



# Kismet Subdivision

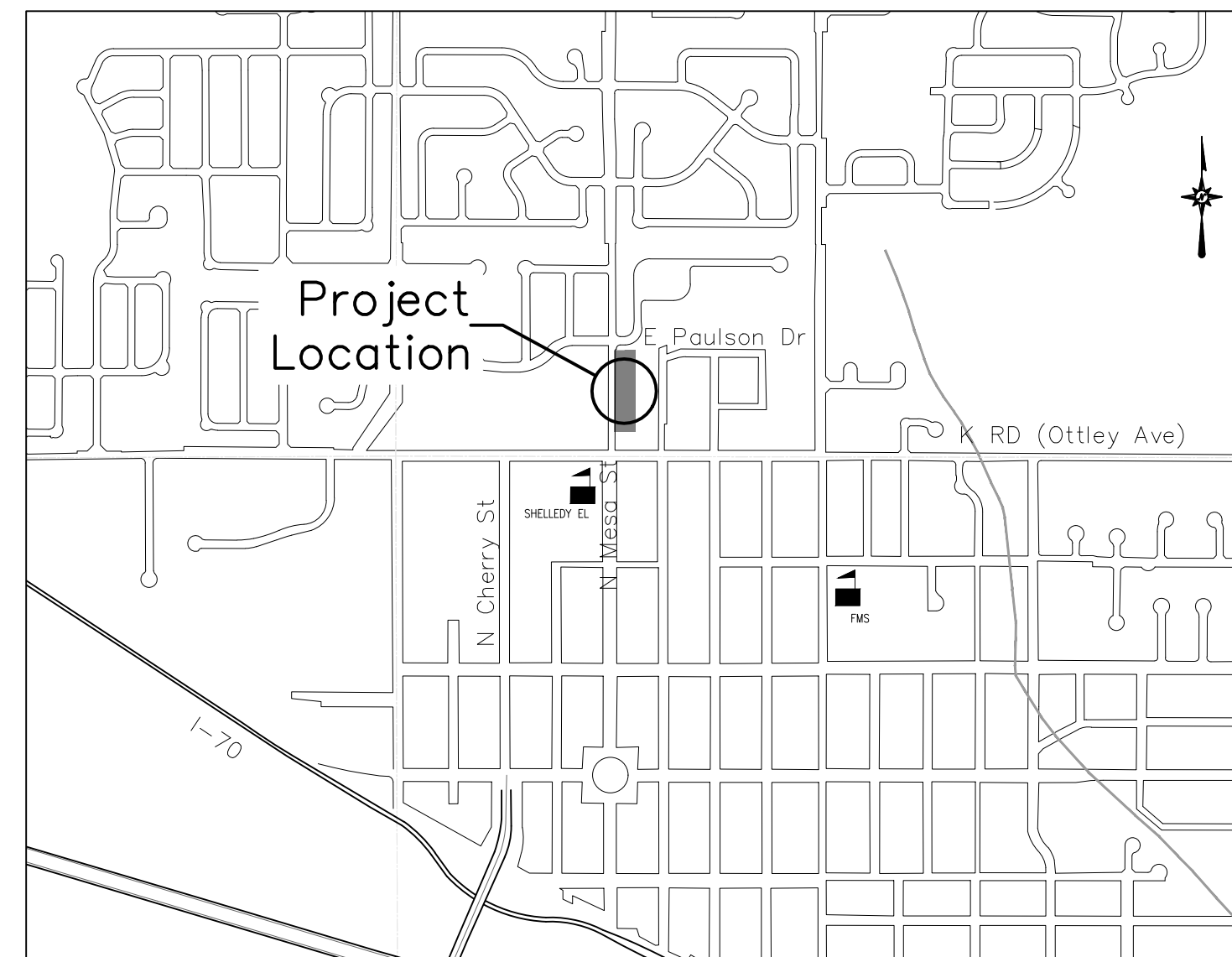
## 460 North Mesa Street

Fruita, Colorado 81521

### CONSTRUCTION PLANS

Prepared for:

## KAREN LEONHART



PROJECT LOCATION MAP  
(N.T.S.)

#### INDEX OF SHEETS

Sheet No.	Description
C0	Cover Sheet
C1	General Notes & Legend
C2	Site Plan
C3	Composite Site Plan
C4	Grading & Drainage Plan
C5	Utility Composite
C6	Sanitary Sewer Plan & Profile
C7	Water Line Plan & Profile
C8	Irrigation Plan
C9	Stormwater Management Plan
1	Ute Water District Standard Details
2	Ute Water District Standard Details



PROJECT OVERVIEW  
(1" = 100')

#### UTILITY CONTACTS

Sewer – City of Fruita	Contact.....970-858-9558
Water – Ute Water District	Contact.....970-242-7491
Electric – Grand Valley Power	Contact.....970-242-0040
Gas – Xcel Energy	Contact.....970-242-2626
Phone – CenturyLink	Contact.....970-244-4311
Cable – Charter Communications	Contact.....970-210-2550
Irrigation – Grand Valley Irrigation Company	Contact.....970-242-2762

#### DESIGN TEAM CONTACTS

<b>OWNER/DEVELOPER:</b> Karen Leonhart 460 N. Mesa St Fruita, CO 81521 970.250.4435 karenleonhart@gmail.com	<b>CIVIL:</b> RIVER CITY CONSULTANTS Ivan Geer, P.E. 744 Horizon Ct Suite 110 Grand Junction, CO 81506 970.241.4722 igeer@rccwest.com
--	---

PROJECT PHASE: Preliminary	DATE	ISSUED: 10-Mar-2023
	NO.	REVISION
DRAWN BY: kcc CHECKED BY: idg	PROJECT #:	1677-001
	ORIGINAL SHEET SIZE:	22 x 34
KAREN LEONHART Kismet Subdivision	COVER SHEET	Cover
	C1	



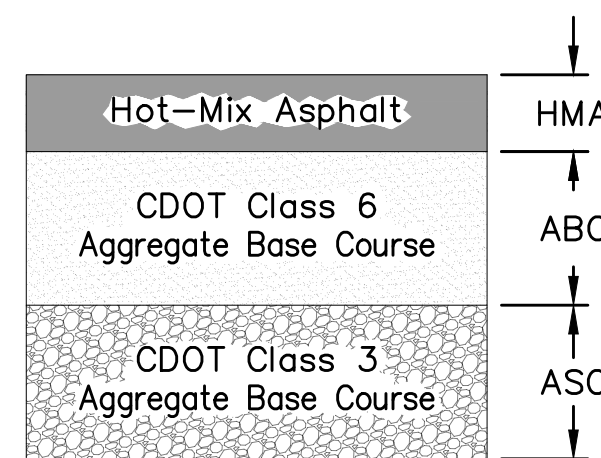
**GENERAL CONSTRUCTION NOTES**

1. All boundary linework, project control, underground utility locations, and topographic survey data shown hereon was provided by River City Consultants, Inc. Locations of underground utilities as shown hereon are based on visible evidence from above ground structures, markings by the respective utility companies and/or their locator services, and drawings provided by the utility companies. No excavations were made during this survey to determine exact locations and depths of underground utilities and structures. Actual locations may vary from those as shown hereon and additional underground utilities may exist. Existence and locations of all underground utilities and structures should be verified prior to any construction on this property.
2. Contractor shall give 48 hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior to commencement of work. Contractor shall assure himself that all construction permits have been obtained prior to commencement of work. All permits obtainable by the Contractor are required to be obtained at the Contractor's expense.
3. The Contractor shall limit construction activities to those areas within the project limits of disturbance and/or toes of slopes as shown on the plans and cross sections. Any disturbance beyond these limits shall be restored to the original condition by the contractor at the contractor's expense. Construction activities in addition to normal construction procedure shall include the parking of vehicles or equipment, disposal of debris or any other action which could alter the existing conditions. The contractor shall not stockpile or store equipment within 30 feet of the edge of traveled way during the project, unless protected by temporary barrier or existing guardrail.
4. All satisfactory excess excavation from either utility or street construction shall be spread uniformly across the lots as directed by the Owner or his designated representative. All unsatisfactory or waste material including vegetation, roots, concrete, rocks, or other debris, shall be hauled from the project by the Contractor at the Contractor's expense.
5. All road construction and related work, all materials, performance, and quality of work, shall conform to the requirements of the City of Fruita Standard Specifications.
6. All utility installations are to be performed in accordance with the technical specifications of the City of Fruita. All water and sewer lines must be tested and approved prior to street construction. All waterlines are to be constructed in accordance with the technical specifications of Ute Water District.
7. All sign fabrication and installation shall conform to the Manual on Uniform Traffic Control Devices (MUTCD) and City of Fruita standards.
8. All sewer, storm drain, and water lines shall be surveyed and shown on as-built drawings in three dimensions at each end and at all angle points.
9. Installation of all irrigation pipelines, facilities, and related appurtenances shall be constructed in accordance with USDA-NRCS and City of Fruita details and specifications.
10. All areas disturbed by construction activities shall be paved, landscaped, or revegetated with a certified weed-free native seed mix appropriate for site soils and conditions. These areas shall be maintained until a vegetative cover of at least 70% of pre-construction conditions exists. If necessary, additional topsoil, seed, mulch, and/or fertilizer should be applied to establish said vegetative cover.

