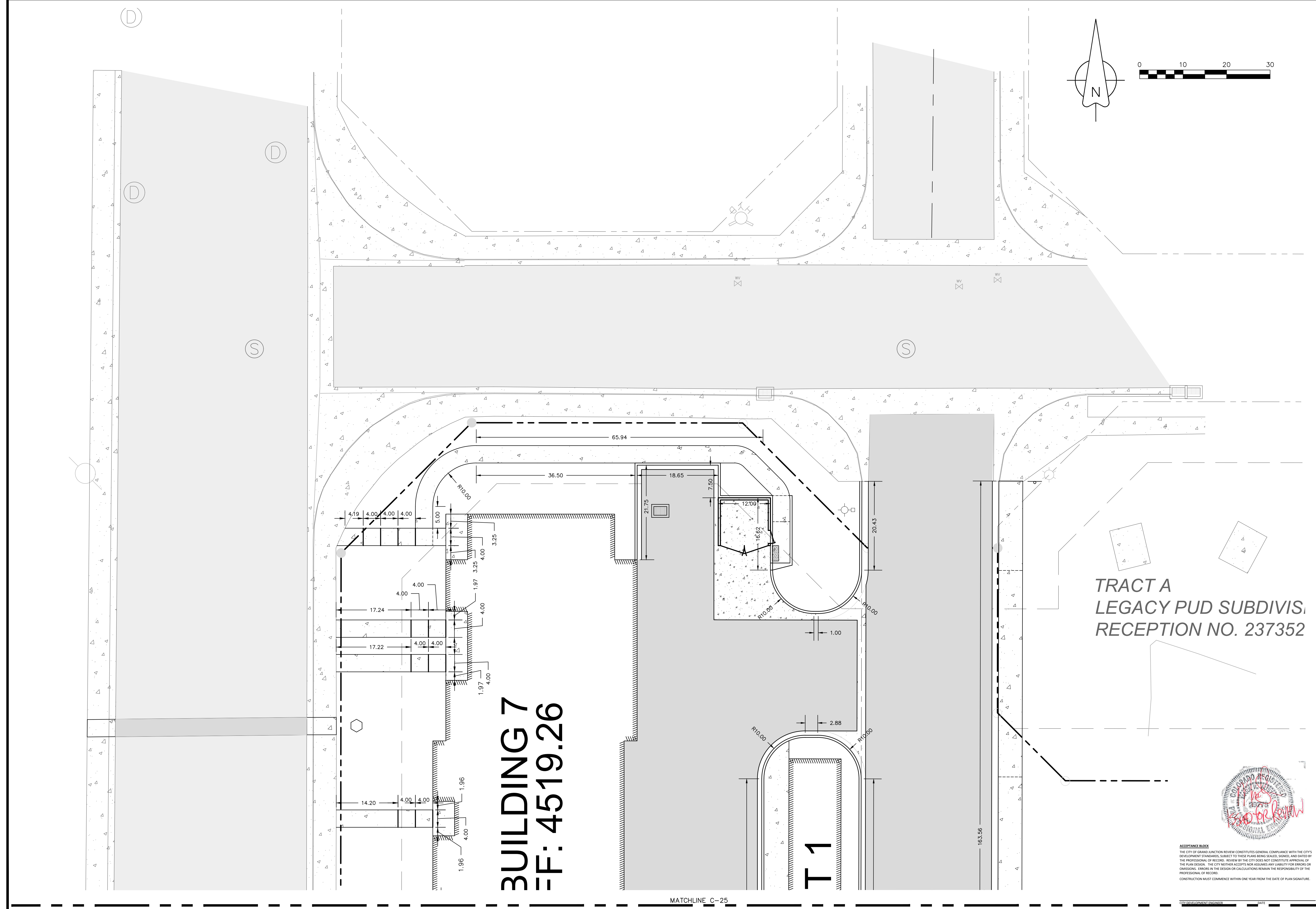
THE CITY OF GRAND JUNCTION ACCEPTS GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

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CITY DEVELOPMENT ENGINEER DATE

CITY PLANNER DATE

P:\456.003 - Wildcat Ave Apartments\Dwg\C3d\Production Dwg\PROD-HORIZONTAL CONTROL.dwg - C-24 HORIZONTAL CONTROL - SHT. 1, 10/11/2023 3:56:31 PM, AutoCAD PDF (General Documentation).pc3

