

SHEET KEY MAP

**WATERLINE NOTES:**

1. WATER MAINS SHALL BE AWWA C-900, CLASS 150 PVC PIPE. INSTALLATION OF PIPE, FITTINGS, VALVES, AND SERVICES, INCLUDING TESTING AND DISINFECTION, SHALL BE IN ACCORDANCE WITH THE UTE WATER CONSERVANCY DISTRICT STANDARD SPECIFICATIONS AND DRAWINGS. UTE WATER WILL FURNISH THE WATER METER PITS AND YOLKS. CONTRACTOR SHALL INSTALL THEM. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED WATER LINE TESTING. THE WATER LINE SHALL BE ACCEPTED BY UTE WATER PRIOR TO PAVING. ALL UTE WATER POLICIES AND FEES IN EFFECT AT THE TIME OF APPLICATION WILL APPLY.
2. THE CONTRACTOR SHALL NOTIFY THE UTE WATER CONSERVANCY DISTRICT 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
3. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY AASHTO T-99. CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL NECESSARY COMPACTION TESTS THROUGH A CERTIFIED SOILS LAB.
4. MINIMUM COVER REQUIRED OVER THE TOP OF NEW WATERLINES IS 4'-6".

**SANITARY SEWER NOTES:**

1. ALL SANITARY SEWER PIPE SHALL BE ASTM D3034, SDR-35, UNLESS OTHERWISE NOTED.
2. ALL SEWER MAINS SHALL BE LAID USING A LASER.
3. ALL SERVICE LINE CONNECTIONS SHALL BE ACCOMPLISHED USING FULL-BODY WYES OR TEES. TAPPING SADDLES WILL NOT BE ALLOWED.
4. SERVICE LINES SHALL NOT BE CONNECTED DIRECTLY INTO MANHOLES.
5. THE CONTRACTOR SHALL NOTIFY CITY INSPECTION 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SEWER LINE TESTING. IT SHALL BE PERFORMED WITH THE CITY INSPECTOR PRESENT. PRESSURE TESTING WILL BE PERFORMED AFTER SUBGRADE COMPACTION AND PRIOR TO PAVING. FINAL LAMPING AND AN ADDITIONAL AIR TEST WILL ALSO BE PERFORMED AFTER PAVING IS COMPLETED. THESE TESTS SHALL BE THE BASIS OF ACCEPTANCE OF THE SEWER LINE EXTENSION.
7. A CLAY CUT-OFF WALL SHALL BE PLACED 10 FEET UPSTREAM FROM ALL NEW MANHOLES UNLESS OTHERWISE NOTED. THE CUT-OFF WALL SHALL EXTEND FROM 6" BELOW TO 6" ABOVE GRANULAR BACKFILL MATERIAL AND SHALL BE 2" WIDE. IF NATIVE MATERIAL IS NOT SUITABLE, THE CONTRACTOR SHALL IMPORT MATERIAL APPROVED BY THE ENGINEER.

**GENERAL CONSTRUCTION NOTES:**

1. ALL HOMES EXCEPT LOTS A-1 AND A-2 ARE REQUIRED TO HAVE A RESIDENTIAL FIRE SUPPRESSION SPRINKLER SYSTEM INSTALLED. THE SYSTEM MUST MEET THE REQUIREMENTS OF NFPA 130 PER THE FIRE CODE OR SECTION P2409 OF THE RESIDENTIAL CODE.