**PAVING CONSTRUCTION NOTES**

1. All road widths, and radii are to flowline unless noted otherwise. Any "spot" design elevations are to flowline unless otherwise noted.
2. The top of existing ground or the top of areas cut to final grade are to be scarified, brought to the optimal water content, and recompacted to 95% of AASHTO T99 before placing fill or before base is placed.
3. Contractor is to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered or filled with dirt or debris by the Contractor shall be cleaned and repaired or replaced at no expense to the Owner.
4. Where proposed pavement is to match existing pavement, sawcut the existing pavement 1 foot back from the existing edge of and remove pavement. From the sawcut line, mill existing pavement half existing pavement depth (or a minimum of 2 inches), a width of 2 feet. Existing surface is to be tack-coated before new pavement is placed. See T-Lock detail, this sheet.
5. Include backing of curb and gutter and/or sidewalk with native fill material per the typical roadway section in the unit price bid for embankment.
6. Red-lined Record Drawings for concrete are required to be approved by the City prior to paving.
7. For site specific geotechnical requirements and recommendations, see the referenced geotechnical report which shall supersede all other geotechnical references:

Huddlestone-Berry Engineering & Testing, LLC  
 Geotechnical and Geologic Hazards Investigation  
 1024 19 Road  
 Fruita, Colorado  
 Project # 02594-0001  
 January 12, 2023



**Asphalt Pavement Section (NTS)**

\*Refer to Geotechnical Investigation for more details

**SANITARY SEWER CONSTRUCTION NOTES**

1. All sewer line construction shall conform to the City of Fruita's Standards and Specifications.
2. Contractor shall have one signed copy of plans and a copy of the City of Fruita's Standard Specifications at the job site at all times.
3. All sewer mains shall be PVC SDR-35 (ASTM 3034) unless otherwise noted.
4. All sewer mains shall be laid to grade utilizing a pipe laser.
5. All service line connections to new mains shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.
6. Service line connections to existing non-PVC mains shall be accomplished using "Inserta Tees" manufactured by Fowler Manufacturing Company of Hillsboro, Oregon. For existing PVC mains, tapping saddles shall be used.
7. 4 inch services shall not be connected directly into manholes. All 6 inch services shall be connected to the main at a manhole.
8. The contractor shall notify the City Inspector 48 hours prior to commencement of construction.
9. The contractor is responsible for all required sewer line testing to be completed in the presence of the engineer or his representative. Pressure testing will be performed after installation of dry utilities, after all compaction of street subgrade and prior to street paving. Final lamping will also be accomplished after paving is completed. These tests shall be the minimum basis of acceptance of the sewer line extension.
10. The contractor shall obtain City of Fruita street cut permit for all work within existing city right-of-way prior to construction.
11. A clay cut-off wall shall be placed 10 feet upstream from all new manholes unless otherwise noted. The cut-off wall shall extend from 6 inches below to 6 inches above granular backfill material and shall be 2 feet wide. If native material is not suitable, the contractor shall import material approved by the engineer.
12. Sewer service stub outs shall be capped and plugged. Stub out shall be marked with a 4x4 inch post painted green buried with 3 feet above grade. As-built surveying for vertical grade of stub out required prior to backfill.
13. Red line as-builts shall be submitted to the City Development Engineer at least 72 hours prior to paving for review.
14. The City of Fruita requires tracer wires for pipes and additional sanitary sewer clean-outs. Details are provided in the City's Standard Contract Documents.
15. Stop gravel bedding in service lines at lip of gutter.

**STORM DRAIN CONSTRUCTION NOTES**

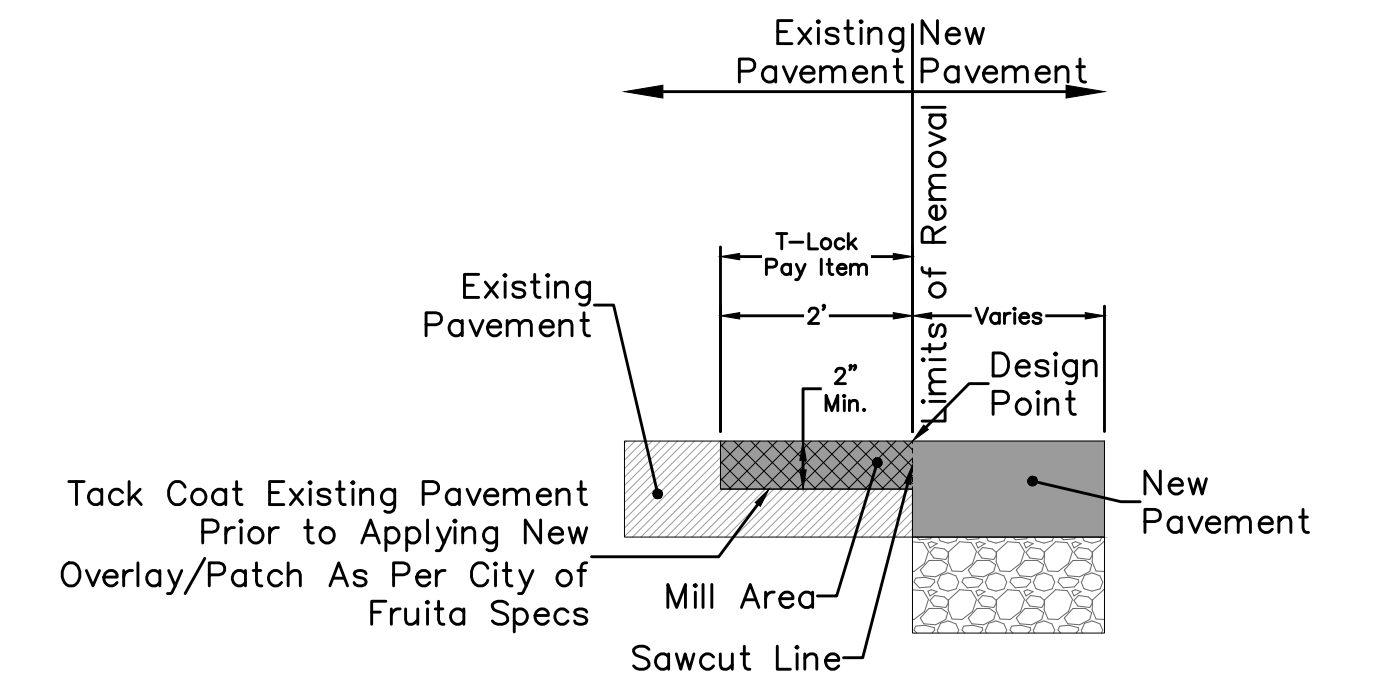
1. All Reinforced Concrete storm drain pipe shall conform to ASTM Standard Specifications, C-76, Class III unless otherwise noted.
2. All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR-35 unless otherwise noted.
3. All High Density Polyethylene (HDPE) pipe and fittings to conform to the following:  
 12 inch to 36 inch shall meet ASSHTO M294, and  
 42 inch to 48 inch shall meet ASSHTO MP6.
4. All 30 inch and larger HDPE pipe shall be covered to top of pipe with Class 6 base course.

**TESTING NOTES**

1. Contractor shall familiarize themselves with the geotechnical testing requirements of the City of Fruita. It shall be the responsibility of the Contractor to contact the Testing Firm 24 hours in advance of the need for testing, and to verify that the appropriate number of tests have been taken. The results of the required types of tests and number of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and re-tests shall be performed until passing results are obtained. All utility lines, including service lines, falling within the Public right-of-way or the Public easements shall be tested. Payment of testing is the Contractor's responsibility and shall not be paid for separately but shall be incidental to the work.
2. Only materials on which a proctor and accurate nuclear density test can be performed are approved for utility trench backfill, unless otherwise approved by the Engineer.
3. Backfilling of trenches without testing during the backfill operation is strongly discouraged and will result in removal and replacement of backfill back to the last documented passing test.

**WATERLINE CONSTRUCTION NOTES**

1. All water line construction shall be in accordance with the latest revision of the Ute Water District Standards and Specifications, available at [www.utewater.org/specifications](http://www.utewater.org/specifications).
2. Contractor shall notify the District 48 hours PRIOR to the beginning of construction.
3. All trenches shall be compacted according to the recommendations in the Geotechnical Report. Contractor shall be required to perform all compaction tests through a certified soils lab.
4. Minimum cover required over top of new waterlines is 4'-6" (54 inches).
5. All water mains to be DR-18 PVC conforming to AWWA C-900.
6. All water mains are to be bedded per City of Fruita Standards.
7. All service connections to be 3/4 inch Type "K" copper, unless specified otherwise.
8. Ductile iron fittings to conform to AWWA C-153.
9. Fire Hydrants shall conform to AWWA C-502.
10. All materials, labor and equipment required for testing and disinfection of waterlines shall be furnished by Contractor. Disinfection of waterlines shall conform to Ute Water District Standards.
11. All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per the District Details and Technical Specifications.
12. Only material on which a proctor test can be performed and accurate nuclear density tests can be run are approved for waterline trench backfill unless otherwise approved by the Engineer.
13. All water meter pits shall be located on opposite lot side of dry utility transformers and pedestals. There shall be no dry utility transformers/pedestals located within five feet of any fire hydrant. These are utility/customer/consumer safety issues.
14. No privacy fences are to be allowed to enclose meter pits or fire hydrants located within streets & road ROWs and multi-purpose easements.
15. Stop gravel bedding in service lines at lip of gutter.
16. Domestic water shall not be used for irrigation. Developer must secure irrigation rights/water for irrigation purposes, water taps/meters will not be sold for irrigation of landscaping.
17. Water is tied to the parcel it is intended to serve and shall not be conveyed from one parcel to another.



