



Adeles Acres Subdivision

1024 19 Road

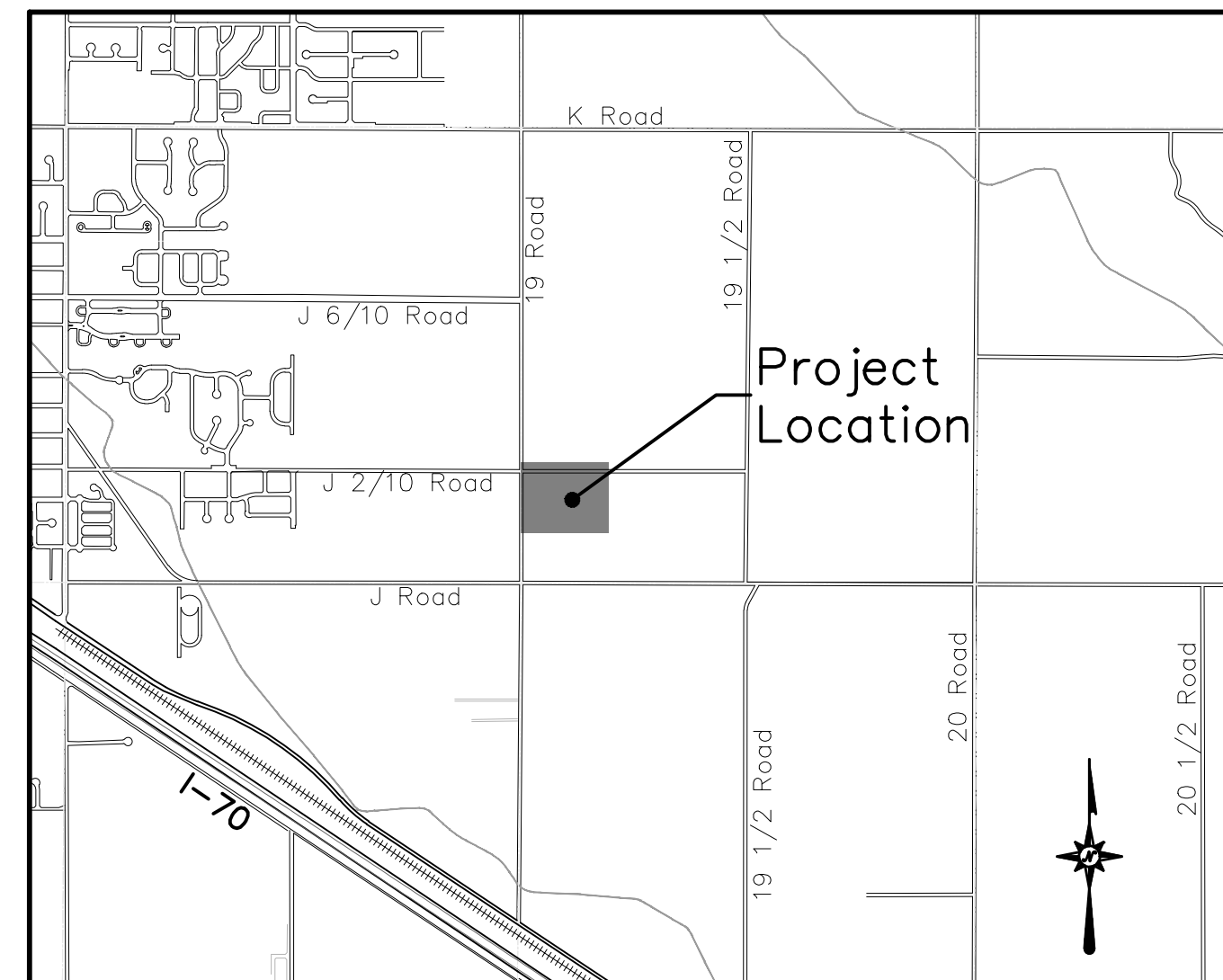
Fruita, Colorado, 81521

CONSTRUCTION PLANS

Prepared for:

FUTURADO DEVELOPMENT LLC

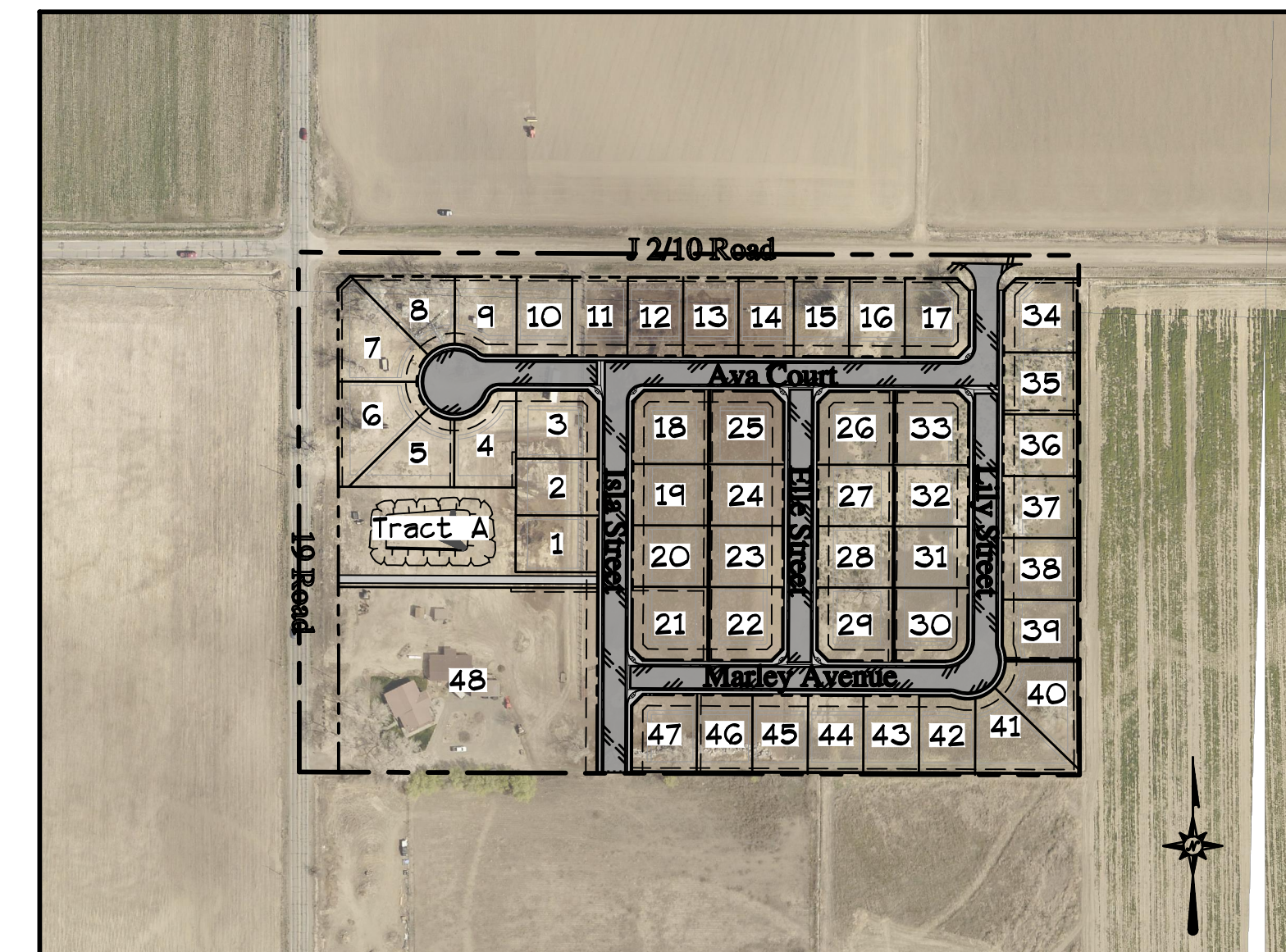
DRAFT
Review Set
(NOT FOR CONSTRUCTION)



PROJECT LOCATION MAP
(1" = 2000')

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2	Ute Water District Standard Details
L-1	Landscape Plan



PROJECT OVERVIEW
(1" = 200')

UTILITY CONTACTS

Sewer – City of Fruita	Contact.....970-858-9558
Water – Ute Water	Contact.....970-242-7491
Electric – Grand Valley Power	Contact.....970-242-0040
Gas – Xcel Energy	Contact.....970-242-2626
Phone – CenturyLink	Contact.....970-244-4311
Cable – Charter Spectrum	Contact.....970-697-1222
Irrigation – Grand Valley Irrigation Company	Contact.....970-242-2762

