

KISMET SUBDIVISION

A REPLAT OF A PORTION OF LOT 10 OF ORCHARD SUBDIVISION (RECEPTION NUMBER 2225)
SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER SECTION 8 TOWNSHIP 1 NORTH, RANGE 2 WEST,
UTE MERIDIAN, COUNTY OF MESA, STATE OF COLORADO

Know All Persons By These Presents:

The undersigned, Karen L. Leonhart, is the owner of record of that real property situated within the Southeast Quarter of the Southwest Quarter of Section 8, Township 1 North, Range 2 West of the Ute Meridian, City of Fruita, County of Mesa, State of Colorado, the ownership of which is demonstrated at Reception Number 2183155 of the records in the office of the Mesa County Clerk and Recorder. Said property being more particularly described as follows:

Commencing at the west one-sixteenth corner on the south line of said Section 8 being a 3" brass cap marked COUNTY SURVEY MARKER 438-1, whence the southwest sixteenth corner of said Section 8 bears North 00°08'51" East with all bearings herein relative thereto;
thence North 00°08'51" East, a distance of 152.620 feet;
thence South 89°53'33" East, a distance of 40.00 feet to a 2" aluminum cap marked PLS 24453 - HIGHDESERT SURVEYING and the Point of Beginning;
thence North 00°08'51" East, a distance of 507.20 feet to a 1.25" plastic cap marked PLS 14113;
thence South 89°53'26" East, a distance of 125.00 feet to a 2" aluminum cap marked PLS 24453 - HIGHDESERT SURVEYING;
thence South 00°08'51" West, a distance of 507.20 feet to a 2" aluminum cap marked PLS 24453 - HIGHDESERT SURVEYING;
thence North 89°53'33" West, a distance of 125.00 feet to the Point of Beginning, said parcel containing 1.46 acres more or less.

Said owner has caused the described real property to be surveyed, laid out and to be publicly known as

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All Right-of-Way shown hereon is dedicated to the City of Fruita for the use of the public forever.

All Multi-Purpose easements are dedicated to the Public as perpetual easements for County approved utilities including the installation, operation, maintenance and repair of said utilities and appurtenances which may include but are not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, traffic control facilities, street lighting, landscaping, trees and grade structures.

Ingress/Egress easement shall be granted by separate instrument.

Irrigation easement shall be granted by separate instrument.

Said owner does hereby acknowledges that all lienholders or encumbrancers, if any, associated with the interests of this plat have been represented hereon.

Said owner does subscribe hereunder this _____ day of _____.

Karen L. Leonhart

STATE OF COLORADO)
COUNTY OF MESA) ss

This plat was acknowledged before me by _____

on this _____ day of _____, _____ My commission expires:

Notary Public

TITLE CERTIFICATION

We, Fidelity National Title, a title insurance company, as duly licensed in the State of Colorado, hereby certify that we have examined the title to the hereon described property, that we find the title to the property is vested to Karen L. Leonhart, a Colorado Limited Liability Company; That the current taxes have been paid; That all mortgages not satisfied or released of record nor otherwise terminated by law are shown hereon and that there are no other encumbrances of record; That all easements, reservations and rights of way of record are shown hereon.

DATE: _____ BY: _____

CITY COUNCIL CERTIFICATE

This Plat approved by the City Council of the City of Fruita, Colorado, this _____ day of _____, 20____, for filing with the Clerk and Recorder of Mesa County, and for conveyance or dedication to the City of the public dedications shown hereon; subject to the provision that approval in no way obligates the City of Fruita for financing or construction of improvements on said lands, streets or easements dedicated to the City except as specifically agreed to by the City Council of the City of Fruita. Further, said approval in no way obligates the City of Fruita for maintenance of public improvements until construction of said improvements has been completed in accordance with the City of Fruita's specifications and the City of Fruita has agreed to accept said improvements. This approval does not guarantee that the size, soil conditions, sub-surface geology, ground water conditions, or flooding conditions of any lot shown hereon are such that a planning clearance, building permit, or any other required permit will be issued. This approval is with the understanding that all expenses involving required improvements for all utility services, paving, grading, landscaping, curbs gutter, sidewalks, street lighting, street signs, other traffic control devices, flood protection devices, drainage structures, and all other improvements that may be required shall be the responsibility of the owners designated hereon, and the City of Fruita, unless otherwise specifically agreed to in writing by the City Council.