**T-Lock Detail (N.T.S.)**

**Pavement Section Table\***

Pavement Section Option	Material (inches)		
	HMA	ABC	ASC
Option A	3	16	0
Option B	4	13	0
Option C	3	6	14

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

ACCEPTANCE BLOCK

The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

Ute Water District Representative \_\_\_\_\_ Date \_\_\_\_\_

City of Fruita Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 938-1  
 SE 1/4, SW 1/4, Sec 8, T1N, R2W, UM  
 Intersection of K Rd & N Mesa St  
 NORTHING: 71193.35  
 EASTING: 43292.42  
 ELEVATION: 4508.48  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

PROJECT PHASE: Preliminary		DATE ISSUED: 10.Mar.2023	
NO.	DATE	REVISION	BY

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201  
 Grand Junction, CO 81501  
 Phone: 970.241.4722  
 Fax: 970.241.8841  
 www.rcwest.com

DRAWN BY: kac PROJECT: 1677-001  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**KAREN LEONHART**  
 Kismet Subdivision  
 Legend & Abbreviations & General Notes

**PRELIMINARY**



North Mesa Street

East Otley Avenue (K Road)

2697-083-00-093  
 Zone:  
 Maria Garcia-Gonzalez  
 Jorge Alvarado  
 105 E Otley Ave  
 Acreage: 0.341

2697-083-00-021  
 Zone:  
 Peter F Wortmann  
 115 E Otley Ave  
 Acreage: 0.437

2697-083-00-105  
 Zone:  
 Debra Burford  
 Douglas W Haller  
 445 N Mulberry St  
 Acreage: 0.759

**ZONING SUMMARY**  
 Zoning: CR  
 Min Lot Size: 5,000 SF  
 Min Lot Width: N/A  
 Min Lot Frontage: N/A  
 Min Setbacks  
 Front: 25 FT  
 Rear: 15 FT  
 Side: 5 FT  
 Max Height (Building): 35 FT  
 Max Height (Stories): N/A  
 Max Lot Coverage: 60%  
 Max Building Size: 7,000 SF

**Site Breakdown**

Lots (3)	1.433 ac	98.4%
Tract A (Shared Driveway)	0.023 ac	1.6%
Total	1.456 ac	100.0%

**UTILITY PROVIDERS**

DRAINAGE	GRAND VALLEY DRAINAGE DISTRICT
WATER	UTE WATER DISTRICT
SEWER	CITY OF FRUITA
GAS	XCEL ENERGY
ELECTRIC	GRAND VALLEY POWER
IRRIGATION	GRAND VALLEY IRRIGATION COMPANY
TELEPHONE	CENTURYLINK
CABLE TV	CHARTER COMMUNICATIONS

**BASIS OF BEARINGS**  
 THE BEARINGS HEREON ARE GRID BEARINGS OF THE MESA COUNTY LOCAL COORDINATE SYSTEM ZONE "GVA".

**MCLCS\_ZONE "GVA"**  
 TRANSVERSE MERCATOR PROJECTION  
 POINT OF ORIGIN (SN01) AND CENTRAL MERIDIAN:  
 LATITUDE: 39°06'22.72756"N  
 LONGITUDE: 108°32'01.43463"W  
 NORTHING: 50,000FT  
 EASTING: 100,000FT  
 SCALE FACTOR: 1.000218181798  
 PROJECT/SCALE FACTOR HEIGHT: 4644FT(NAVD88)

- Notes:**
- Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
  - This site contains previously determined floodplain limits for Little Salt Wash as shown on FEMA Map Number 08077CO436F. This map provides the Zone AE and Zone X delineations for areas of the 1% annual chance flood and the 2% annual chance flood, respectively.
  - The legend and a list of abbreviations can be found on sheet C1.

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCMS 938-1  
 SE 1/4, SW 1/4, Sec 8, T1N, R2W, UM  
 Intersection of K Rd & N Mesa St  
 NORTHING: 71193.35  
 EASTING: 43292.42  
 ELEVATION: 4508.48  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

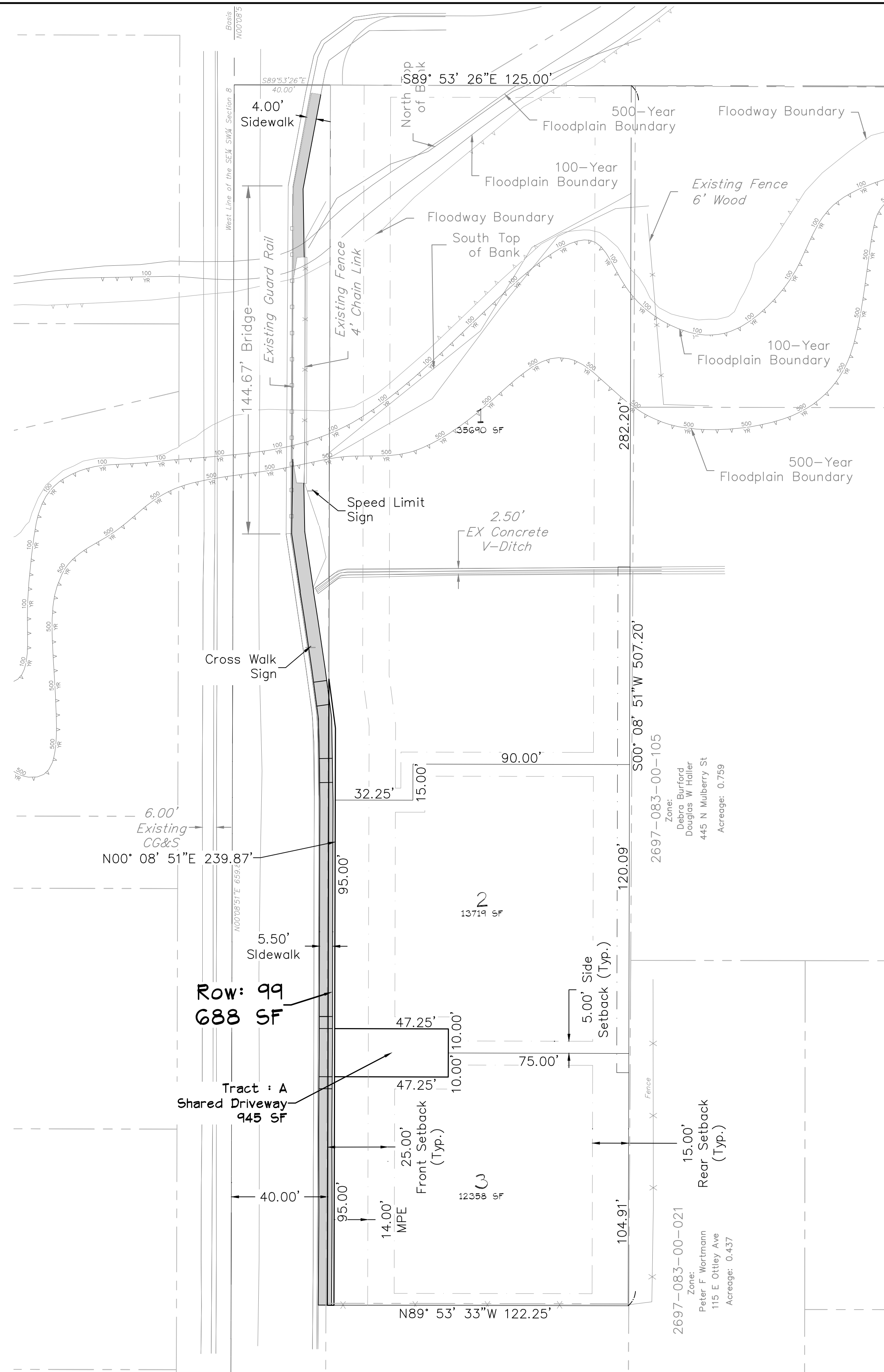
**SCALE (FEET)**  
 HORIZONTAL: 0 20 40  
 VERTICAL: N/A

PROJECT PHASE: Preliminary DATE ISSUED:

NO.	DATE	REVISION	BY

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501  
 Phone: 970.241.4722 Fax: 970.241.8841  
 DRAWN BY: kac PROJECT: 1677-001  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**KAREN LEONHART**  
 Kismet Subdivision  
 Site Plan  
 C3



STATE OF COLORADO )  
 COUNTY OF MESA )

I certify that this instrument was filed in my office at \_\_\_\_\_ o'clock \_\_ M., on the \_\_\_\_\_ day

of \_\_\_\_\_ A.D. and was recorded in Plat Book \_\_\_\_\_ Page No. \_\_\_\_\_

Reception No. \_\_\_\_\_, Drawer No. \_\_\_\_\_, Fees \_\_\_\_\_

By: \_\_\_\_\_  
 Clerk and Recorder Deputy

Separate Instruments Recorded In Conjunction With This Site Plan

Plat..... Rec. # \_\_\_\_\_

Covenants..... Rec. # \_\_\_\_\_

**BASIS OF BEARINGS**

THE BEARINGS HEREON ARE GRID BEARINGS OF THE MESA COUNTY LOCAL COORDINATE SYSTEM ZONE "GVA".