DESIGN TEAM CONTACTS

OWNER/DEVELOPER:
FUTURADO DEVELOPMENT LLC
Darrell Cordova
P.O. Box 2227
Glenwood Springs, CO 81602
801.592.1988
darrell@faturadodevelopment.com

CIVIL:
RIVER CITY CONSULTANTS, INC.
Jeff Mace
215 Pitkin Ave, Suite 201
Grand Junction, CO 81501
970.241.4722
jmace@rccwest.com

SURVEY:
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Grand Junction, CO 81501
970.241.4722
athomas@rccwest.com

LANDSCAPE ARCHITECT:
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Mike Hoch
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Grand Junction, CO 81501
970.241.0745
mike.hoch@kaart.com

GEOTECHNICAL:
HUDDLESTON-BERRY
ENGINEERING & TESTING, LLC
Mike Berry
2789 Riverside Parkway
Grand Junction, CO 81505
970.255.8005
mberry@huddlestonberry.com

PROJECT PHASE: Preliminary	DATE ISSUED: 08.MAR.2023
NO.	REVISION
BY	
DRAWN BY: jwm CHECKED BY: jwm PROJECT # 2060-001 ORIGINAL SHEET SIZE: 22 x 34	

FUTURADO DEVELOPMENT LLC

Adeles Acres Subdivision

Cover Sheet

C1

GENERAL CONSTRUCTION NOTES

1. All boundary linework, project control, underground utility locations, and topographic survey data shown hereon was provided by River City Consultants, Inc. Locations of underground utilities as shown hereon are based on visible evidence from above ground structures, markings by the respective utility companies and/or their locator services, and drawings provided by the utility companies. No excavations were made during this survey to determine exact locations and depths of underground utilities and structures. Actual locations may vary from those as shown hereon and additional underground utilities may exist. Existence and locations of all underground utilities and structures should be verified prior to any construction on this property.
2. Contractor shall give 48 hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior to commencement of work. Contractor shall assure himself that all construction permits have been obtained prior to commencement of work. All permits obtainable by the Contractor are required to be obtained at the Contractor's expense.
3. The Contractor shall limit construction activities to those areas within the project limits of disturbance and/or toes of slopes as shown on the plans and cross sections. Any disturbance beyond these limits shall be restored to the original condition by the contractor at the contractor's expense. Construction activities in addition to normal construction procedure shall include the parking of vehicles or equipment, disposal of debris or any other action which could alter the existing conditions. The contractor shall not stockpile or store equipment within 30 feet of the edge of traveled way during the project, unless protected by temporary barrier or existing guardrail.
4. All satisfactory excess excavation from either utility or street construction shall be spread uniformly across the lots as directed by the Owner or his designated representative. All unsatisfactory or waste material including vegetation, roots, concrete, rocks, or other debris, shall be hauled from the project by the Contractor at the Contractor's expense.
5. All road construction and related work, all materials, performance, and quality of work, shall conform to the requirements of the City of Fruita Standard Specifications.
6. All utility installations are to be performed in accordance with the technical specifications of the City of Fruita. All water and sewer lines must be tested and approved prior to street construction. All waterlines are to be constructed in accordance with the technical specifications of Ute Water District.
7. All sign fabrication and installation shall conform to the Manual on Uniform Traffic Control Devices (MUTCD) and City of Fruita standards.
8. All sewer, storm drain, and water lines shall be surveyed and shown on as-built drawings in three dimensions at each end and at all angle points.
9. Installation of all irrigation pipelines, facilities, and related appurtenances shall be constructed in accordance with USDA-NRCS and City of Fruita details and specifications.
10. All areas disturbed by construction activities shall be paved, landscaped, or revegetated with a certified weed-free native seed mix appropriate for site soils and conditions. These areas shall be maintained until a vegetative cover of at least 70% of pre-construction conditions exists. If necessary, additional topsoil, seed, mulch, and/or fertilizer should be applied to establish said vegetative cover.

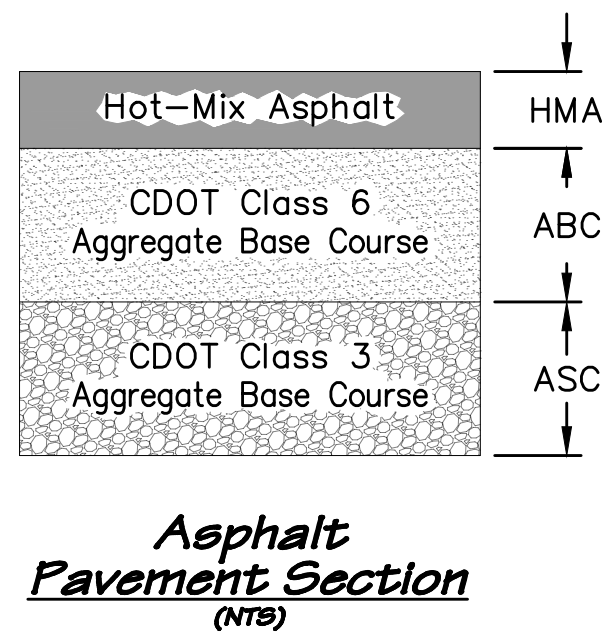
PAVING CONSTRUCTION NOTES

1. All road widths, and radii are to flowline unless noted otherwise. Any "spot" design elevations are to flowline unless otherwise noted.
2. The top of existing ground or the top of areas cut to final grade are to be scarified, brought to the optimal water content, and recompacted to 95% of AASHTO T99 before placing fill or before base is placed.
3. Contractor is to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered or filled with dirt or debris by the Contractor shall be cleaned and repaired or replaced at no expense to the Owner.
4. Where proposed pavement is to match existing pavement, sawcut the existing pavement 1 foot back from the existing edge of and remove pavement. From the sawcut line, mill existing pavement half existing pavement depth (or a minimum of 2 inches), a width of 2 feet. Existing surface is to be tack-coated before new pavement is placed. See T-Lock detail, this sheet.
5. Include backing of curb and gutter and/or sidewalk with native fill material per the typical roadway section in the unit price bid for embankment.
6. Red-lined Record Drawings for concrete are required to be approved by the City prior to paving.
7. For site specific geotechnical requirements and recommendations, see the referenced geotechnical report which shall supersede all other geotechnical references:

Huddleston-Berry Engineering & Testing, LLC
 Geotechnical and Geologic Hazards Investigation
 1024 19 Road
 Fruita, Colorado
 Project # 02594-0001
 January 12, 2023

Pavement Section Option	Material (inches)		
	HMA	ABC	ASC
Option A	3	16	0
Option B	4	13	0
Option C	3	6	14

*Refer to Geotechnical Investigation for more details



SANITARY SEWER CONSTRUCTION NOTES

1. All sewer line construction shall conform to the City of Fruita's Standards and Specifications.
2. Contractor shall have one signed copy of plans and a copy of the City of Fruita's Standard Specifications at the job site at all times.
3. All sewer mains shall be PVC SDR-35 (ASTM 3034) unless otherwise noted.
4. All sewer mains shall be laid to grade utilizing a pipe laser.
5. All service line connections to new mains shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.
6. Service line connections to existing non-PVC mains shall be accomplished using "Inserta Tees" manufactured by Fowler Manufacturing Company of Hillsboro, Oregon. For existing PVC mains, tapping saddles shall be used.
7. 4 inch services shall not be connected directly into manholes. All 6 inch services shall be connected to the main at a manhole.
8. The contractor shall notify the City Inspector 48 hours prior to commencement of construction.
9. The contractor is responsible for all required sewer line testing to be completed in the presence of the engineer or his representative. Pressure testing will be performed after installation of dry utilities, after all compaction of street subgrade and prior to street paving. Final lamping will also be accomplished after paving is completed. These tests shall be the minimum basis of acceptance of the sewer line extension.
10. The contractor shall obtain City of Fruita street cut permit for all work within existing city right-of-way prior to construction.
11. A clay cut-off wall shall be placed 10 feet upstream from all new manholes unless otherwise noted. The cut-off wall shall extend from 6 inches below to 6 inches above granular backfill material and shall be 2 feet wide. If native material is not suitable, the contractor shall import material approved by the engineer.
12. Sewer service stub outs shall be capped and plugged. Stub out shall be marked with a 4x4 inch post painted green buried with 3 feet above grade. As-built surveying for vertical grade of stub out required prior to backfill.
13. Red line as-builts shall be submitted to the City Development Engineer at least 72 hours prior to paving for review.
14. The City of Fruita requires tracer wires for pipes and additional sanitary sewer clean-outs. Details are provided in the City's Standard Contract Documents.
15. Stop gravel bedding in service lines at lip of gutter.