KINGS VIEW SUBDIVISION  
FILING 1



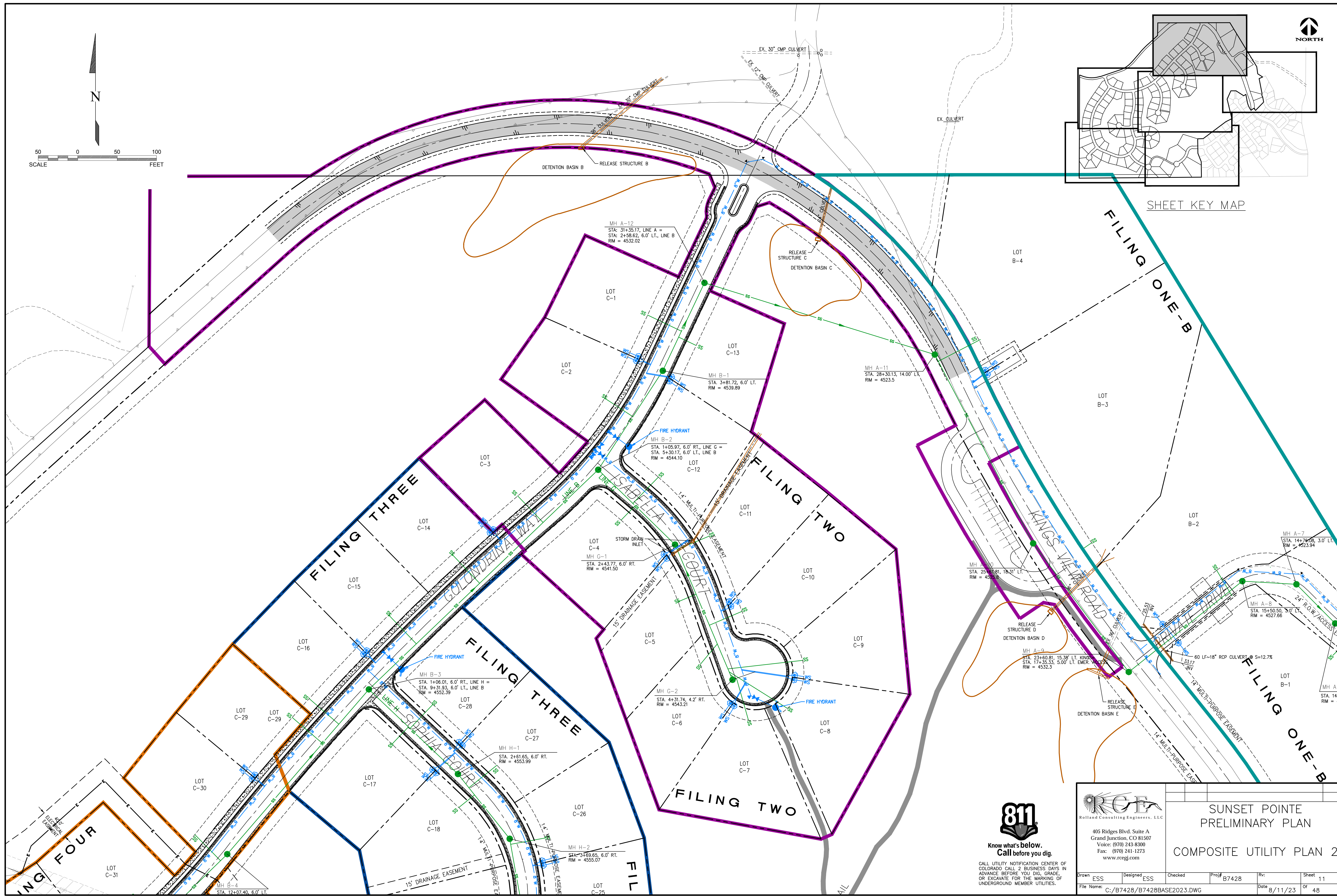
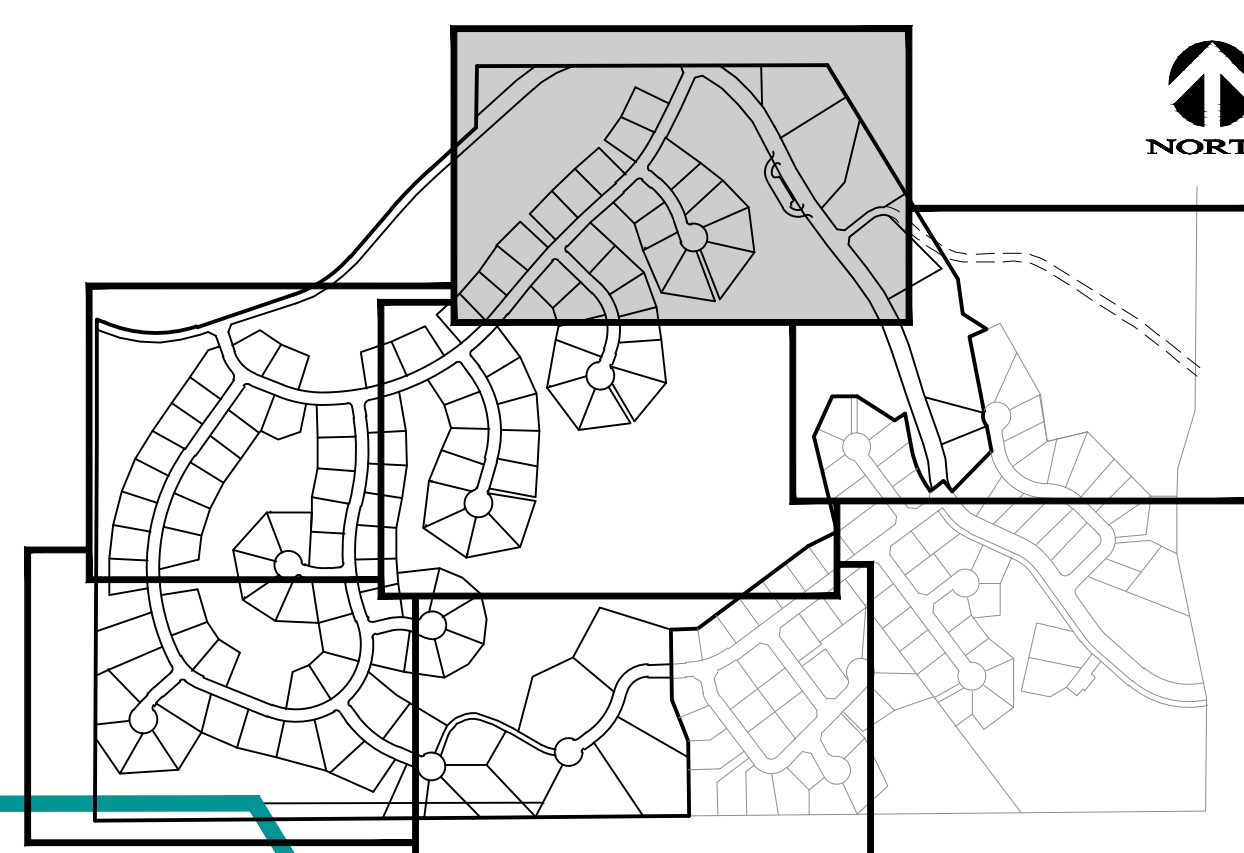
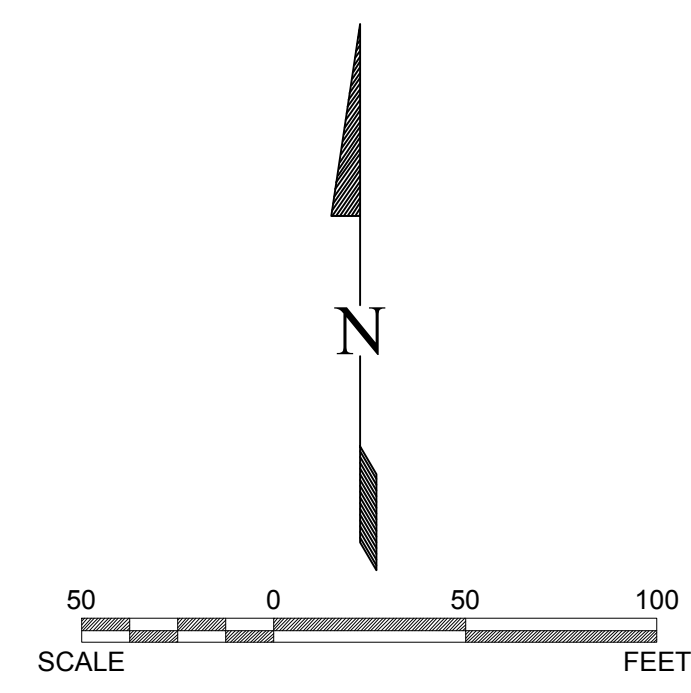
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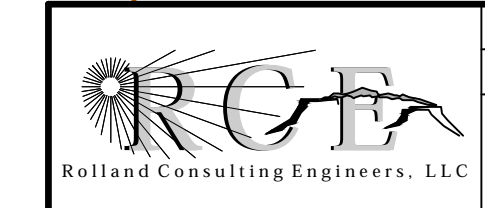
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405 Ridges Blvd. Suite A  
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SUNSET POINTE  
PRELIMINARY PLAN  
COMPOSITE UTILITY PLAN 1