**MCLCS ZONE "GVA"**

TRANSVERSE MERCATOR PROJECTION  
 POINT OF ORIGIN (SN01) AND CENTRAL MERIDIAN:  
 LATITUDE: 39°06'22.72756"N  
 LONGITUDE: 108°32'01.43463"W  
 NORTHING: 50,000FT  
 EASTING: 100,000FT  
 SCALE FACTOR: 1.000218181798  
 PROJECT/SCALE FACTOR HEIGHT: 4644FT(NAVD88)

**Project Benchmark**  
 MCSM 938-1  
 SE 1/4, SW 1/4, Sec 8, T1N, R2W, UM  
 Intersection of  
 K Rd & N Mesa St  
 Northing: 71193.35  
 Easting: 43292.42  
 Elevation: 4508.48  
 Datum Source: MCLCS Zone "GVA" (NAVD88)

Site Breakdown		
Lots (3)	1.433 ac	98.4%
Tract A (Shared Driveway)	0.023 ac	1.6%
<b>Total</b>	<b>1.456 ac</b>	<b>100.0%</b>

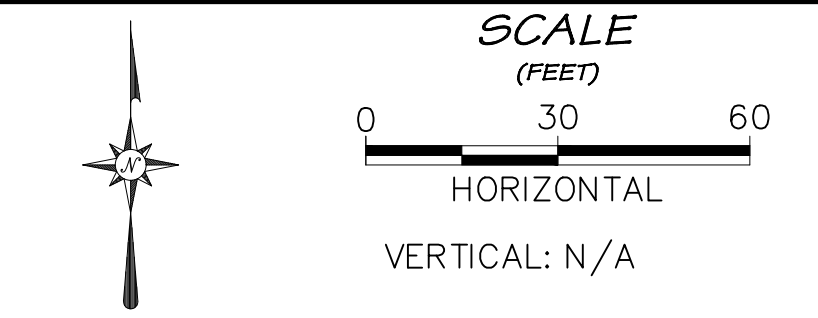
**Notes:**

- This site contains previously determined floodplain limits for Little Salt Wash as shown on FEMA Map Number 08077C0436F. This map provides the Zone AE and Zone X delineations for areas of the 1% annual chance flood and the 2% annual chance flood, respectively.
- Lot owners shall comply with individual grading requirements as shown on this Composite Site Plan.

APPROVED FOR RECORDING.  
 City of Fruita Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811 UNCC**  
 Know what's below. Call before you dig.  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 938-1  
 SE 1/4, SW 1/4, Sec 8, T1N, R2W, UM  
 Intersection of K Rd & N Mesa St  
 NORTHING: 71193.35  
 EASTING: 43292.42  
 ELEVATION: 4508.48  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary		DATE ISSUED: 10.Mar.2023	
NO.	DATE	REVISION	BY

**PR. LIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: kac PROJECT: 1677-001  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**KAREN LEONHART**  
 Kismet Subdivision  
 Site Plan Composite



North Mesa Street

East Otley Avenue (K Road)

2697-083-00-093  
 Zone:  
 Maria Garcia-Gonzalez  
 Jorge Alvarado  
 105 E Otley Ave  
 Acreage: 0.341

2697-083-00-021  
 Zone:  
 Peter F Wortmann  
 115 E Otley Ave  
 Acreage: 0.437

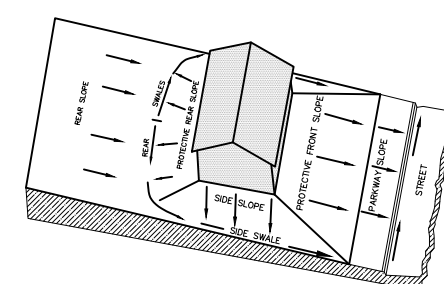
2697-083-00-105  
 Zone:  
 Debra Burford  
 Douglas W Haller  
 445 N Mulberry St  
 Acreage: 0.759

Tract : A  
 Shared Driveway  
 945 SF

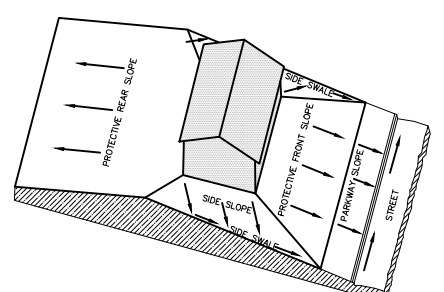
Row: 99  
 688 SF

Notes:

- The locations of underground utilities as shown hereon are based on visible evidence from above ground structures, markings by the respective utility companies and/or their locator services, and drawings provided by the utility companies. No excavations were made during this survey to determine exact locations and depths of underground utilities and structures. Actual locations may vary slightly from those as shown hereon and additional underground utilities may exist. Existence and locations of all underground utilities and structures should be verified prior to any construction on this property.
- This site contains previously determined floodplain limits for Little Salt Wash as shown on FEMA Map Number 08077C0436F. This map provides the Zone AE and Zone X delineations for areas of the 1% annual chance flood and the 2% annual chance flood, respectively.
- The legend and a list of abbreviations can be found on the general notes and legend (sheet C1).
- Contractor shall use caution when working on irrigation lines near neighboring properties and coordinate any service interruptions with affected property owners. Contractor shall be responsible for any required relocation of irrigation systems and/or repair of damage to irrigation systems caused by construction activities.



LOT GRADING - TYPE A  
 ALL DRAINAGE TO STREET



LOT GRADING - TYPE B  
 DRAINAGE BOTH TO STREET  
 AND TO REAR LOT LINE

UTILITY PROVIDERS

DRAINAGE	GRAND VALLEY DRAINAGE DISTRICT
WATER	UTE WATER DISTRICT
SEWER	CITY OF FRUITA
GAS	XCEL ENERGY
ELECTRIC	GRAND VALLEY POWER
IRRIGATION	GRAND VALLEY IRRIGATION COMPANY
TELEPHONE	CENTURYLINK
CABLE TV	CHARTER COMMUNICATIONS

BASIS OF BEARINGS

THE BEARINGS HEREON ARE GRID BEARINGS OF THE MESA COUNTY LOCAL COORDINATE SYSTEM ZONE "GVA".

MCLCS\_ZONE "GVA"

TRANSVERSE MERCATOR PROJECTION  
 POINT OF ORIGIN (SN01) AND CENTRAL MERIDIAN:  
 LATITUDE: 39°06'22.72756"N  
 LONGITUDE: 108°32'01.43463"W  
 NORTHING: 50,000FT  
 EASTING: 100,000FT  
 SCALE FACTOR: 1.000218181798  
 PROJECT/SCALE FACTOR HEIGHT: 4644FT(NAVD88)

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

UTE Water District \_\_\_\_\_ Date \_\_\_\_\_

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

Grand Valley Drainage District Representative \_\_\_\_\_ Date \_\_\_\_\_

ACCEPTANCE BLOCK

The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_



UNCC  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Project Benchmark  
 MCSM 938-1  
 SE 1/4, SW 1/4, Sec 8, T1N, R2W, UM  
 Intersection of K Rd & N Mesa St  
 NORTHING: 71193.35  
 EASTING: 43292.42  
 ELEVATION: 4508.48  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