STORM DRAIN CONSTRUCTION NOTES

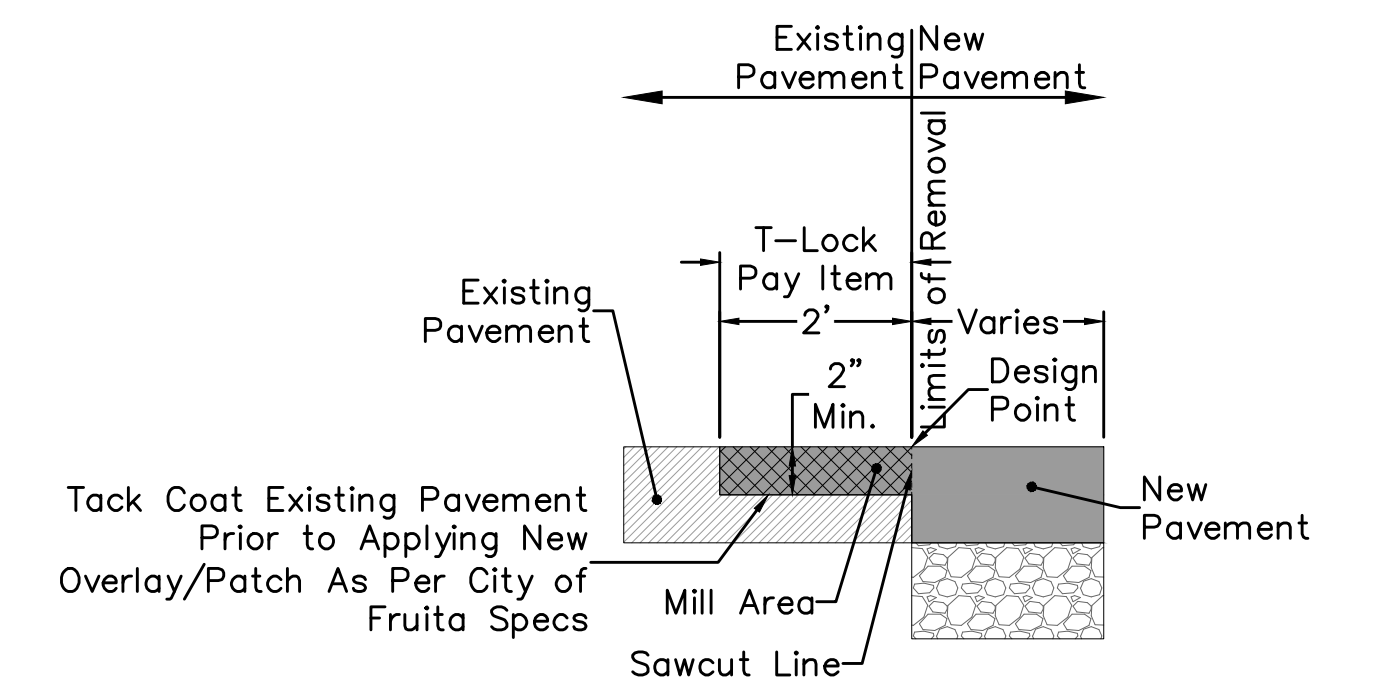
1. All Reinforced Concrete storm drain pipe shall conform to ASTM Standard Specifications, C-76, Class III unless otherwise noted.
2. All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR-35 unless otherwise noted.
3. All High Density Polyethylene (HDPE) pipe and fittings to conform to the following:
 12 inch to 36 inch shall meet ASSHTO M294, and
 42 inch to 48 inch shall meet ASSHTO MP6.
4. All 30 inch and larger HDPE pipe shall be covered to top of pipe with Class 6 base course.

TESTING NOTES

1. Contractor shall familiarize themselves with the geotechnical testing requirements of the City of Fruita. It shall be the responsibility of the Contractor to contact the Testing Firm 24 hours in advance of the need for testing, and to verify that the appropriate number of tests have been taken. The results of the required types of tests and number of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and re-tests shall be performed until passing results are obtained. All utility lines, including service lines, falling within the Public right-of-way or the Public easements shall be tested. Payment of testing is the Contractor's responsibility and shall not be paid for separately but shall be incidental to the work.
2. Only materials on which a proctor and accurate nuclear density test can be performed are approved for utility trench backfill, unless otherwise approved by the Engineer.
3. Backfilling of trenches without testing during the backfill operation is strongly discouraged and will result in removal and replacement of backfill back to the last documented passing test.

WATERLINE CONSTRUCTION NOTES

1. All water line construction shall be in accordance with the latest revision of the Ute Water District Standards and Specifications, available at www.utewater.org/specifications.
2. Contractor shall notify the District 48 hours PRIOR to the beginning of construction.
3. All trenches shall be compacted according to the recommendations in the Geotechnical Report. Contractor shall be required to perform all compaction tests through a certified soils lab.
4. Cover required over top of new waterlines is 4'-6" (54 inches).
5. All water mains to be DR-18 PVC conforming to AWWA C-900.
6. All water mains are to be bedded per City of Fruita Standards.
7. All service connections to be 3/4 inch Type "K" copper, unless specified otherwise.
8. Ductile iron fittings to conform to AWWA C-153.
9. Fire Hydrants shall conform to AWWA C-502.
10. All materials, labor and equipment required for testing and disinfection of waterlines shall be furnished by Contractor. Disinfection of waterlines shall conform to Ute Water District Standards.
11. All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per the District Details and Technical Specifications.
12. Only material on which a proctor test can be performed and accurate nuclear density tests can be run are approved for waterline trench backfill unless otherwise approved by the Engineer.
13. All water meter pits shall be located on opposite lot side of dry utility transformers and pedestals. There shall be no dry utility transformers/pedestals located within five feet of any fire hydrant. These are utility/customer/consumer safety issues.
14. No privacy fences are to be allowed to enclose meter pits or fire hydrants located within streets & road ROWs and multi-purpose easements.
15. Stop gravel bedding in service lines at lip of gutter.
16. Domestic water shall not be used for irrigation. Developer must secure irrigation rights/water for irrigation purposes, water taps/meters will not be sold for irrigation of landscaping.
17. Water is tied to the parcel it is intended to serve and shall not be conveyed from one parcel to another.



ACCEPTANCE BLOCK ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE	
Ute Water District Representative	Date
ACCEPTANCE BLOCK <small>The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.</small>	
City Development Engineer	Date

811
Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Project Benchmark
 Found 2" Aluminum CapNE Corner
 Marked "DH SURVEYS INC"
 South of J 1/2 Road
 NORTHING: 67185.23
 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

PROJECT PHASE: Preliminary		DATE ISSUED: 08.MAR.2023	
NO.	DATE	REVISION	BY

PRELIMINARY

215 Pitkin Avenue, Unit 201
 Grand Junction, CO 81501
 Phone: 970.241.4722
 Fax: 970.241.8841
 www.rcwest.com

DRAWN BY: lcf PROJECT: 2060-001
 CHECKED BY: jwm

ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC

Adeles Acres Subdivision

General Notes

C2

LEGEND

- Toe of Slope
- Top of Slope
- Edge of Water
- 100-YR Flood Limits
- 500-YR Flood Limits
- Floodway Limits
- Edge of Wetlands
- Tree Mass Area
- Edge of Asphalt
- Edge of Concrete
- Edge of Gravel
- Flowline
- Railroad
- Building
- Building Overhang
- Wire Fence
- Chain Fence
- Gate
- Wood Fence
- Guardrail
- Existing Major Contour
- Existing Minor Contour
- Existing Cable TV
- Existing Comm Duct
- Existing Electric
- Existing Fiber Optic
- Existing Gas
- Existing Irrigation
- Existing Overhead Electric
- Existing Overhead Telephone
- Existing Storm Drain
- Existing Sanitary Sewer
- Existing Sewer Force Main
- Existing Telephone
- Existing Unknown Utility
- Existing Water
- Cut Extents
- Fill Extents
- Proposed Demolition or Removal
- Drainage Flowline
- Proposed Parcel Boundary
- Proposed Easement
- Proposed Lot Line
- Proposed Right of Way
- Proposed Setback
- Proposed Tract
- Proposed Striping
- Milling Limits
- Sawcut Line
- Proposed Major Contour
- Proposed Minor Contour
- Common Utilities
- Irrigation Line
- Irrigation Service Line
- Storm Drain Line (with Flow Direction)
- Sanitary Sewer Line (with Flow Direction)
- Sanitary Sewer Force Main Line
- Sanitary Sewer Service Line
- Water Line
- Water Service Line