|            |                            |          |     |         |  |       |       |         |    |       |    |  |
|------------|----------------------------|----------|-----|---------|--|-------|-------|---------|----|-------|----|--|
| Drawn      | ESS                        | Designed | ESS | Checked |  | Proj# | B7428 | Rev.    |    | Sheet | 10 |  |
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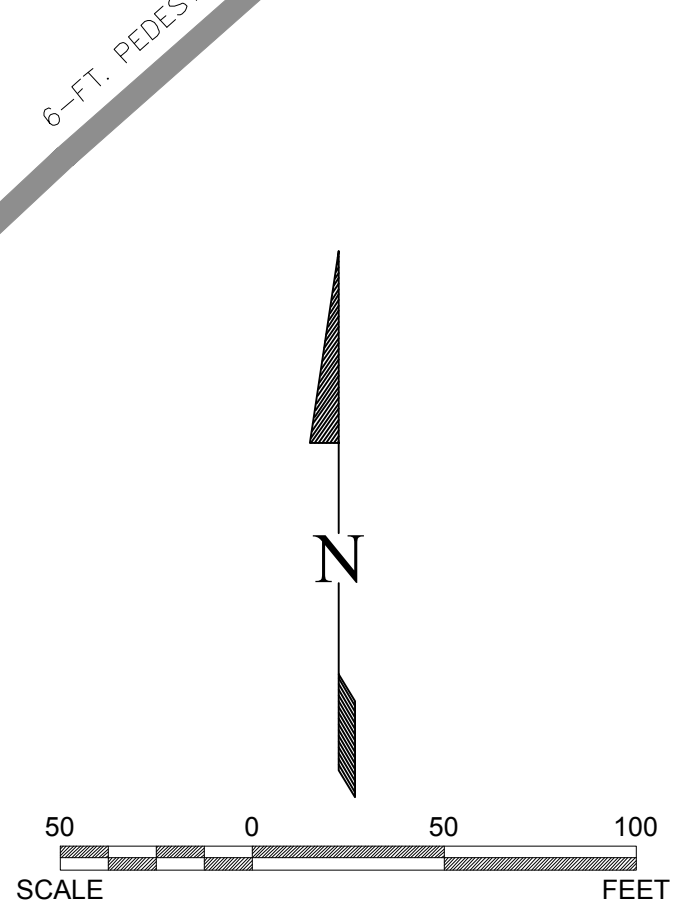
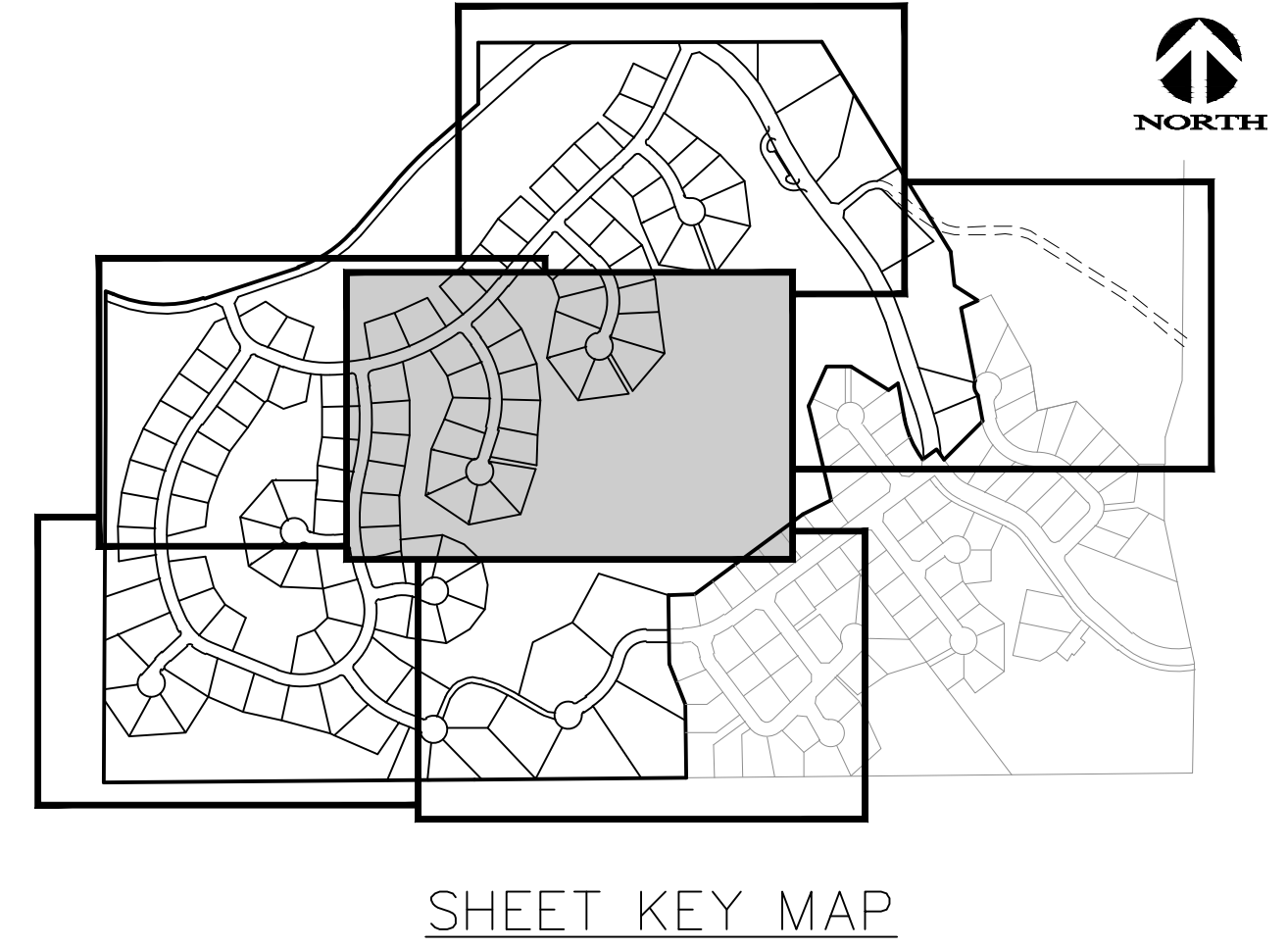
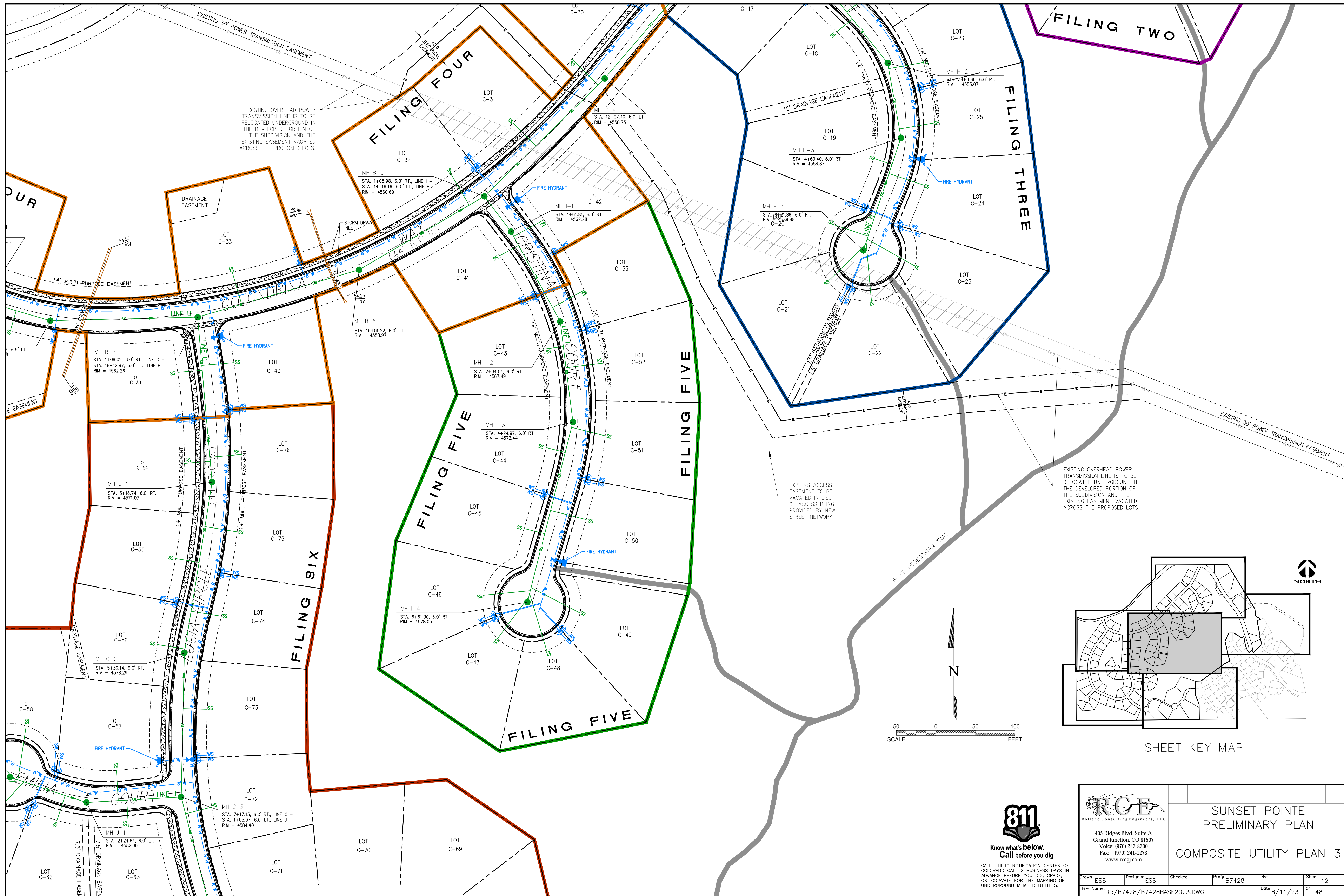