SCALE  
 (FEET)  
 0 20 40  
 HORIZONTAL  
 VERTICAL: N/A  
 CONTOUR INTERVAL: 1 FT

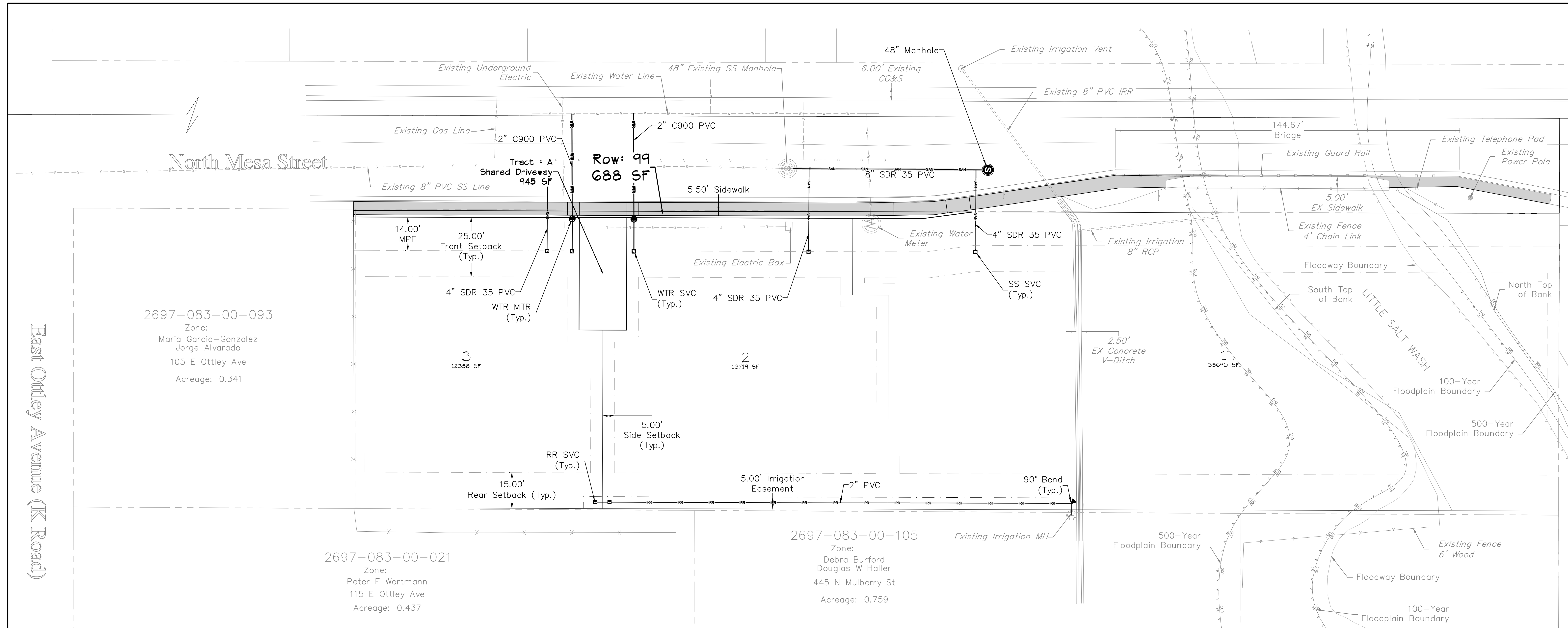
PROJECT PHASE: Preliminary		DATE ISSUED: 10.Mar.2023	
NO.	DATE	REVISION	BY

PRELIMINARY

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 www.rcwconsult.com Fax: 970.241.8841  
 DRAWN BY: kac PROJECT: 1677-001  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**KAREN LEONHART**  
 Kismet Subdivision  
 Grading Plan





2697-083-00-093  
 Zone:  
 Maria Garcia-Gonzalez  
 Jorge Alvarado  
 105 E Otley Ave  
 Acreage: 0.341

2697-083-00-021  
 Zone:  
 Peter F Wortmann  
 115 E Otley Ave  
 Acreage: 0.437

2697-083-00-105  
 Zone:  
 Debra Burford  
 Douglas W Haller  
 445 N Mulberry St  
 Acreage: 0.759

East Otley Avenue (K Road)

- Notes:**
- The locations of underground utilities as shown hereon are based on visible evidence from above ground structures, markings by the respective utility companies and/or their locator services, and drawings provided by the utility companies. No excavations were made during this survey to determine exact locations and depths of underground utilities and structures. Actual locations may vary slightly from those as shown hereon and additional underground utilities may exist. Existence and locations of all underground utilities and structures should be verified prior to any construction on this property.
  - This site contains previously determined floodplain limits for Little Salt Wash as shown on FEMA Map Number 08077C0436F. This map provides the Zone AE and Zone X delineations for areas of the 1% annual chance flood and the 2% annual chance flood, respectively.
  - The legend and a list of abbreviations can be found on the general notes and legend (sheet C1).
  - Contractor shall use caution when working on irrigation lines near neighboring properties and coordinate any service interruptions with affected property owners. Contractor shall be responsible for any required relocation of irrigation systems and/or repair of damage to irrigation systems caused by construction activities.

UTILITY PROVIDERS	
DRAINAGE	GRAND VALLEY DRAINAGE DISTRICT
WATER	UTE WATER DISTRICT
SEWER	CITY OF FRUITA
GAS	XCEL ENERGY
ELECTRIC	GRAND VALLEY POWER
IRRIGATION	GRAND VALLEY IRRIGATION COMPANY
TELEPHONE	CENTURYLINK
CABLE TV	CHARTER COMMUNICATIONS

**BASIS OF BEARINGS**  
 THE BEARINGS HEREON ARE GRID BEARINGS OF THE MESA COUNTY LOCAL COORDINATE SYSTEM ZONE "GVA".

**MCLCS\_ZONE "GVA"**  
 TRANSVERSE MERCATOR PROJECTION  
 POINT OF ORIGIN (SNO1) AND CENTRAL MERIDIAN:  
 LATITUDE: 39°06'22.72756"N  
 LONGITUDE: 108°32'01.43463"W  
 NORTHING: 50,000FT  
 EASTING: 100,000FT  
 SCALE FACTOR: 1.000218181798  
 PROJECT/SCALE FACTOR HEIGHT: 4644FT(NAVD88)

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

**811**  
 Know what's below.  
 Call before you dig.  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 938-1  
 SE 1/4, SW 1/4, Sec 8, T1N, R2W, UM  
 Intersection of K Rd & N Mesa St  
 NORTHING: 71193.35  
 EASTING: 43292.42  
 ELEVATION: 4508.48  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
(FEET)

HORIZONTAL  
 VERTICAL: N/A

PROJECT PHASE: Preliminary		DATE ISSUED: 10.Mar.2023	
NO.	DATE	REVISION	BY

**RIVER CITY**  
 CONSULTANTS

215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
 Grand Junction, CO 81501 Fax: 970.241.8841  
 www.rcwest.com

DRAWN BY: kac PROJECT: 1677-001  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**KAREN LEONHART**  
 Kismet Subdivision  
 Utility Composite



North Mesa Street

East Otley Avenue (K Road)

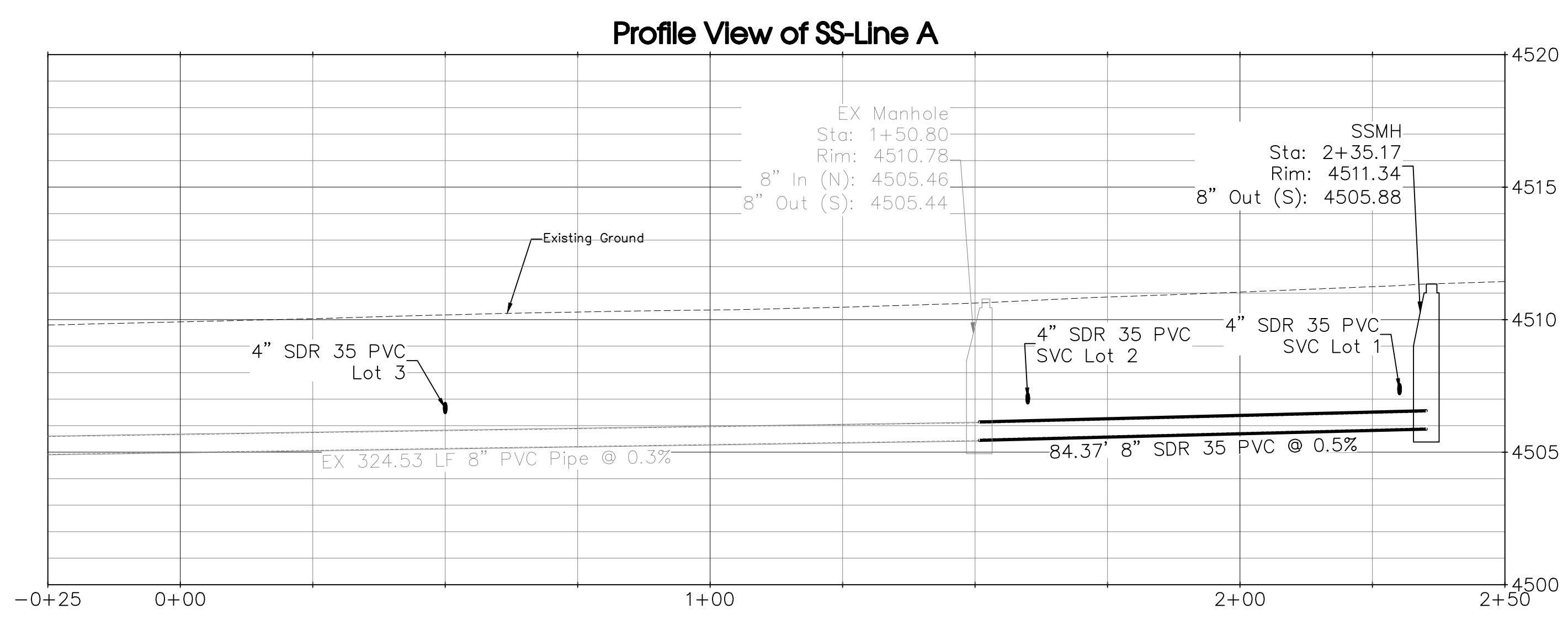
2697-083-00-093  
 Zone:  
 Maria Garcia-Gonzalez  
 Jorge Alvarado  
 105 E Otley Ave  
 Acreage: 0.341