- Existing Manhole
- Existing Manhole
- Existing Manhole
- Existing Manhole
- Existing Manhole
- Existing Manhole
- Existing Manhole
- Existing Manhole
- Proposed Manhole
- Proposed Manhole
- Proposed Manhole
- Proposed Manhole
- Proposed Services
- Proposed Services
- Proposed Services
- Cleanouts
- Cleanouts
- Inlets
- Fire Hydrant/Blowoff/Meter
- Fire Hydrant/Blowoff/Meter
- Well/Yard Hydrant/Box
- Well/Yard Hydrant/Box
- Valve/Cap/Thrust Block
- Valve/Cap/Thrust Block
- Box/Pump/Valve
- Box/Pump/Valve
- Roof Drain/Vent Pipe/Pedestal
- Utility Boxes
- Utility Pedestals
- Utility Pedestals
- Utility Pedestals
- Utility Pedestals
- Meters
- Utility Marker/Transformer/Valve
- Monitor Well/Borehole/Pothole
- Decid Tree/Conif Tree/Shrub
- Utility Pole/Guy Wire/Guy Pole
- Intersection Sign/Sign/Delineator
- Bollard/Light/Mailbox
- Proposed Asphalt
- Proposed Concrete
- Proposed Gravel
- Proposed Building
- Proposed Demolition/Removal
- Proposed Milling
- Proposed Riprap
- Proposed Vegetation
- Proposed Wall
- Proposed Truncated Domes
- Proposed CGS (Catch/Spill)
- Traffic Flow Direction

LIST OF ABBREVIATIONS

- ABC Aggregate Base Course
- AC Acre
- ADJ Adjacent
- BFS Begin Full Superelevation
- BLDG Building
- BLM Bureau of Land Management
- BM Benchmark
- BNC Begin Normal Crown
- BOC Back of Curb
- BOW Back of Walk
- BVCE Beginning Vertical Curve Elevation
- BVCS Beginning Vertical Curve Station
- CBC Concrete Box Culvert
- CDOT Colorado Department of Transportation
- CDS Cul-de-sac
- CGS Curb, Gutter & Sidewalk
- CL Center Line OR Class
- COMP Corrugated Metal Pipe
- CoJ City of Grand Junction
- CY Cubic Yard
- E Easting Coordinate
- EA Each
- EFS End Full Superelevation
- EGTC Electric, Gas, Telephone, Cable
- EL Elevation
- ELEC Electric
- ELEV Elevation
- ENC End Normal Crown
- EOA Edge of Asphalt
- EOP Edge of Pavement
- ER End of Radius
- ESMT Easement
- EVCE End of Vertical Curve Elevation
- EVCS End of Vertical Curve Station
- EX Existing
- FDC Fire Department Connection
- FES Flared End Section
- FFE Finished Floor Elevation
- FG Finished Grade
- FH Fire Hydrant
- FL Flow Line
- GB Grade Break
- GV Gate Valve
- HDPE High Density Polyethylene
- HOA Home Owners Association
- HP High Point
- INC Incorporated
- INV Invert
- IRR Irrigation
- K Design Coefficient
- L Length
- LC Level Crown
- LF Linear Feet
- LP Low Point
- LS Lump Sum
- LVC Length of Vertical Curve
- MAX Maximum
- MC&G Mountable Curb & Gutter
- MCSG Mountable Curb, Gutter, & Sidewalk
- MCSM Mesa County Survey Marker
- MDS Maximum Design Speed
- ME Match Existing
- MH Manhole
- MIN Minimum
- MPE Multi-Purpose Easement
- MTR Meter
- MUTCD Manual on Uniform Traffic Control Devices
- N Northing Coordinate
- NO Number
- NTS Not to Scale
- OC On Center
- PC Point of Curvature
- PCC Point of Compound Curvature
- PI Point of Intersection
- PIP Plastic Irrigation Pipe
- PL Property Line
- PLS Professional Licensed Surveyor
- PR Proposed
- PRC Point of Reverse Curvature
- PRELIM Preliminary
- PT Point of Tangency
- PVC Polyvinyl Chloride
- PVI Point of Vertical Intersection
- R Radius
- RC Reverse Crown
- RCC River City Consultants, Inc.
- RCP Reinforced Concrete Pipe
- REQ'D Required
- RIM Rim Elevation
- RoW Right of Way
- SAN Sanitary Sewer
- SDMH Storm Drain Manhole
- SF Square Feet
- SH State Highway
- SHLDR Shoulder
- SS Sanitary Sewer
- SSMH Sanitary Sewer Manhole
- STA Station
- STR Structure
- STRM Storm Drain
- SVC Service
- SY Square Yard
- TAN Length of Tangent
- TBC Top Back Curb
- TCE Temporary Construction Easement
- TFC Top Face Curb
- TOC Top of Curb
- TOP Top of Pipe
- TW Top of Wall
- TYP Typical
- UNO Unless Noted Otherwise
- VC&G Vertical Curb & Gutter
- VCSG Vertical Curb, Gutter, & Sidewalk
- VC Vertical Curve
- VPC Vertical Point of Curvature
- VPI Vertical Point of Intersection
- VPT Vertical Point of Tangency
- WSEL Water Surface Elevation
- WQCV Water Quality Capture Volume
- WTR Water
- Δ Central Angle (Delta)

BASIS OF BEARINGS

The bearings hereon are based on grid north of the Mesa County Local Coordinate System (Zone "GVA").

MCLCS ZONE "GVA"

TRANSVERSE MERCATOR PROJECTION
 Point of Origin (SN01) and Central Meridian:
 Latitude: 39°06'22.72756"N
 Longitude: 108°32'01.43463"W
 Northing: 50,000FT
 Easting: 100,000FT
 Scale Factor: 1.000218181798
 Project/Scale Factor Height: 4644FT(NAVD88)

ACCEPTANCE BLOCK
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 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Project Benchmark
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 Marked "DH SURVEYS INC"
 South of J 1/2 Road
 NORTHING: 67185.23
 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\05-Sheet\2060-001 Cover.dwg [Legend & Abbrev] 15-Mar-23 09:05:56

RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201
 Grand Junction, CO 81501
 www.rcwest.com
 Phone: 970.241.4722
 Fax: 970.241.8841

DRAWN BY: icf PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Legend & Abbreviations

C3

2697-164-00-132
 Zone: AFT
 COMPTON ROY C
 Acreage: 22.070

2697-164-00-050
 Zone: AFT
 M & D ENTERPRISES LLC
 Acreage: 13.909

2697-153-13-013
 Zone: URR
 Palmer Subdivision Homeowners Association Inc.
 Acreage: 0.143

UTILITY PROVIDERS	
Water	Ute Water
Sewer	City of Fruita
Electric	Grand Valley Power
Gas	Xcel Energy
Telephone	CenturyLink
Cable	Charter Spectrum
Irrigation	Grand Valley Irrigation Co
Drainage	Grand Valley Drainage District
Fire	Lower Valley Fire District

ZONING SUMMARY	
Zoning:	CR
Min Lot Size:	7,000 SQ FT
Min Lot Width:	N/A
Min Lot Frontage:	20 FT
Min Setbacks	
Front:	20 FT*
Rear:	15 FT
Side:	5 FT
Max Height (Building):	35 FT
Max Height (Stories):	N/A
Max Lot Coverage:	60%
Max Building Size:	N/A

*25 feet for the garage portion of a principle structure and 20 feet for the remainder of the principle structure.

2697-153-13-009
 Zone: URR
 M & D ENTERPRISES LLC
 Acreage: 21.682

- NOTES:**
- Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
 - This project is not affected by any previously mapped floodplain as shown on FEMA FIRM Map 08077C0439F.
 - The legend and a list of abbreviations can be found on sheet C3.