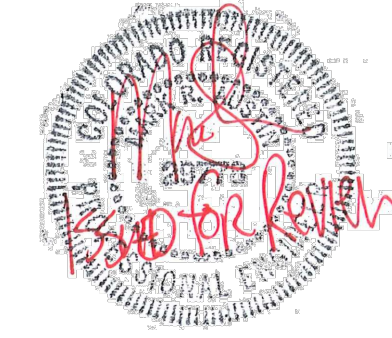


BUILDING 7

F: 4519.26

T1

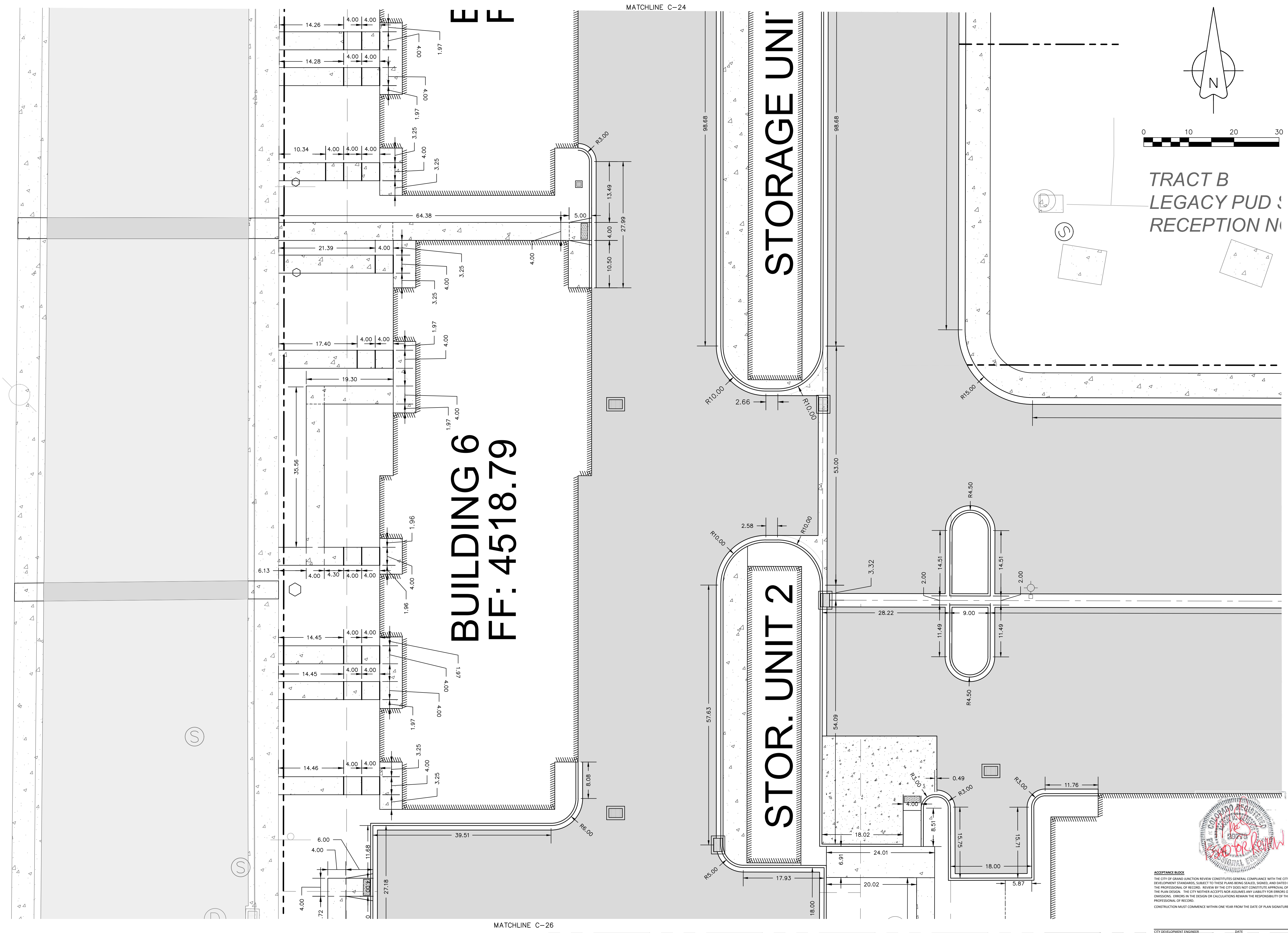
TRACT A
LEGACY PUD SUBDIVISION
RECEPTION NO. 237352



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MATCHLINE C-25

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WILDCAT RESIDENCES HORIZONTAL CONTROL - SHT. 1 WILDCAT AVE prepared for Wildcat Acquisition LLC		DRAWN BY: JWC DESIGNED BY: JWC CHECKED BY: MRA APPROVED BY: MRA	