2697-083-00-021  
 Zone:  
 Peter F Wortmann  
 115 E Otley Ave  
 Acreage: 0.437

2697-083-00-105  
 Zone:  
 Debra Burford  
 Douglas W Haller  
 445 N Mulberry St  
 Acreage: 0.759

UTILITY PROVIDERS	
DRAINAGE	GRAND VALLEY DRAINAGE DISTRICT
WATER	UTE WATER DISTRICT
SEWER	CITY OF FRUITA
GAS	XCEL ENERGY
ELECTRIC	GRAND VALLEY POWER
IRRIGATION	GRAND VALLEY IRRIGATION COMPANY
TELEPHONE	CENTURYLINK
CABLE TV	CHARTER COMMUNICATIONS

- Notes:**
- The locations of underground utilities as shown hereon are based on visible evidence from above ground structures, markings by the respective utility companies and/or their locator services, and drawings provided by the utility companies. No excavations were made during this survey to determine exact locations and depths of underground utilities and structures. Actual locations may vary slightly from those as shown hereon and additional underground utilities may exist. Existence and locations of all underground utilities and structures should be verified prior to any construction on this property.
  - This site contains previously determined floodplain limits for Little Salt Wash as shown on FEMA Map Number 08077C0436F. This map provides the Zone AE and Zone X delineations for areas of the 1% annual chance flood and the 2% annual chance flood, respectively.
  - The legend and a list of abbreviations can be found on the general notes and legend (sheet C1).
  - Contractor shall use caution when working on irrigation lines near neighboring properties and coordinate any service interruptions with affected property owners. Contractor shall be responsible for any required relocation of irrigation systems and/or repair of damage to irrigation systems caused by construction activities.



**BASIS OF BEARINGS**  
 THE BEARINGS HEREON ARE GRID BEARINGS OF THE MESA COUNTY LOCAL COORDINATE SYSTEM ZONE "GVA".

**MCLCS ZONE "GVA"**  
 TRANSVERSE MERCATOR PROJECTION  
 POINT OF ORIGIN (SN01) AND CENTRAL MERIDIAN:  
 LATITUDE: 39°06'22.72756"N  
 LONGITUDE: 108°32'01.43463"W  
 NORTHING: 50,000FT  
 EASTING: 100,000FT  
 SCALE FACTOR: 1.000218181798  
 PROJECT/SCALE FACTOR HEIGHT: 4644FT (NAVD88)

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record.  
 Construction must commence within one year from the date of plan signature.  
 City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 938-1  
 SE 1/4, SW 1/4, Sec 8, T1N, R2W, UM  
 Intersection of K Rd & N Mesa St  
 NORTHING: 71193.35  
 EASTING: 43292.42  
 ELEVATION: 4508.48  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
 HORIZONTAL: 1" = 40'  
 VERTICAL: 1" = 4'  
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary		DATE ISSUED: 10.Mar.2023	
NO.	DATE	REVISION	BY

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201  
 Grand Junction, CO 81501  
 Phone: 970.241.4722  
 Fax: 970.241.8841  
 www.rcwest.com

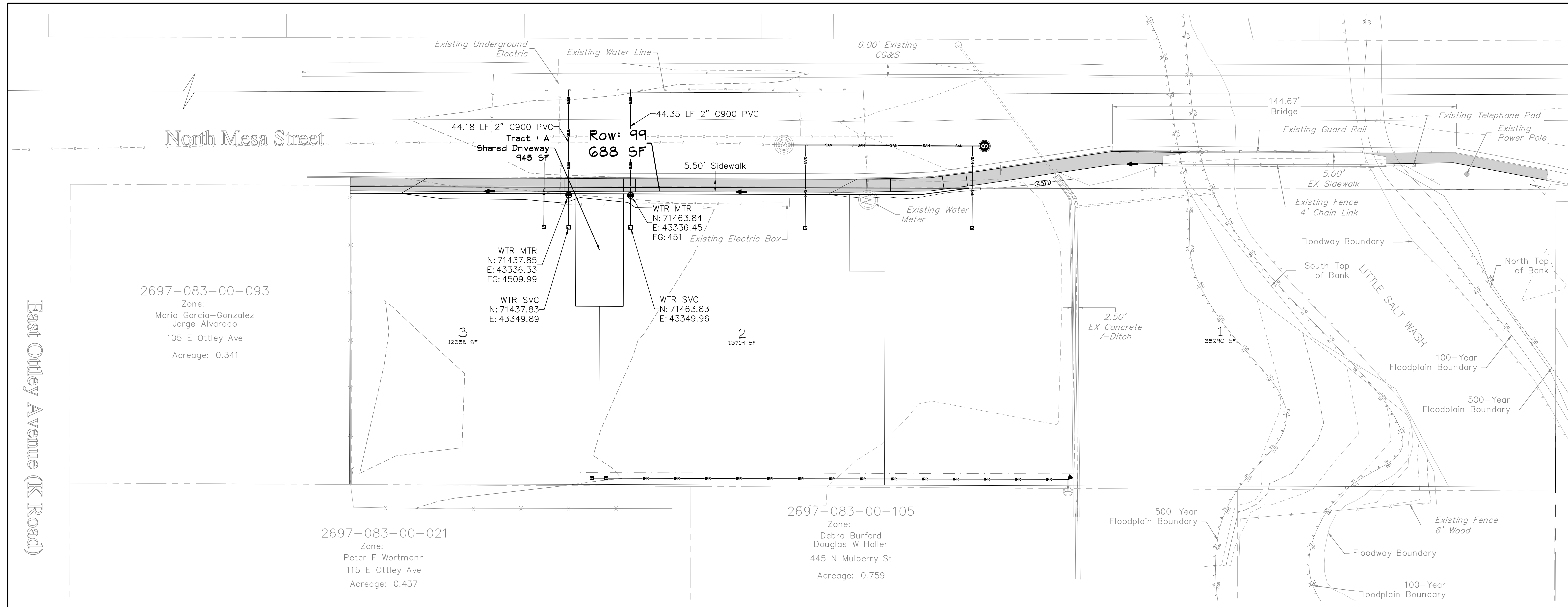
**PRELIMINARY**

DRAWN BY: kac  
 CHECKED BY: idg  
 PROJECT: 1677-001  
 ORIGINAL SHEET SIZE: 22 x 34

**KAREN LEONHART**  
 Kismet Subdivision  
 Sanitary Sewer Plan & Profile

S:\PROJECTS\1677\_Ryan\_Leonhart\Design\DWG\02-Linework\1677-001-Design.dwg [06, SS PnP] 3/16/2023 1:00:27 PM





East Otley Avenue (K Road)

2697-083-00-093  
 Zone:  
 Maria Garcia-Gonzalez  
 Jorge Alvarado  
 105 E Otley Ave  
 Acreage: 0.341

2697-083-00-021  
 Zone:  
 Peter F Wortmann  
 115 E Otley Ave  
 Acreage: 0.437

2697-083-00-105  
 Zone:  
 Debra Burford  
 Douglas W Haller  
 445 N Mulberry St  
 Acreage: 0.759

UTILITY PROVIDERS	
DRAINAGE	GRAND VALLEY DRAINAGE DISTRICT
WATER	UTE WATER DISTRICT
SEWER	CITY OF FRUITA
GAS	XCEL ENERGY
ELECTRIC	GRAND VALLEY POWER
IRRIGATION	GRAND VALLEY IRRIGATION COMPANY
TELEPHONE	CENTURYLINK
CABLE TV	CHARTER COMMUNICATIONS

- Notes:**
- The locations of underground utilities as shown hereon are based on visible evidence from above ground structures, markings by the respective utility companies and/or their locator services, and drawings provided by the utility companies. No excavations were made during this survey to determine exact locations and depths of underground utilities and structures. Actual locations may vary slightly from those as shown hereon and additional underground utilities may exist. Existence and locations of all underground utilities and structures should be verified prior to any construction on this property.
  - This site contains previously determined floodplain limits for Little Salt Wash as shown on FEMA Map Number 08077C0436F. This map provides the Zone AE and Zone X delineations for areas of the 1% annual chance flood and the 2% annual chance flood, respectively.
  - The legend and a list of abbreviations can be found on the general notes and legend (sheet C1).
  - Contractor shall use caution when working on irrigation lines near neighboring properties and coordinate any service interruptions with affected property owners. Contractor shall be responsible for any required relocation of irrigation systems and/or repair of damage to irrigation systems caused by construction activities.