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|                                           |          |         |       |         |       |
|-------------------------------------------|----------|---------|-------|---------|-------|
| <b>SUNSET POINTE<br/>PRELIMINARY PLAN</b> |          |         |       |         |       |
| <b>COMPOSITE UTILITY PLAN 2</b>           |          |         |       |         |       |
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| ESS                                       | ESS      |         | B7428 |         | 11    |
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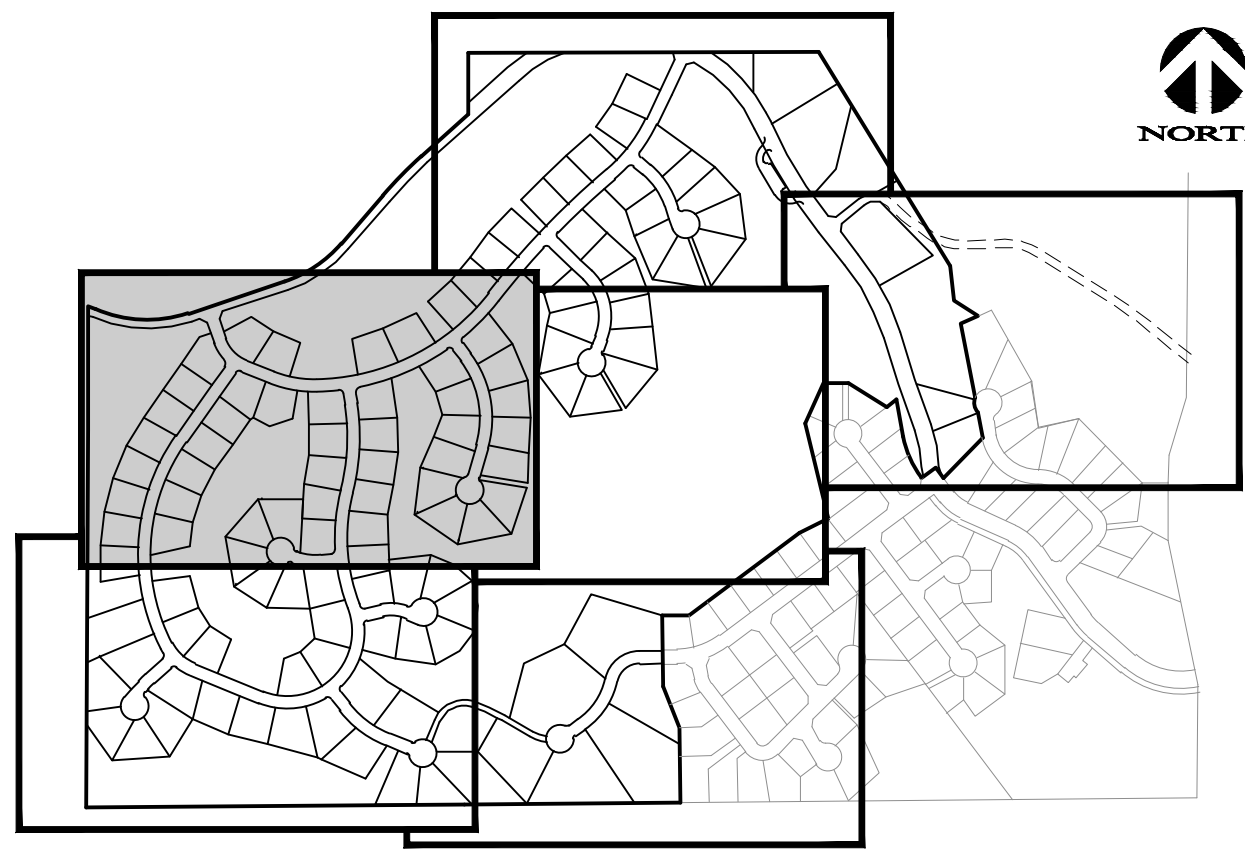