JOB NUMBER: 1456.0003 DATE: 10-3-2023 SCALE: 1"=10' SHEET NO: C-24		THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD. CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.	



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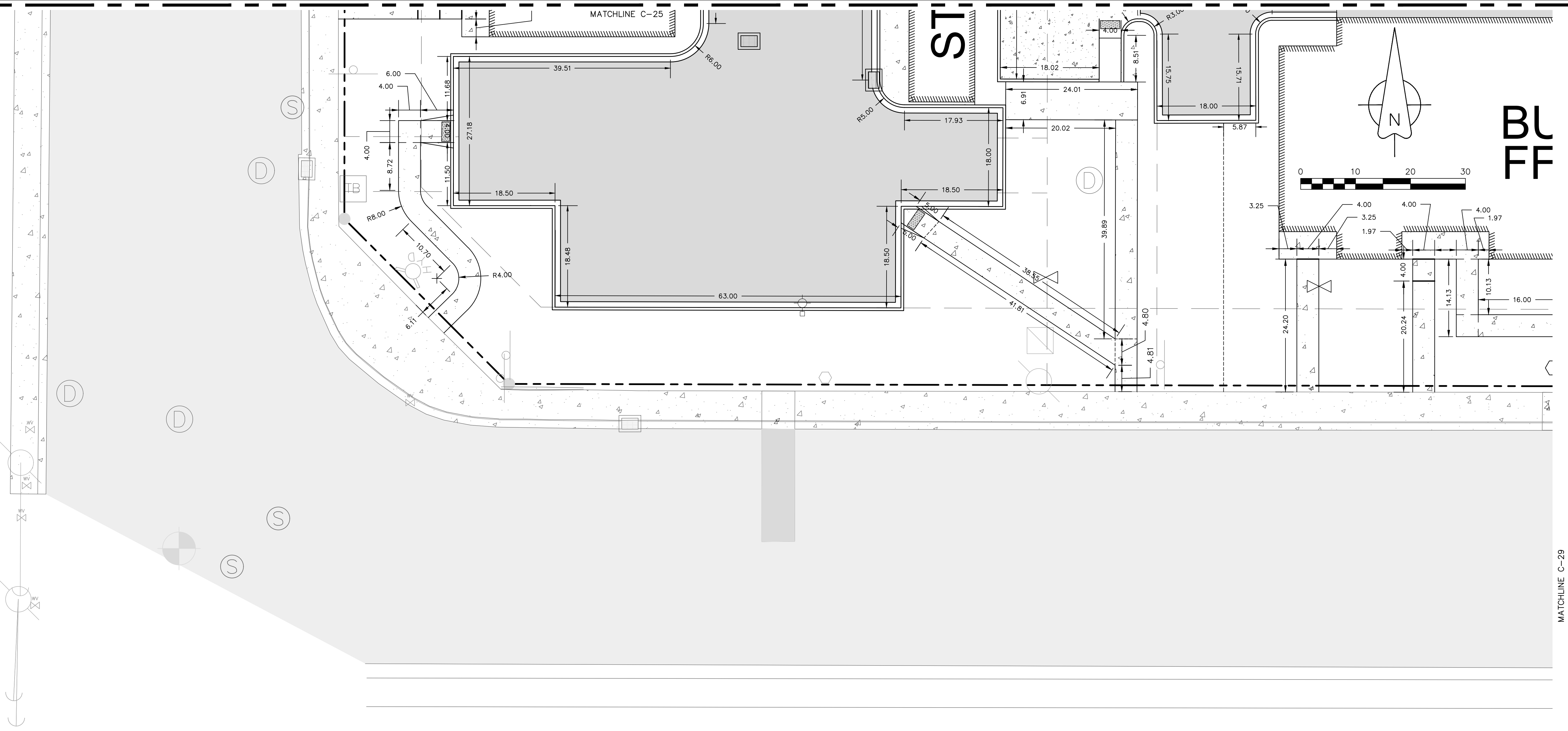
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WILDCAT RESIDENCES
 HORIZONTAL CONTROL - SHT. 2
 WILDCAT AVE
 prepared for
Wildcat Acquisition LLC