**BASIS OF BEARINGS**  
 THE BEARINGS HEREON ARE GRID BEARINGS OF THE MESA COUNTY LOCAL COORDINATE SYSTEM ZONE "GVA".

**MCLCS ZONE "GVA"**  
 TRANSVERSE MERCATOR PROJECTION  
 POINT OF ORIGIN (SN01) AND CENTRAL MERIDIAN:  
 LATITUDE: 39°06'22.72756"N  
 LONGITUDE: 108°32'01.43463"W  
 NORTHING: 50,000FT  
 EASTING: 100,000FT  
 SCALE FACTOR: 1.000218181798  
 PROJECT/SCALE FACTOR HEIGHT: 4644FT(NAVD88)

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below. Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 938-1  
 SE 1/4, SW 1/4, Sec 8, T1N, R2W, UM  
 Intersection of K Rd & N Mesa St  
 NORTHING: 71193.35  
 EASTING: 43292.42  
 ELEVATION: 4508.48  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**  
 HORIZONTAL: 0 20 40  
 VERTICAL: N/A  
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary		DATE ISSUED: 10.Mar.2023	
NO.	DATE	REVISION	BY

**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201  
 Grand Junction, CO 81501  
 Phone: 970.241.4722  
 Fax: 970.241.8841  
 www.rcwest.com

DRAWN BY: kac PROJECT: 1677-001  
 CHECKED BY: idg  
 ORIGINAL SHEET SIZE: 22 x 34

**KAREN LEONHART**  
 Kismet Subdivision  
 Water Line Plan & Profile



North Mesa Street

East Otley Avenue (K Road)

2697-083-00-093  
 Zone:  
 Maria Garcia-Gonzalez  
 Jorge Alvarado  
 105 E Otley Ave  
 Acreage: 0.341

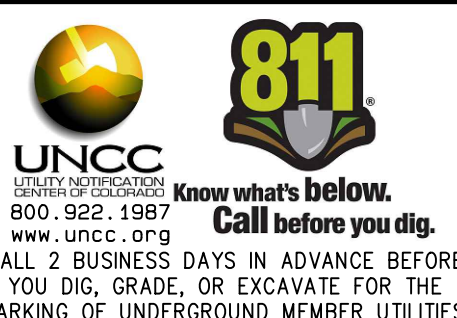
2697-083-00-021  
 Zone:  
 Peter F Wortmann  
 115 E Otley Ave  
 Acreage: 0.437

2697-083-00-105  
 Zone:  
 Debra Burford  
 Douglas W Haller  
 445 N Mulberry St  
 Acreage: 0.759

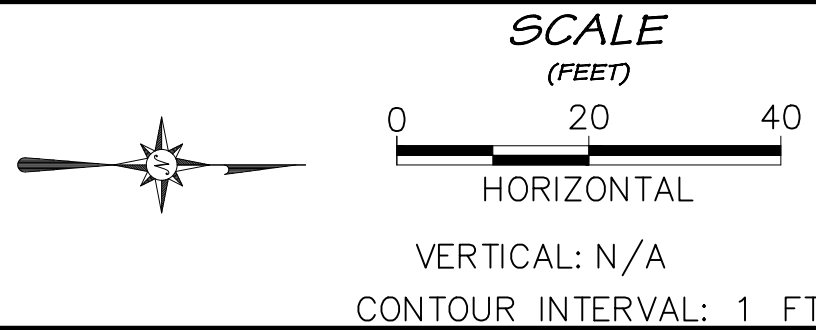
UTILITY PROVIDERS	
DRAINAGE	GRAND VALLEY DRAINAGE DISTRICT
WATER	UTE WATER DISTRICT
SEWER	CITY OF FRUITA
GAS	XCEL ENERGY
ELECTRIC	GRAND VALLEY POWER
IRRIGATION	GRAND VALLEY IRRIGATION COMPANY
TELEPHONE	CENTURYLINK
CABLE TV	CHARTER COMMUNICATIONS

**BASIS OF BEARINGS**  
 THE BEARINGS HEREON ARE GRID BEARINGS OF THE MESA COUNTY LOCAL COORDINATE SYSTEM ZONE "GVA".

**MCLCS ZONE "GVA"**  
 TRANSVERSE MERCATOR PROJECTION  
 POINT OF ORIGIN (SN01) AND CENTRAL MERIDIAN:  
 LATITUDE: 39°06'22.72756"N  
 LONGITUDE: 108°32'01.43463"W  
 NORTHING: 50,000FT  
 EASTING: 100,000FT  
 SCALE FACTOR: 1.000218181798  
 PROJECT/SCALE FACTOR HEIGHT: 4644FT(NAVD88)



**Project Benchmark**  
 MCSM 938-1  
 SE 1/4, SW 1/4, Sec 8, T1N, R2W, UM  
 Intersection of K Rd & N Mesa St  
 NORTHING: 71193.35  
 EASTING: 43292.42  
 ELEVATION: 4508.48  
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary		DATE ISSUED: 10.Mar.2023	
NO.	DATE	REVISION	BY

**PRELIMINARY**

**RIVER CITY CONSULTANTS**  
 215 Pitkin Avenue, Unit 201  
 Grand Junction, CO 81501  
 Phone: 970.241.4722  
 Fax: 970.241.8841  
 www.rcwest.com

DRAWN BY: kae PROJECT: 1677-001  
 CHECKED BY: idg

ORIGINAL SHEET SIZE: 22 x 34

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record.  
 Construction must commence within one year from the date of plan signature.

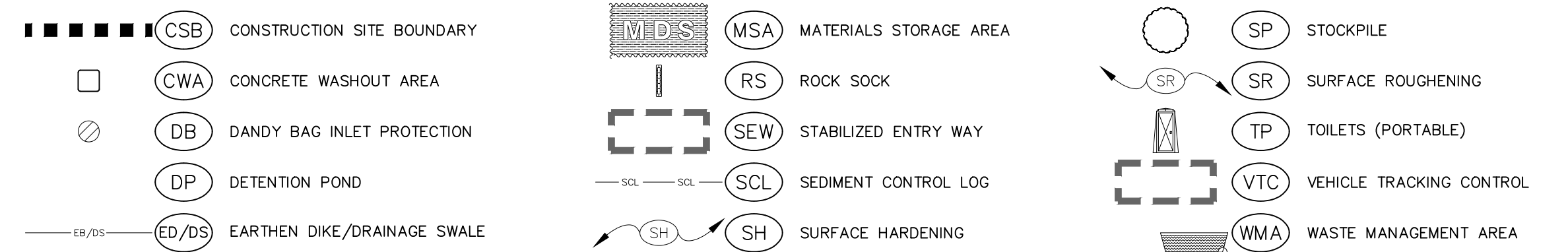
City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**KAREN LEONHART**  
 Kismet Subdivision  
 Irrigation Plan & Profile



### BMP LEGEND

Installation details and maintenance guidelines for the above erosion control measures can be found in the written Construction Stormwater Management Plan for this project, CDOT standards, on Denver's Urban Drainage and Flood Control District website, and various manufacturer's websites. Variations from these standards shall be approved by the CSWMP Administrator prior to installation. This list is not considered complete or absolute, additional methods can and should be added to this plan if required. This CSWMP should be kept current and modified appropriately by the CSWMP Administrator based on actual field conditions and the Contractor's means and methods.



#### GENERAL STORMWATER MANAGEMENT NOTES

- CSWMP Administrator (Local Contact)  
Name: \_\_\_\_\_ Phone: \_\_\_\_\_
- Refer to the written construction stormwater management plan for bmp details and additional information.
- BMPs shown are schematic only, adjustments may be necessary to fit actual field conditions.
- The project area is equal to the estimated total area of disturbance which is approximately 6.8 acres.
- At all times during construction, erosion and sediment control shall be maintained by the contractor.
- Erosion control measures shall be installed as the work (grading) progresses.
- Negative impacts to downstream areas (or receiving waters) caused by earthwork and/or construction to be monitored and corrected by the contractor.
- The first BMP to be installed on the site shall be construction fence, markers, or other approved means of defining the limits of construction.
- Natural vegetation shall be retained and protected wherever possible. Exposure of soil to erosion by removal or disturbance of vegetation shall be limited to the area required for immediate construction operations.
- All construction traffic must enter/exit the site through the CSWMP-approved access points.
- The locations of underground utilities as shown hereon are based on visible evidence from above ground structures, markings by the respective utility companies and/or their locator services, and drawings provided by the utility companies. No excavations were made during this survey to determine exact locations and depths of underground utilities and structures. Actual locations may vary slightly from those as shown hereon and additional underground utilities may exist. Existence and locations of all underground utilities and structures should be verified prior to any construction on this property.
- This site is not affected by a previously determined floodplain.
- All lots are "Type A" lots (i.e. runoff from the lot drains to the street) or "Type B" lots (i.e. runoff from the lot drains to the street and to the rear lot line).
- The legend and a list of abbreviations can be found on the General Notes & Legend (Sheet C1).