ACCEPTANCE BLOCK
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SITE BREAKDOWN		
Lots (48)	10.280 ac	68.49 %
Tract A (Stormwater)	0.707 ac	4.71 %
Right of Way (500)	4.024 ac	26.80 %
Total	15.011 ac	100.00 %

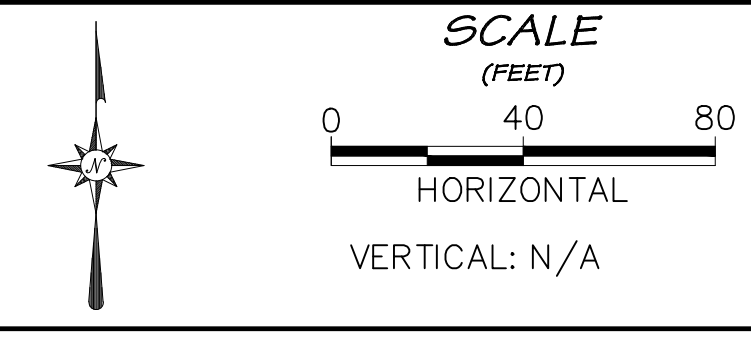
2697-153-01-001
 Zone: AFT
 GERALD KIMBERLY R
 1002 19 RD
 Acreage: 6.061

2697-153-13-006
 Zone: URR
 M & D ENTERPRISES LLC
 1918 GRACE CT
 Acreage: 0.999

2697-153-13-005
 Zone: URR
 OESTER TYLER
 OESTER KENDRA
 1920 GRACE CT
 Acreage: 1.010



Project Benchmark
 Found 2" Aluminum CapNE Corner
 Marked "DH SURVEYS INC"
 South of J 1/2 Road
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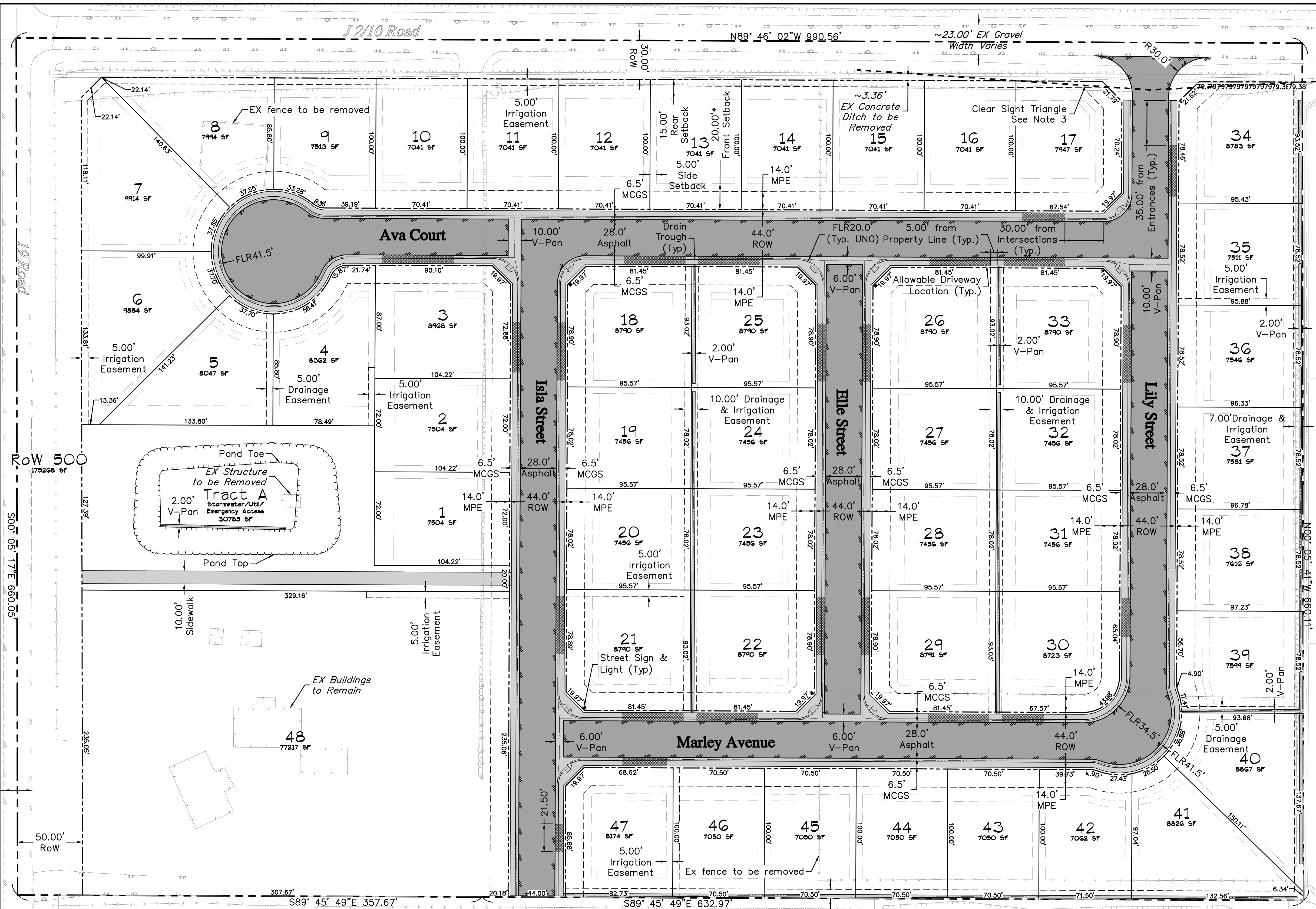


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 www.rcwest.com

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Site Plan Overall
 C4



STATE OF COLORADO)
 COUNTY OF MESA)
 I CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE
 AT _____ O'CLOCK ____ M., ON THE _____ DAY
 OF _____ A.D. AND
 WAS RECORDED IN PLAT BOOK _____, PAGE NO. _____
 RECEPTION NO. _____, DRAWER NO. _____
 FEES _____
 BY: _____
 CLERK AND RECORDER

 DEPUTY

SEPARATE INSTRUMENTS RECORDED IN CONJUNCTION WITH THIS SITE PLAN
 PLAT..... REC. # _____
 COVENANTS..... REC. # _____

- NOTES:**
1. Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
 2. The legend and a list of abbreviations can be found on sheet C1.
 3. No fencing or tall landscaping is allowed within the Clear Sight Triangle areas.

SITE BREAKDOWN

Lots (48)	10.280 ac	68.49 %
Tract A (Stormwater)	0.707 ac	4.71 %
Right of Way (500)	4.024 ac	26.80 %
Total	15.011 ac	100.00 %

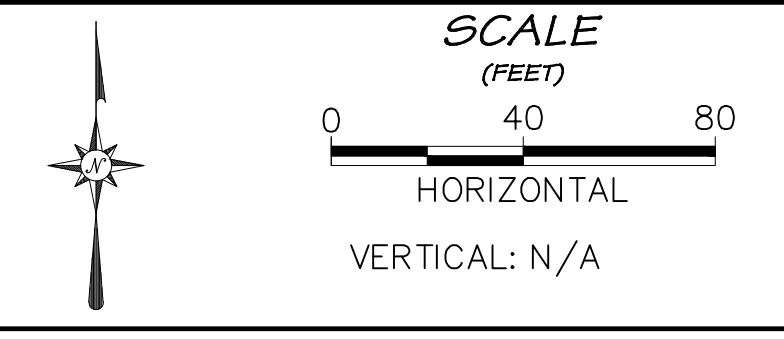
2697-153-01-001
 Zone: AFT
 GERALD KIMBERLY R
 1002 19 RD
 Acreage: 6.061

2697-153-13-006
 Zone: URR
 M & D ENTERPRISES LLC
 1918 GRACE CT
 Acreage: 0.999

2697-153-13-005
 Zone: URR
 OESTER TYLER
 OESTER KENDRA
 1920 GRACE CT
 Acreage: 1.010



Project Benchmark
 Found 2" Aluminum CapNE Corner
 Marked "DH SURVEYS INC"
 South of J 1/2 Road
 NORTHING: 67185.23
 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