JOB NUMBER: 1456.0003
DATE: 10-3-2023
SCALE: 1" = 10'
SHEET NO.: C-25

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UTE WATER	JIM DAUGHERTY	242-7491
CITY OF FRUITA IRRIGATION	SAM ATKINS	858-8377
CITY OF FRUITA STORM SEWER	SAM ATKINS	858-8377
XCEL ENERGY - GAS & ELECTRIC	MIKE CASTRO	260-8804
CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JOHN VALDEZ	245-8750
MESA COUNTY STORMWATER	JOSH MARTINEZ	683-4206

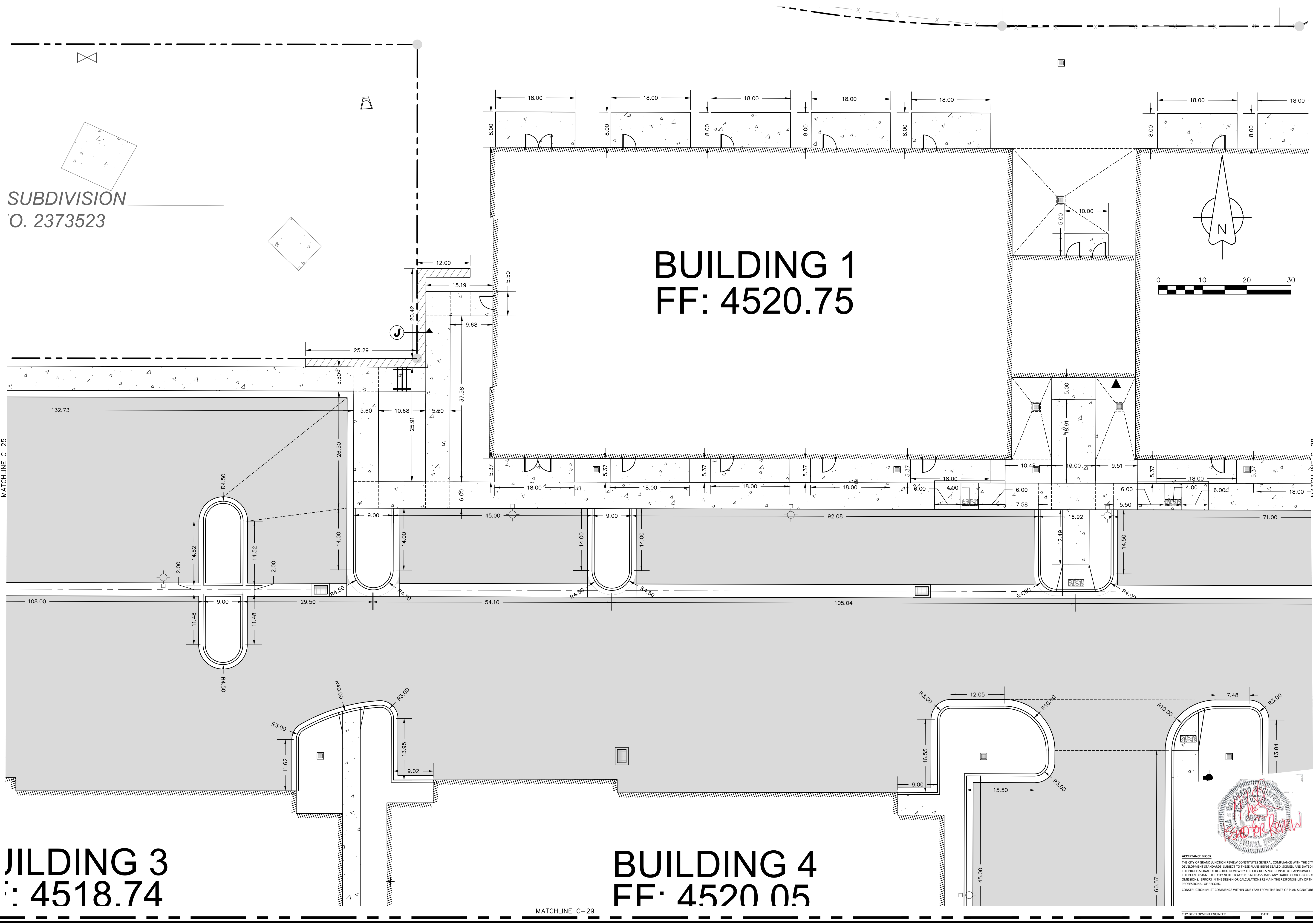


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<p>MATCHLINE C-29</p> <p>A · C · G</p> <p>AUSTIN CIVIL GROUP, INC. Land Planning · Civil Engineering · Development Services 123 North 7th Street, Suite 300 · Grand Junction, Colorado 81501 (970) 242-7540</p>			