#### SITE DESCRIPTION

- The project location is 1062 18 Road. In more legal terms, it is located in the Southwest 1/4 of the Northwest 1/4 of Section 16, Township 1 North, Range 2 West of the Ute Meridian.
- Stormwater from this site will be discharged from the site through a series of existing ditches, culverts, and other drainage features. Drainage for this area generally flows northeast to southwest.
- The receiving body of water is the Colorado River, approximately 1.9 miles from the project site.
- Construction activity will consist of, in the following order: site marking, establishment of perimeter stormwater BMPs, site clearing, topsoil removal and stockpiling, installation of utilities, roads, and buildings, landscaping, and final seeding. Intermediate stormwater BMPs will be installed and maintained throughout construction as required by the contractor's means and methods.
- The primary contaminant of concern for this project is sediment. The proposed erosion controls have been selected and placed to mitigate the potential for sediment transport from the project area.
- Existing vegetation on the project area consists primarily of fallow agricultural land in fair condition. Undisturbed portions of the project area are approximately 50-75% vegetated.
- The 100 year runoff rational coefficients for this project are 0.20 for undeveloped areas and 0.42 for developed areas.

#### EROSION CONTROL MEASURES (PERFORMANCE STANDARDS)

The general requirements for erosion control work shall be as follows:

- Any grading shall be conducted in such a manner to effectively reduce accelerated soil erosion and resulting sedimentation.
- All grading shall be designed, constructed, and completed to minimize the size and duration of exposed (unvegetated) area.
- Sediment caused by accelerated soil erosion shall be captured and removed from runoff water prior to leaving the site.
- Any temporary or permanent facility designed and constructed for the conveyance of water around, through, or from the graded area shall be designed to limit the water flow to a non-erosive velocity.
- Temporary soil erosion control facilities shall be removed and areas graded and stabilized with permanent soil erosion control measures.
- All BMPs will be in place prior to any major earthwork.

#### DURING CONSTRUCTION (TEMPORARY MEASURES)

- Material stockpiles shall be bermed around their perimeter to prevent runoff pollution.
- Place wattles and/or berm down gradient of disturbed areas and stockpiles.
- Compact soil and topsoil to the requirements as stated in the Geotechnical recommendations and finish grade to elevations shown on the site plan. Eliminate any low spots prior to final stabilization.
- Contractor shall have a water truck made available to assist in controlling moisture content and dust and wind erosion.
- Soils that will be stockpiled for more than thirty (30) days shall be seeded and mulched within fourteen (14) days of stockpile construction. No stockpiles shall be placed within one hundred (100) feet of a drainage way unless approved by the CSWMP Administrator.
- The cleaning of concrete delivery truck chutes is restricted to approved concrete wash out locations on the job site. The discharge of water containing waste concrete to the storm system is prohibited. All concrete waste shall be properly cleaned up and disposed at an appropriate location.

#### AFTER CONSTRUCTION (PERMANENT MEASURES)

- All areas disturbed by construction activities shall be paved, landscaped, or revegetated with a certified weed-free native seed mix appropriate for site soils and conditions. These areas shall be maintained until a vegetative cover of at least 70% of pre-construction conditions exists. If necessary, additional topsoil, seed, mulch, and/or fertilizer should be applied to establish said vegetative cover.

#### MAINTENANCE

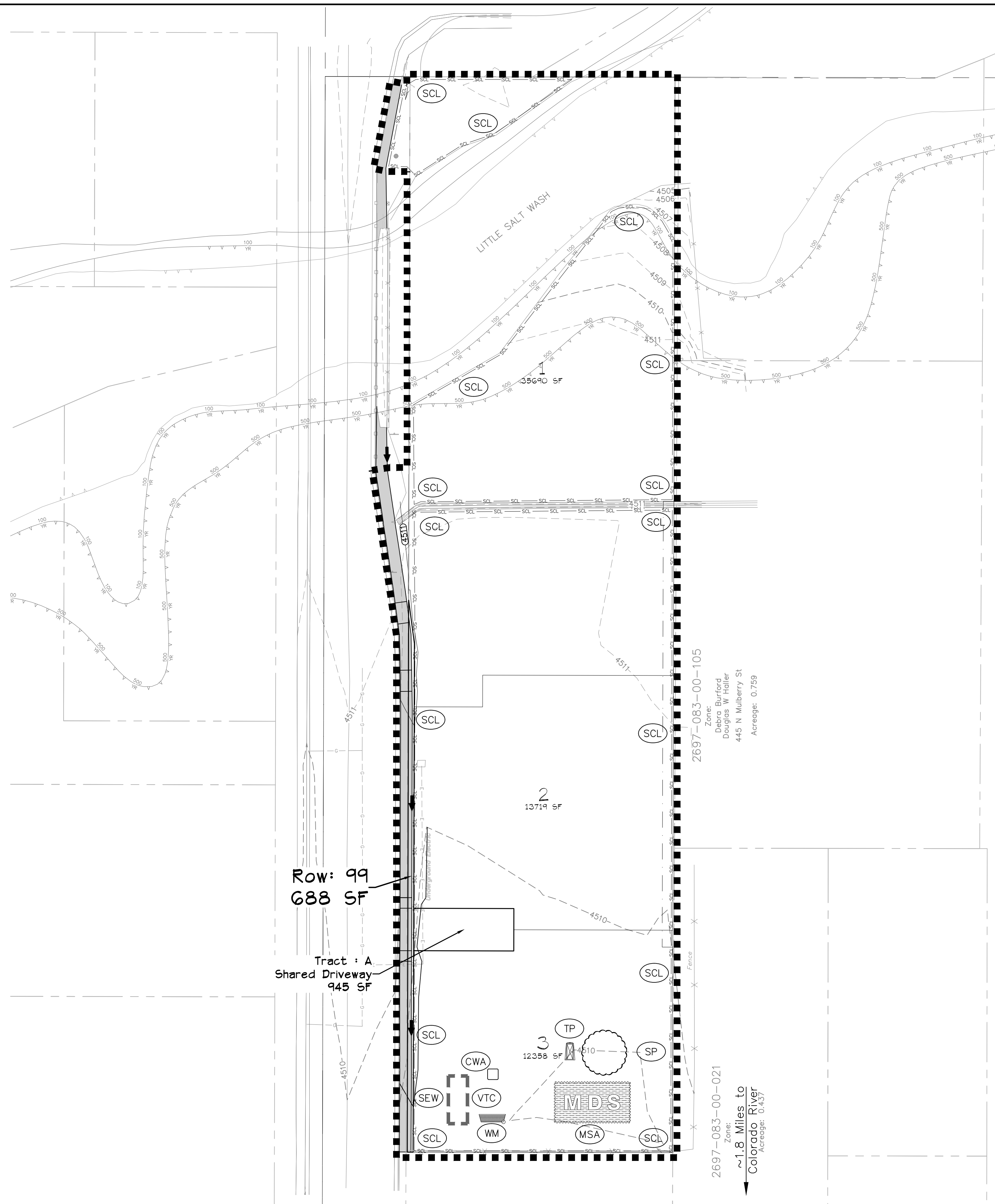
- All erosion control measures should be inspected to determine if repairs or sediment removal is necessary. The maximum time between inspections shall be 14 days.
- Erosion control measures are also to be inspected within 48 hours of a storm that produces moderate runoff or moderate snow melt.
- Repairs or modifications to the erosion control measures shall be completed immediately. Repairs and modifications shall be documented (what, why, & when).
- Silt and sediment shall be removed if there is a risk of sediment bypassing the erosion control feature. Specifically, sediment buildup shall not exceed 1/3 the height of any check dam or berm (including inlet protection), 1/2 the height of a wattle, or when sediment within a sediment basin gets within 6 inches of the outlet invert.
- When the temporary measures are to be removed, any silt and sediment deposits shall be removed and spread evenly in open areas and seeded as necessary.

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

Grand Valley Drainage District Representative \_\_\_\_\_ Date \_\_\_\_\_

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.  
Acceptance of these plans does not relieve the developer, contractor, or the engineer from conformance with the City of Fruita Construction Specifications.

City of Fruita Development Engineer \_\_\_\_\_ Date \_\_\_\_\_



**UNCC**  
800.922.1987  
www.uncc.org  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**811**  
Know what's below.  
Call before you dig.

**Project Benchmark**  
MCSM 938-1  
SE 1/4, SW 1/4, Sec 8, T1N, R2W, UM  
Intersection of K Rd & N Mesa St  
NORTHING: 71193.35  
EASTING: 43292.42  
ELEVATION: 4508.48  
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

**SCALE (FEET)**

0 30 60  
HORIZONTAL

VERTICAL: N/A  
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 10.Mar.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\1677\_Ryan\_Leonhart\Design\DWG\02-Linework\1677-001-Design.dwg [09: SWMP] 3/16/2023 1:00:59 PM

**RIVER CITY CONSULTANTS**

215 Pitkin Avenue, Unit 201 Phone: 970.241.4722  
Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: kac PROJECT: 1677-001  
CHECKED BY: idg  
ORIGINAL SHEET SIZE: 22 x 34

**KAREN LEONHART**

*Kismet Subdivision*  
Stormwater Management Plan

**PRELIMINARY**