CITY OF FRUITA, COLORADO

By: _____

Witness my hand and official seal of the City of Fruita.

ATTEST:

City Clerk

COMMUNITY DEVELOPMENT DEPARTMENT CERTIFICATE:

This plat approved by the City of Fruita Community Development Department the _____ day of _____, 20____.

Community Development Department Director

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO)

COUNTY OF MESA) ss

THIS PLAT WAS ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF MESA COUNTY, COLORADO,

AT _____ O'CLOCK _____ M., ON THIS _____ DAY OF _____,

20____ AND WAS RECORDED AT RECEPTION NUMBER _____, DRAWER NUMBER _____,

AND FEES _____

CLERK AND RECORDER _____ DEPUTY

SEPARATE INSTRUMENT RECORDING	
DOCUMENT	RECEPTION NO.

LEGEND

- 2" ALUMINUM CAP ON #5 REBAR
PLS 24453 - HIGH DESERT SURVEYING
- ⊗ 1.25" PLASTIC CAP ON #5 REBAR
PLS 14113
- ⚡ ALIQUOT MONUMENT AS NOTED
- ⊠ FOUND REBAR
- SET 1.5" ALUMINUM CAP ON # 5 REBAR
PLS 38274
- - - - - EASEMENT LINE
- _____ PARCEL LINE
- - - - - ROW LINE
- _____ ALIQUOT LINE

SYMBOLS AND ABBREVIATIONS USED ON THIS PLAT	
NO.	NUMBER
REC.	RECEPTION
N.	NORTH
E.	EAST
S.	SOUTH
W.	WEST
GVA.	GRAND VALLEY AREA
PLS.	PROFESSIONAL LAND SURVEYOR

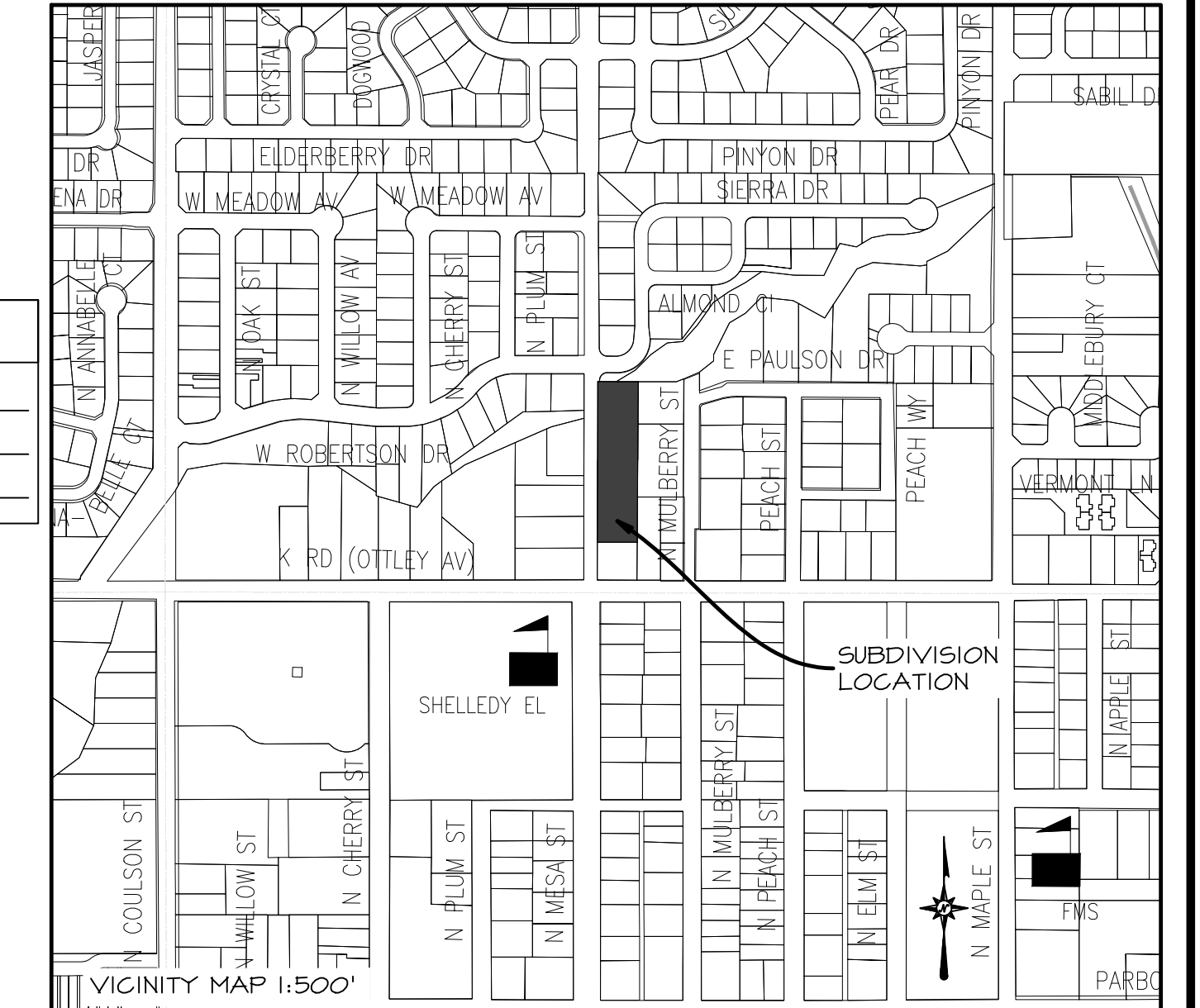
AREA SUMMARY		
LOTS	1.42 ACRES	97.26%
ROW	0.02 ACRES	1.37%
OUTLOT	0.02 ACRES	1.37%
TOTAL	1.46 ACRES	100.0%