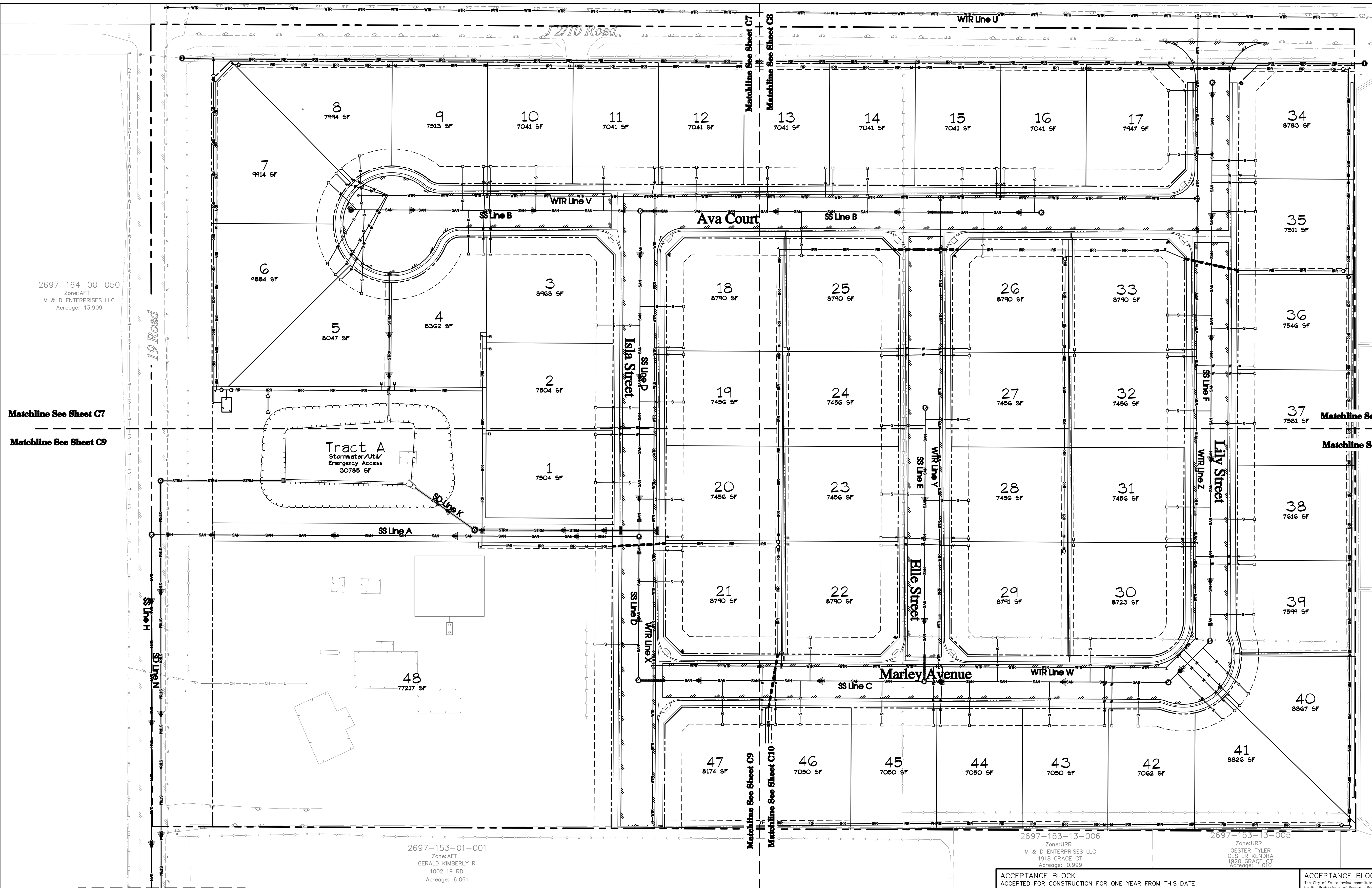
PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

PRELIMINARY

RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841
 DRAWN BY: icf PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Site Plan
 Composite Site Plan
 C5



2697-164-00-050
 Zone: AFT
 M & D ENTERPRISES LLC
 Acreage: 13.909

2697-153-01-001
 Zone: AFT
 GERALD KIMBERLY R
 1002 19 RD
 Acreage: 6.061

2697-153-13-006
 Zone: URR
 M & D ENTERPRISES LLC
 1918 GRACE CT
 Acreage: 0.999

2697-153-13-005
 Zone: URR
 OESTER TYLER
 OESTER KENDRA
 1920 GRACE CT
 Acreage: 1.010

UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
- SS Line F..... Sheet C33
- SS Line G..... Sheet C21-C25
- SS Line H..... Sheet C26-C27
- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38
- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44
- IRR Line I.....Sheet C47

UTILITY PROVIDERS

Water	Ute Water
Sewer	City of Fruita
Electric	Grand Valley Power
Gas	Xcel Energy
Telephone	CenturyLink
Cable	Charter Spectrum
Irrigation	Grand Valley Irrigation Co
Drainage	Grand Valley Drainage District
Fire	City of Grand Junction

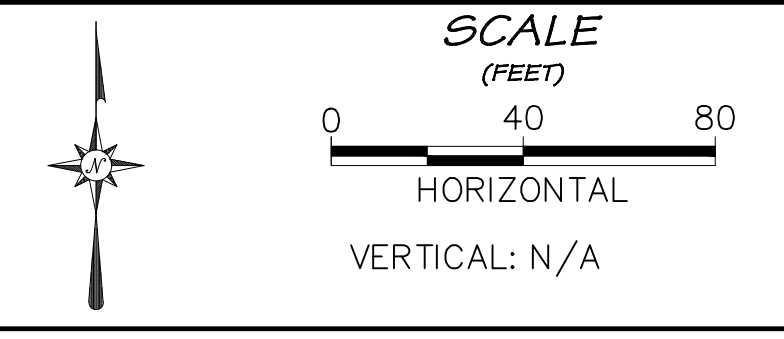
- Note:
1. Unless otherwise noted, all water lines shall be 8" C900 PVC.
 2. All sanitary sewer lines shall be 8" SDR 35.

ACCEPTANCE BLOCK
 ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

ACCEPTANCE BLOCK
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

UNCC
 800.922.1987
 www.uncc.org
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Project Benchmark
 Found 2" Aluminum CopNE Corner Marked "DH SURVEYS INC" South of J 1/2 Road
 NORTHING: 67185.23
 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

PRELIMINARY

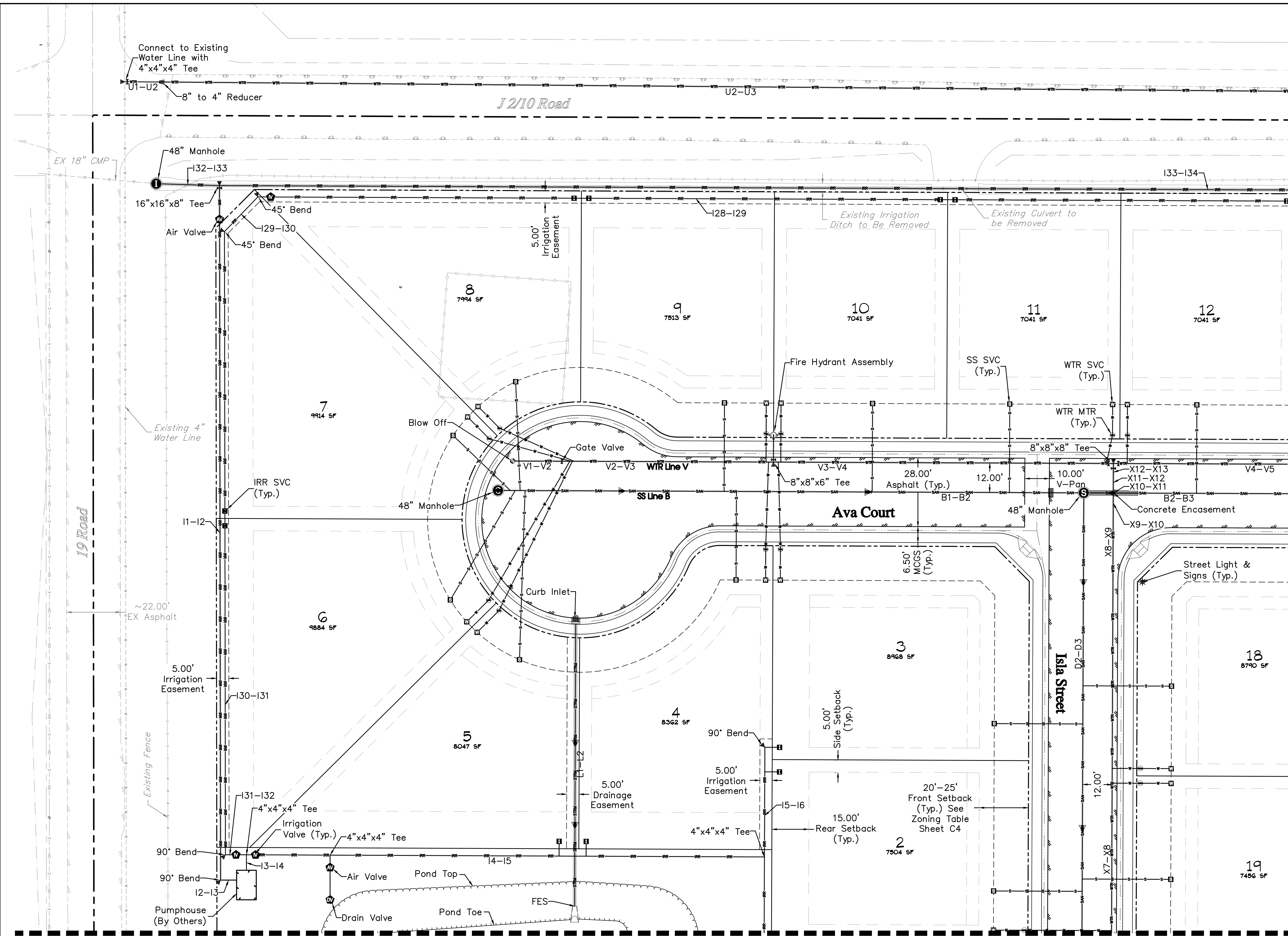
RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 Fax: 970.241.8841
 www.rcwest.com
 DRAWN BY: lcf PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Utility Composite Overall