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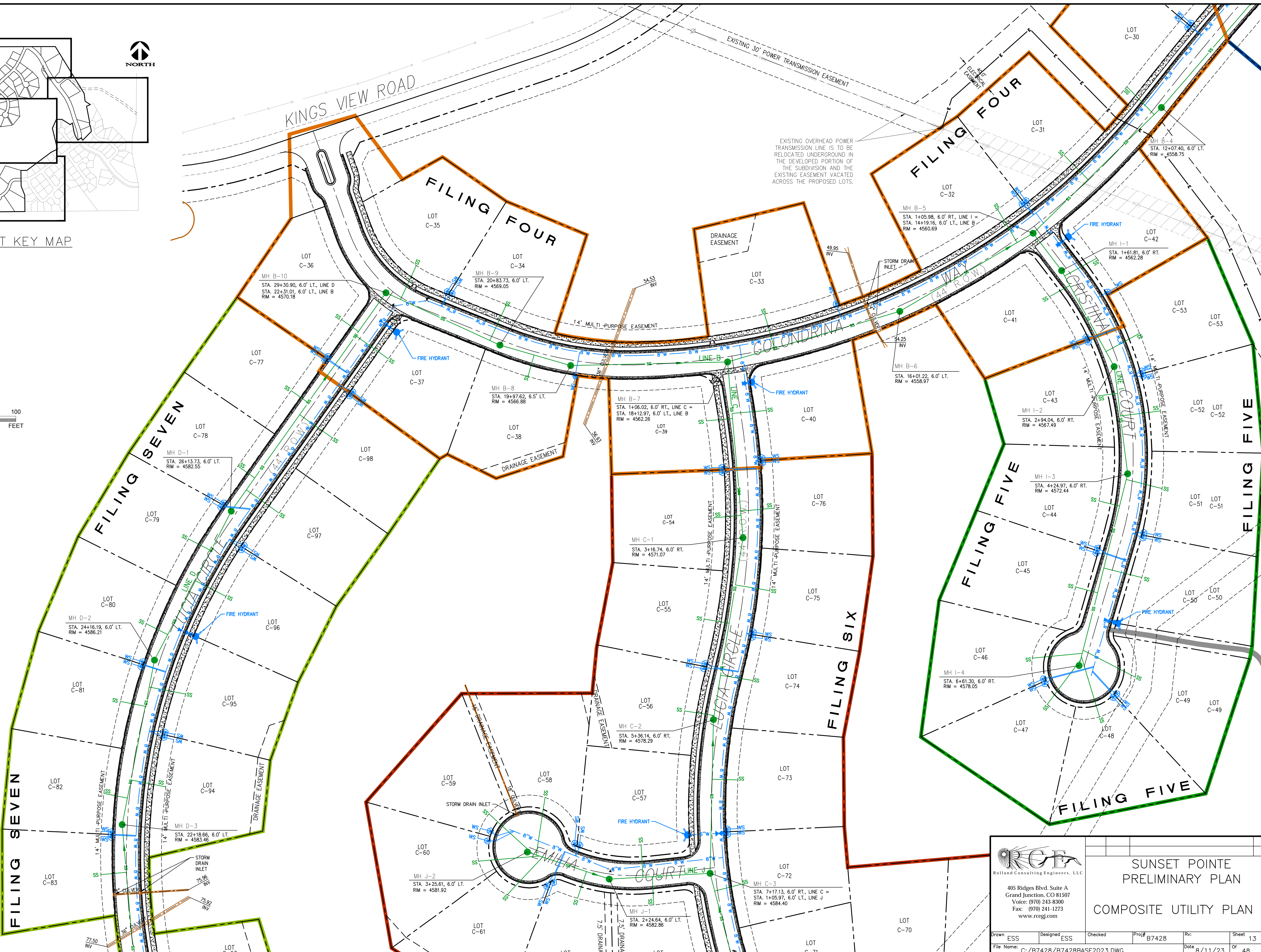
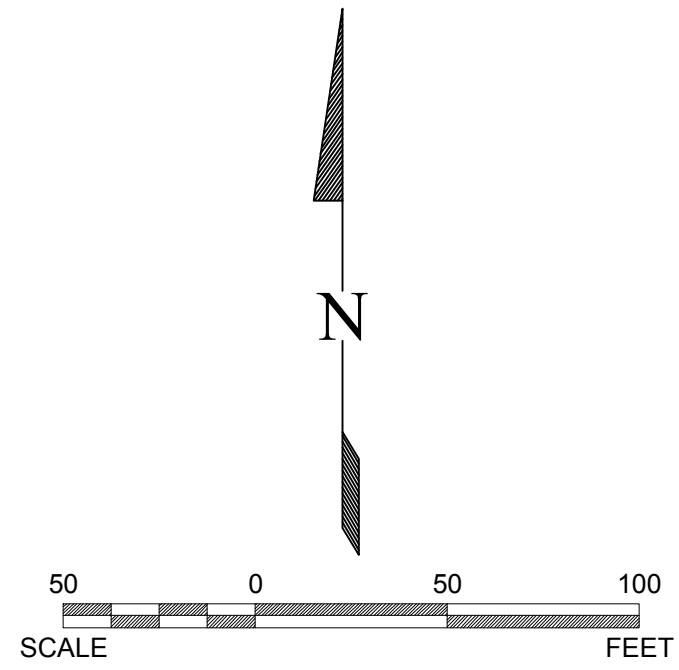
SUNSET POINTE  
PRELIMINARY PLAN