<p>WILDCAT RESIDENCES description HORIZONTAL CONTROL - SHT. 3 WILDCAT AVE prepared for Wildcat Acquisition LLC</p>		<p>JOB NUMBER: 1456.0003</p>	<p>DATE: 10-3-2023</p>
<p>DRAWN BY: JWC</p>	<p>DESIGNED BY: JWC</p>	<p>CHECKED BY: MRA</p>	<p>APPROVED BY: MRA</p>
<p>SCALE: 1" = 10'</p>		<p>SHEET NO: C-26</p>	
<p>CITY DEVELOPMENT ENGINEER</p>		<p>DATE</p>	

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SUBDIVISION
O. 2373523



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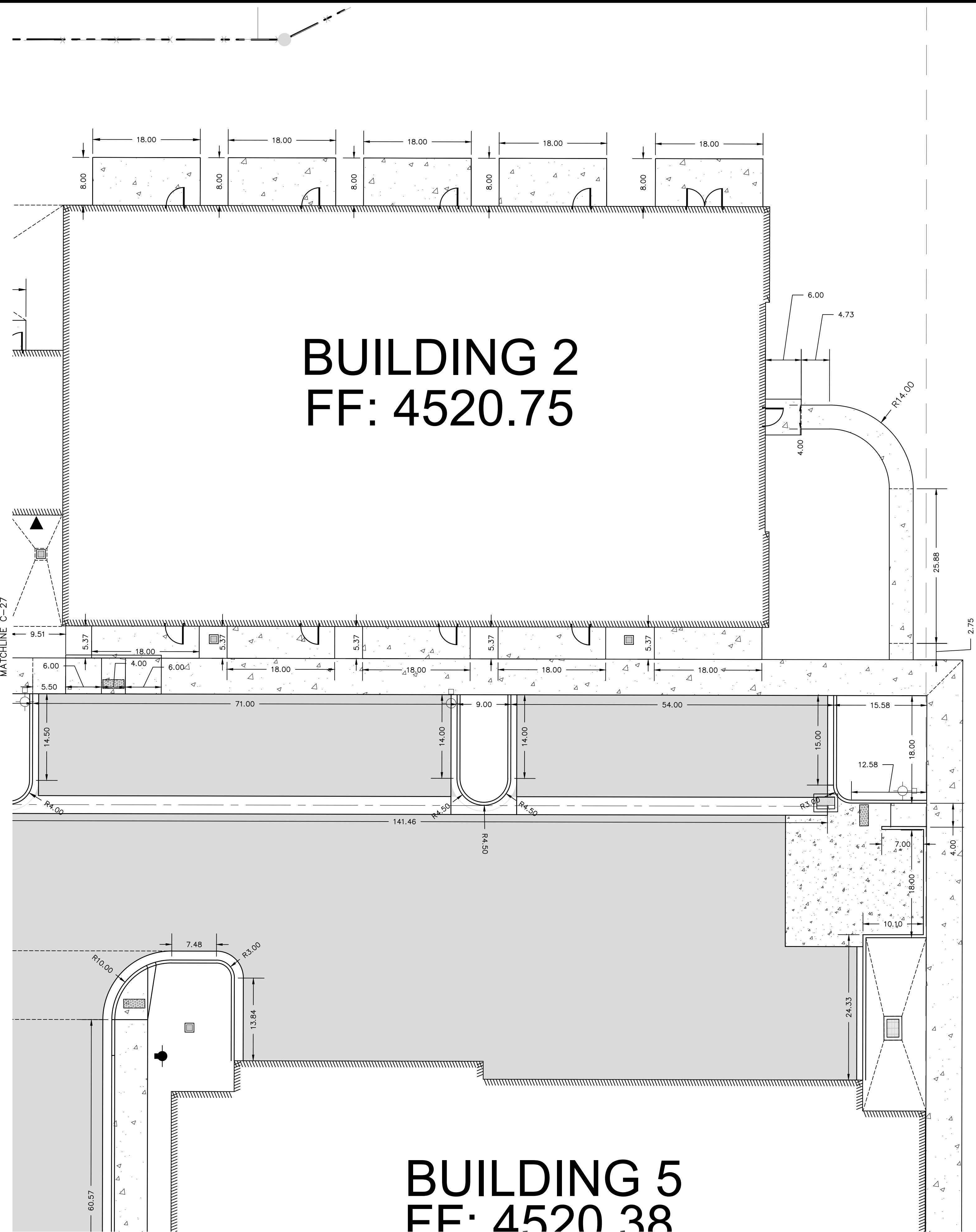
NO.	REVISIONS	DATE	BY
	DESCRIPTION		