City Development Engineer _____ Date _____

Ute Water District _____ Date _____

C6



Pipe Name	Length (ft)	Size (in)	Material
L1-L2	115.7	18	RCP

Pipe Name	Length (ft)	Size (in)	Material
U1-U2	15.0	4	C900 PVC
U2-U3	470.9	8	C900 PVC
V1-V2	20.0	8	C900 PVC
V2-V3	86.0	8	C900 PVC
V3-V4	138.2	8	C900 PVC
V4-V5	235.1	8	C900 PVC
X7-X8	227.8	8	C900 PVC
X8-X9	30.5	8	C900 PVC
X9-X10	1.2	8	C900 PVC
X10-X11	7.0	8	C900 PVC
X11-X12	1.4	8	C900 PVC
X12-X13	7.1	8	C900 PVC

Pipe Name	Length (ft)	Size (in)	Material
B1-B2	238.1	8	SDR 35
B2-B3	330.0	8	SDR 35
D2-D3	268.0	8	SDR 35

Pipe Name	Length (ft)	Size (in)	Material
I1-I2	282.5	8	100 PSI PIP
I2-I3	6.5	8	100 PSI PIP
I3-I4	6.3	4	100 PSI PIP
I4-I5	138.1	4	100 PSI PIP
I5-I6	44.6	4	100 PSI PIP
I28-I29	653.5	4	100 PSI PIP
I29-I30	19.6	4	100 PSI PIP
I30-I31	133.8	4	100 PSI PIP
I31-I32	8.6	4	100 PSI PIP
I33-I34	803.7	16	C900 PVC

Matchline See Sheet C8

ACCEPTANCE BLOCK
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Ute Water District _____ Date _____

ACCEPTANCE BLOCK
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City Planner _____ Date _____

City Development Engineer _____ Date _____

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800.922.1987
www.uncc.org
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRAD, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Project Benchmark
Found 2" Aluminum Cap/NE Corner Marked "DH SURVEYS INC"
South of J 1/2 Road
NORTHING: 67185.23
EASTING: 53517.93
ELEVATION: 4551.66
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)

0 20 40
HORIZONTAL
VERTICAL: N/A

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

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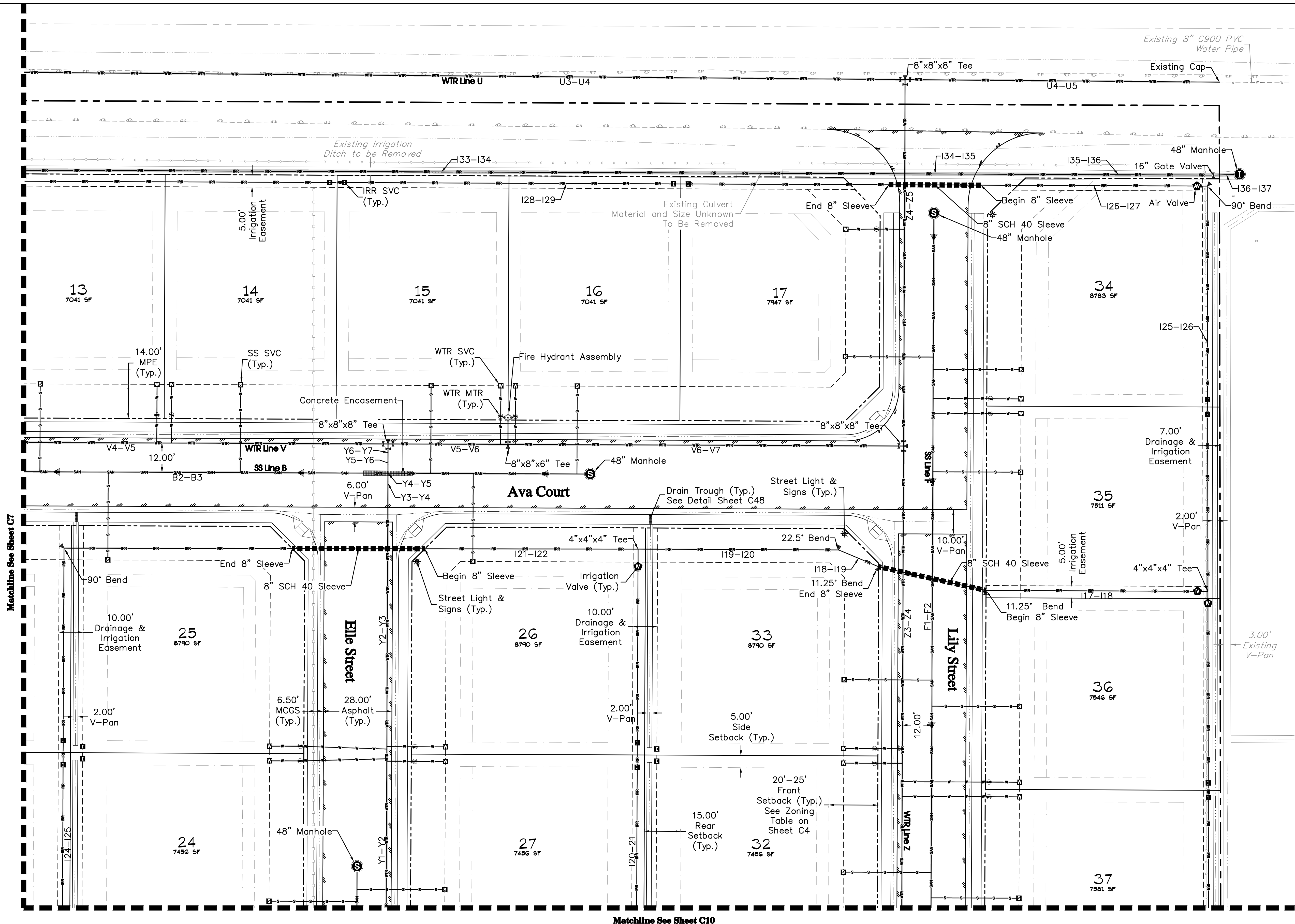
RIVER CITY CONSULTANTS
215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501
Phone: 970.241.4722 Fax: 970.241.8841
www.rcwest.com

DRAWN BY: jcf **PROJECT:** 2060-001
CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

PRELIMINARY

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Utility Composite
Northwest Area Detail

C7



PR-WTR Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
U3-U4	362.9	8	C900 PVC
U4-U5	128.8	8	C900 PVC
V4-V5	235.1	8	C900 PVC
V5-V6	49.1	8	C900 PVC
V6-V7	162.1	8	C900 PVC
Y1-Y2	250.0	8	C900 PVC
Y2-Y3	119.4	8	C900 PVC
Y3-Y4	1.2	8	C900 PVC
Y4-Y5	7.0	8	C900 PVC
Y5-Y6	1.4	8	C900 PVC
Y6-Y7	7.1	8	C900 PVC
Z3-Z4	145.1	8	C900 PVC
Z4-Z5	150.1	8	C900 PVC