COMPOSITE UTILITY PLAN 3

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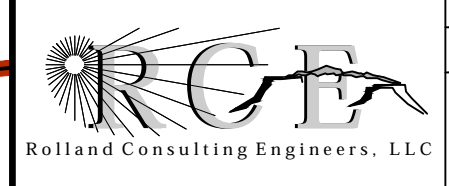
SHEET KEY MAP



EXISTING OVERHEAD POWER TRANSMISSION LINE IS TO BE RELOCATED UNDERGROUND IN THE DEVELOPED PORTION OF THE SUBDIVISION AND THE EXISTING EASEMENT VACATED ACROSS THE PROPOSED LOTS.



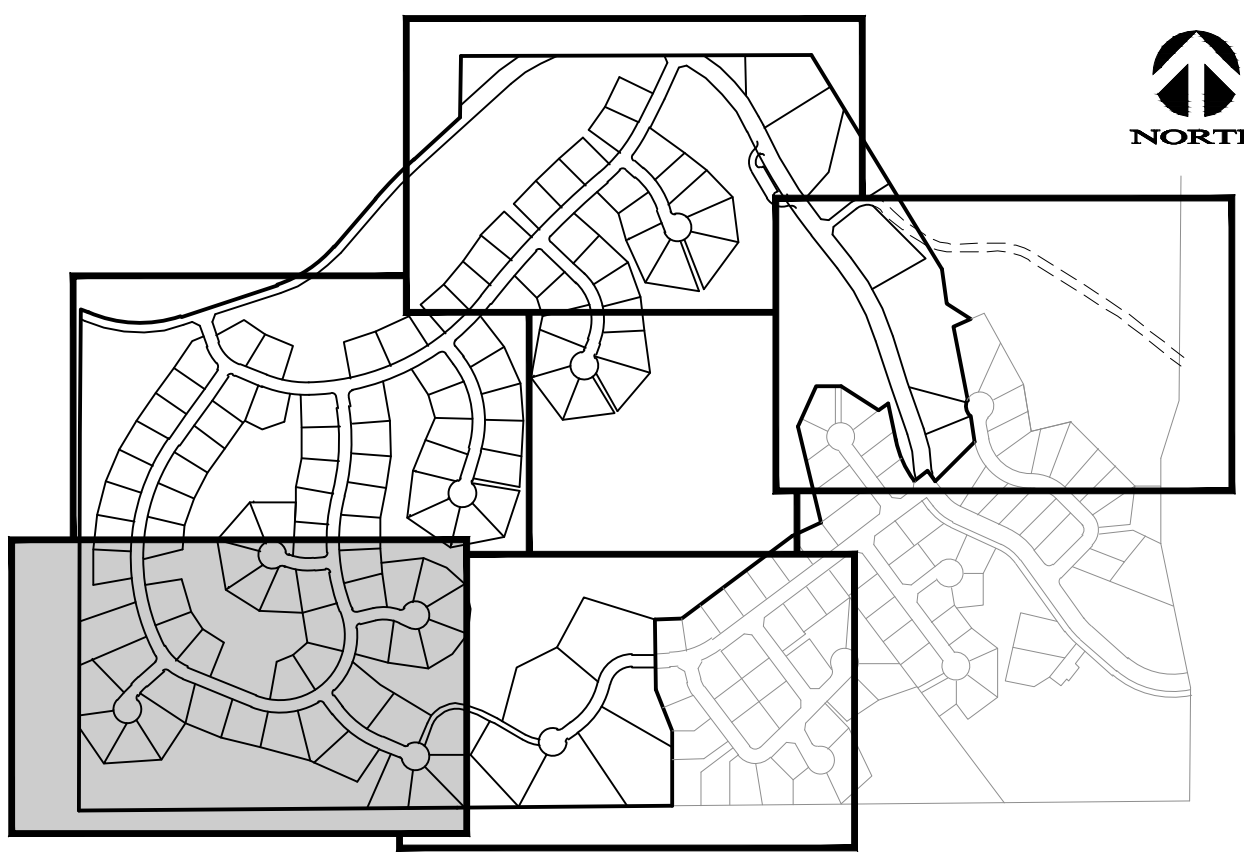
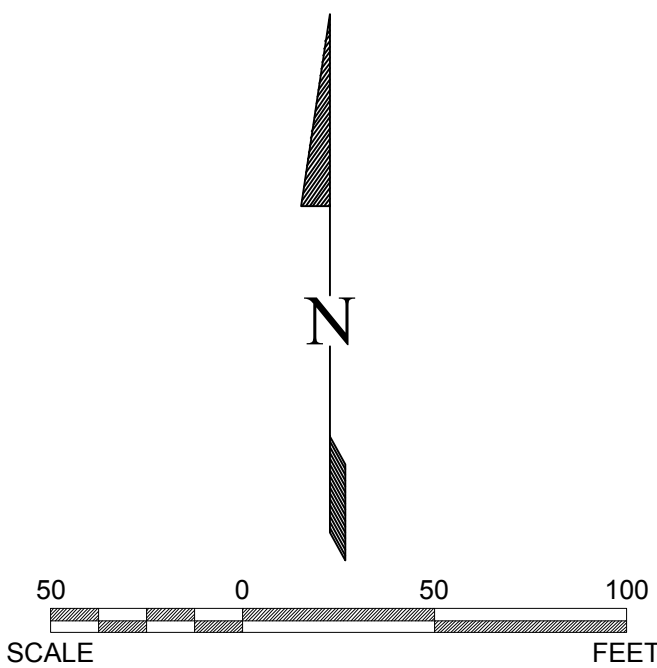
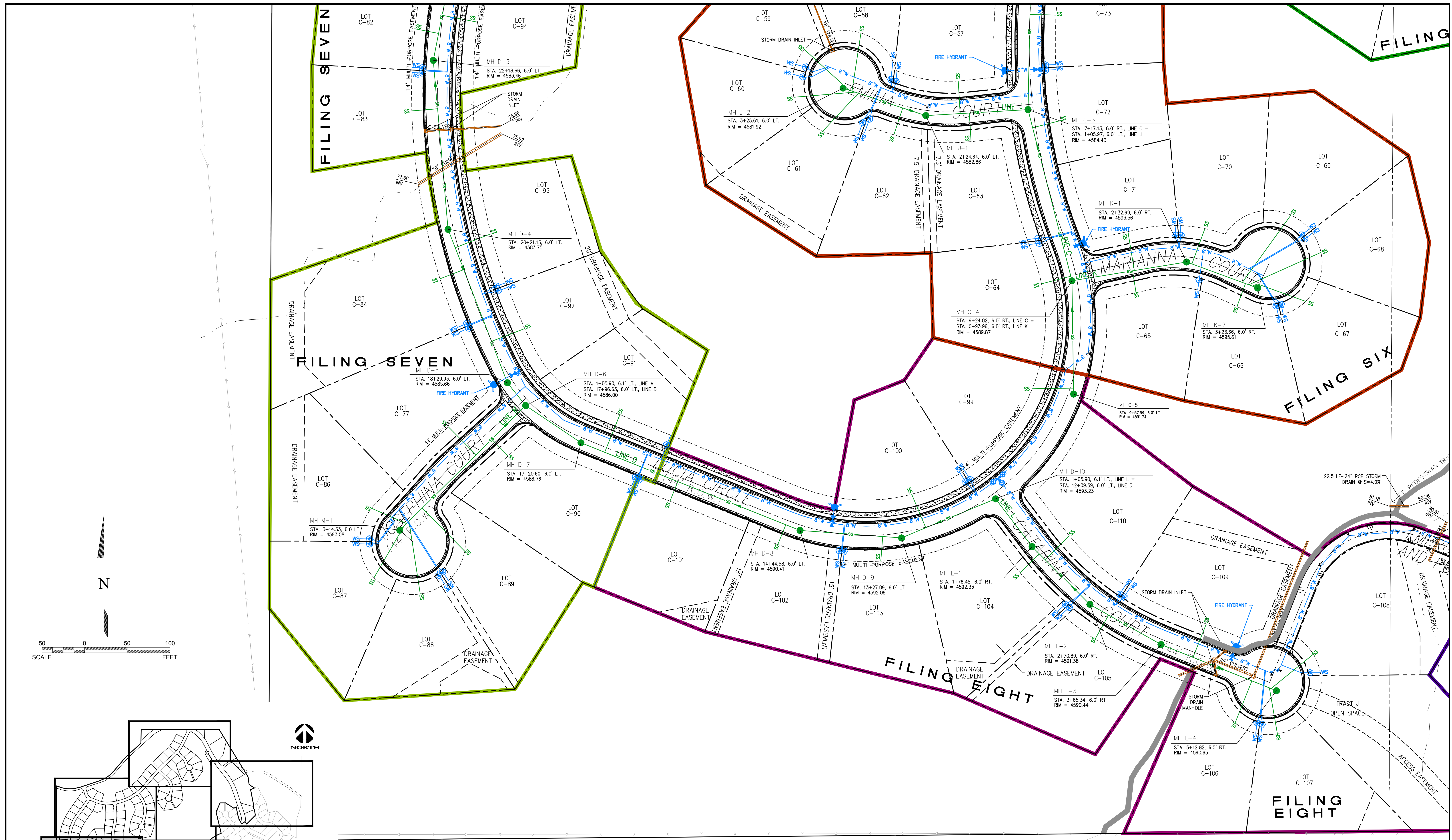
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SUNSET POINTE  
PRELIMINARY PLAN  
COMPOSITE UTILITY PLAN 4

|            |                            |          |     |         |  |       |       |         |    |       |    |  |
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SHEET KEY MAP