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WILDCAT RESIDENCES
HORIZONTAL CONTROL - SHT. 4
prepared for
Wildcat Acquisition LLC

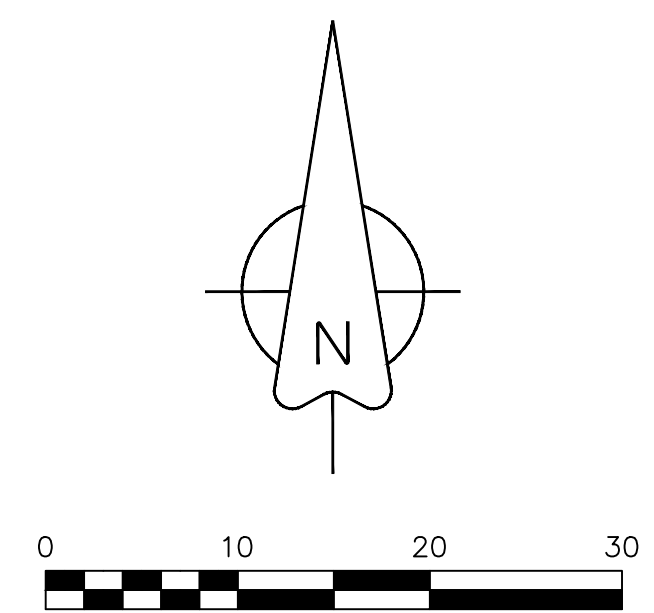
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DESIGNED BY:	JWC	DATE:	10-3-2023
CHECKED BY:	MRA	SCALE:	1"=10'
APPROVED BY:	MRA	SHEET NO.:	C-27

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BUILDING 2
FF: 4520.75

BUILDING 5
FF: 4520.38



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UTE WATER	JIM DAUGHERTY	242-7491
CITY OF FRUITA IRRIGATION	SAM ATKINS	858-8377
CITY OF FRUITA STORM SEWER	SAM ATKINS	858-8377
XCEL ENERGY - GAS & ELECTRIC	MIKE CASTRO	260-6804
CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JOHN VALDEZ	245-8750
MESA COUNTY STORMWATER	JOSH MARTINEZ	683-4206



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WILDCAT RESIDENCES description HORIZONTAL CONTROL - SHT. 5 WILDCAT AVE prepared for Wildcat Acquisition LLC		
DRAWN BY: JWC	DESIGNED BY: JWC	CHECKED BY: MRA
APPROVED BY: MRA		
JOB NUMBER: 1456.0003		
DATE: 10-3-2023		
SCALE: 1" = 10'		
SHEET NO: C-28		