This survey plat does not constitute a title search by the undersigned surveyor or River City Consultants, Inc. and no certification as to title or ownership of any parcels shown hereon is made by either. All information regarding ownership, rights-of-way, easements of record, adjoiners, and other documents that may affect the quality of title to this property is from a title commitment prepared by Fidelity National Title, 200-FO2035-23, dated February 20, 2023. Other documents may exist which would affect this property.

SURVEYOR'S STATEMENT

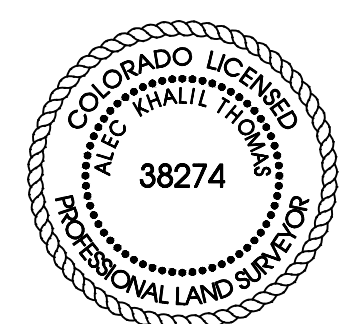
I, Alec K. Thomas, a registered Professional Land Surveyor in the State of Colorado, do hereby state that the accompanying plat of KISMET SUBDIVISION, a subdivision of a part of the City of Fruita, County of Mesa, State of Colorado, has been prepared by me and/or under my direct supervision and represents a field survey of the same. This statement is applicable only to the survey data represented hereon, and does not represent a warranty or opinion as to ownership, lienholders, or quality of title. This statement is not a guaranty, either expressed or implied.

Alec K. Thomas,
Colorado PLS 38274



BASIS OF BEARINGS
The bearings hereon are grid bearings of the Mesa County Local Coordinate System, GVA, as defined at http://emap.mesacounty.us/gps_survey/GVAZONE.htm, determined by GPS observation of the west line of the southeast quarter of the southwest quarter of Section 8, Township 1 North, Range 2 West, Ute Meridian, the west 1/16th corner on the south line being a 3" brass cap, whence the southwest sixteenth being a 2.5" aluminum cap bears North 00°08'51" East with all bearings herein relative thereto.

Lineal Units of Measurement are U.S. Survey Foot.
MCLCS ZONE "GVA"
TRANSVERSE MERCATOR PROJECTION
POINT OF ORIGIN (SNO) AND CENTRAL MERIDIAN:
LATITUDE: 39°06'22.12146N
LONGITUDE: 108°32'01.43552W
NORTHING: 50,000FT
EASTING: 100,000FT
SCALE FACTOR: 1.000218181798
PROJECT/SCALE FACTOR HEIGHT: 4644FT(NAVD88)



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SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER SECTION 8 TOWNSHIP 1 NORTH, RANGE 2 WEST, UTE MERIDIAN, COUNTY OF MESA, STATE OF COLORADO			
PLANNING NUMBER #####-####			
Sheet 1 of 1	Date: 12/18/20	Job No. 167T-001	
Surveyed: TPJ	Drawn: AKT	Checked: TPJ	
Drawing name: S:\PROJ\25191711 Rptn_Leonhart\Survey\2023\167T-001 SUBDIVISION.dwg			