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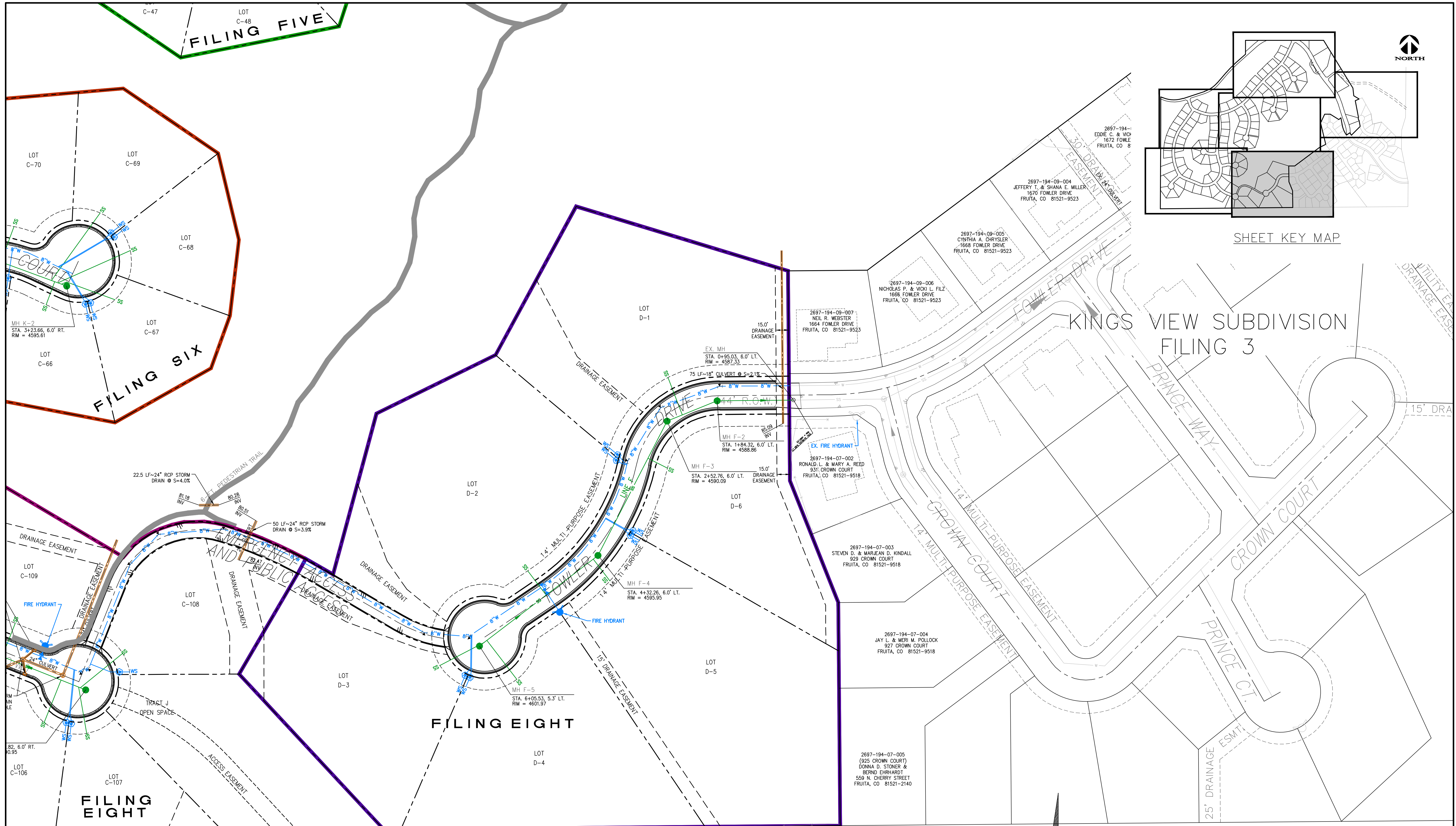
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SUNSET POINTE  
PRELIMINARY PLAN  
COMPOSITE UTILITY PLAN 5

|            |                            |          |     |         |  |       |       |         |    |       |    |
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| Drawn      | ESS                        | Designed | ESS | Checked |  | Proj# | B7428 | Rv.     |    | Sheet | 14 |
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SHEET KEY MAP

KINGS VIEW SUBDIVISION  
FILING 3

FILING EIGHT

FILING SIX

FILING EIGHT



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STEVE J & GLENNA M VIGIL  
945 PRINCE CT  
FRUITA, CO 81521-9530  
35.710754 Acres

2697-194-07-004  
JAY L & MERI M. POLLOCK  
927 CROWN COURT  
FRUITA, CO 81521-9518

2697-194-07-003  
STEVEN D & MARJEAN D KINDALL  
929 CROWN COURT  
FRUITA, CO 81521-9518

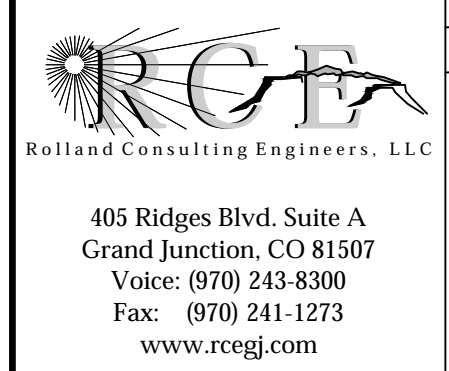
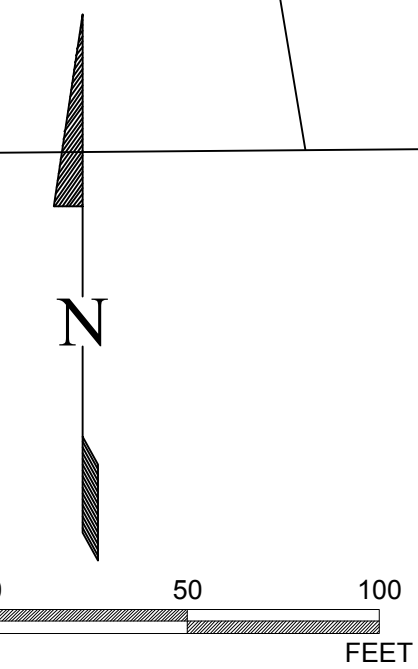
2697-194-07-002  
RONALD L & MARY A. REED  
931 CROWN COURT  
FRUITA, CO 81521-9518

2697-194-09-006  
NICHOLAS P & VICKI L FILZ  
1668 FOWLER DRIVE  
FRUITA, CO 81521-9523

2697-194-09-005  
CYNTHIA A. CHRYSLER  
1668 FOWLER DRIVE  
FRUITA, CO 81521-9523

2697-194-09-004  
JEFFERY J & SHANA E. MILLER  
1670 FOWLER DRIVE  
FRUITA, CO 81521-9523

2697-194-09-001  
EDDIE C. & VICKI  
1672 FOWLER  
FRUITA, CO 8



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SUNSET POINTE  
PRELIMINARY PLAN  
COMPOSITE UTILITY PLAN 6

|            |                            |          |     |         |  |       |       |         |    |       |    |  |
|------------|----------------------------|----------|-----|---------|--|-------|-------|---------|----|-------|----|--|
| Drawn      | ESS                        | Designed | ESS | Checked |  | Proj# | B7428 | Rv      |    | Sheet | 15 |  |
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