PR-SS Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
B2-B3	330.0	8	SDR 35
F1-F2	459.5	8	SDR 35

PR IRR Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
I16-I17	456.1	4	100 PSI PIP
I17-I18	90.9	4	100 PSI PIP
I19-I20	82.1	4	100 PSI PIP
I20-I21	247.9	4	100 PSI PIP
I21-I22	87.4	4	100 PSI PIP
I23-I24	93.5	4	100 PSI PIP
I24-I25	242.3	4	100 PSI PIP
I25-I26	166.0	4	100 PSI PIP
I26-I27	92.8	4	100 PSI PIP
I27-I28	37.6	4	100 PSI PIP
I28-I29	653.5	4	100 PSI PIP
I33-I34	803.7	16	C900 PVC
I34-I35	37.7	16	C900 PVC
I35-I36	95.2	16	C900 PVC
I36-I37	10.7	16	C900 PVC

ACCEPTANCE BLOCK
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

City Water District _____ Date _____

ACCEPTANCE BLOCK
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City Planner _____ Date _____

City Development Engineer _____ Date _____

UNCC
800.922.1987
www.uncc.org
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Project Benchmark
Found 2" Aluminum Cap/NE Corner
Marked "DH SURVEYS INC"
South of J 1/2 Road
NORTHING: 67185.23
EASTING: 53517.93
ELEVATION: 4551.66
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)

0 20 40
HORIZONTAL

VERTICAL: N/A

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\05-Sheet\2060-001 Utility Composite.dwg [Detail 2] 15-Mar-23 09:09:15

PRELIMINARY

215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501
Phone: 970.241.4722 Fax: 970.241.8841
www.rcwest.com

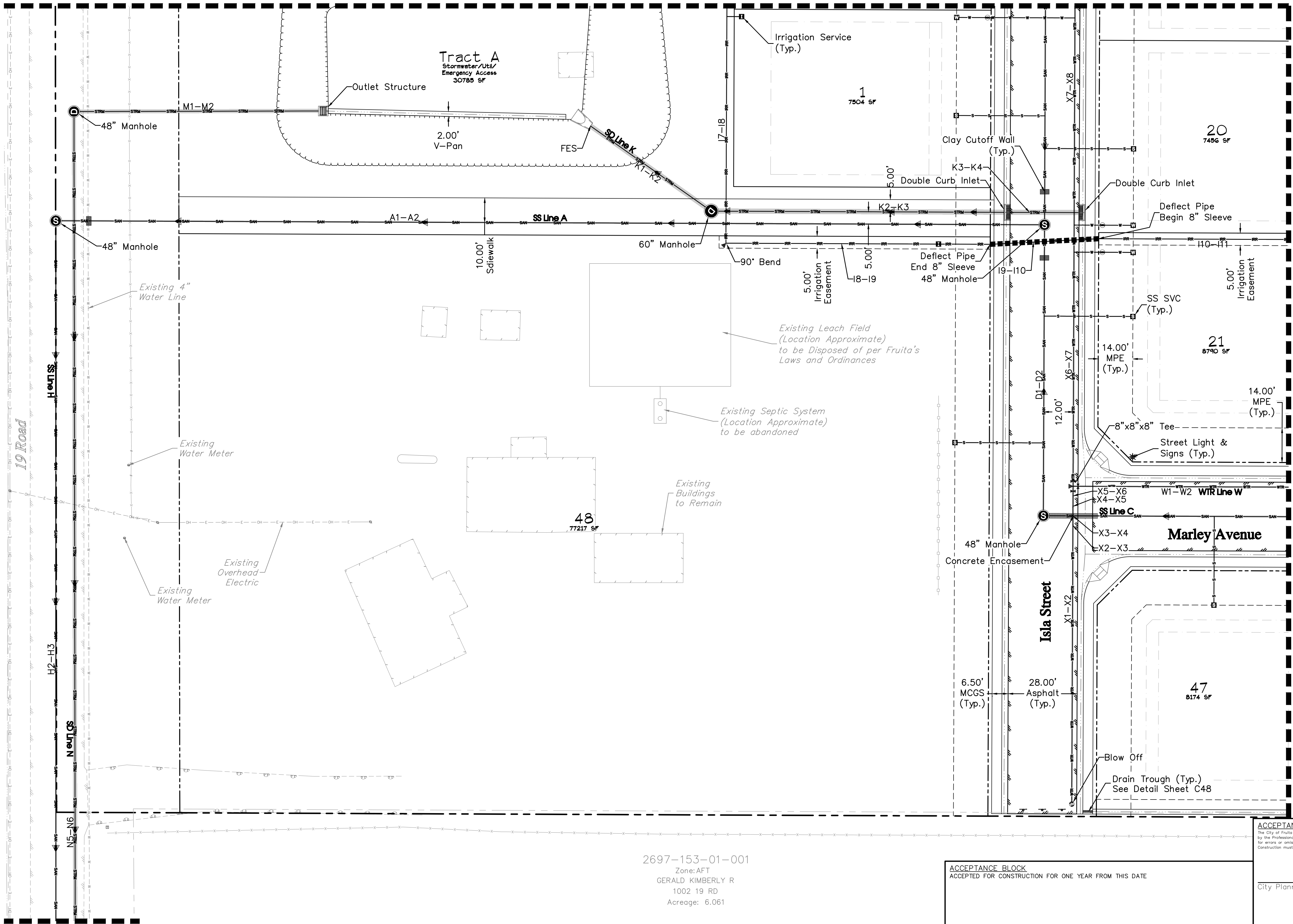
DRAWN BY: jcf PROJECT: 2060-001
CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC

Adeles Acres Subdivision
Utility Composite
Northeast Area Detail

C8

Matchline See Sheet C7



PR-WTR Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
W1-W2	105.6	8	C900 PVC
X1-X2	112.7	8	C900 PVC
X2-X3	0.8	8	C900 PVC
X3-X4	7.0	8	C900 PVC
X4-X5	0.7	8	C900 PVC
X5-X6	7.8	8	C900 PVC
X6-X7	111.1	8	C900 PVC
X7-X8	227.8	8	C900 PVC

PR-SS Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
A1-A2	401.2	8	SDR 35
D1-D2	118.1	8	SDR 35
H2-H3	355.8	8	SDR 35

PR-SD Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
K1-K2	59.9	24	RCP
K2-K3	119.7	24	RCP
K3-K4	31.0	24	RCP
M1-M2	101.1	18	RCP
N5-N6	451.0	18	RCP

PR-IRR Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
I7-I8	92.0	4	100 PSI PIP
I8-I9	107.2	4	100 PSI PIP
I9-I10	44.1	4	100 PSI PIP
I10-I11	92.6	4	100 PSI PIP

ACCEPTANCE BLOCK
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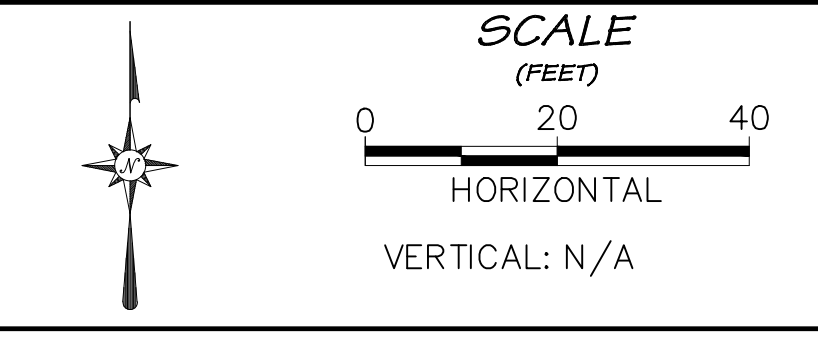
2697-153-01-001
 Zone: AFT
 GERALD KIMBERLY R
 1002 19 RD
 Acreage: 6.061

ACCEPTANCE BLOCK
 ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

City Planner _____ Date _____
 City Development Engineer _____ Date _____

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Project Benchmark
 Found 2" Aluminum CopNE Corner Marked "DH SURVEYS INC" South of J 1/2 Road
 NORTHING: 67185.23
 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\05-Sheet\2060-001 Utility Composite.dwg [Detail 3] 15-Mar-23 09:09:20

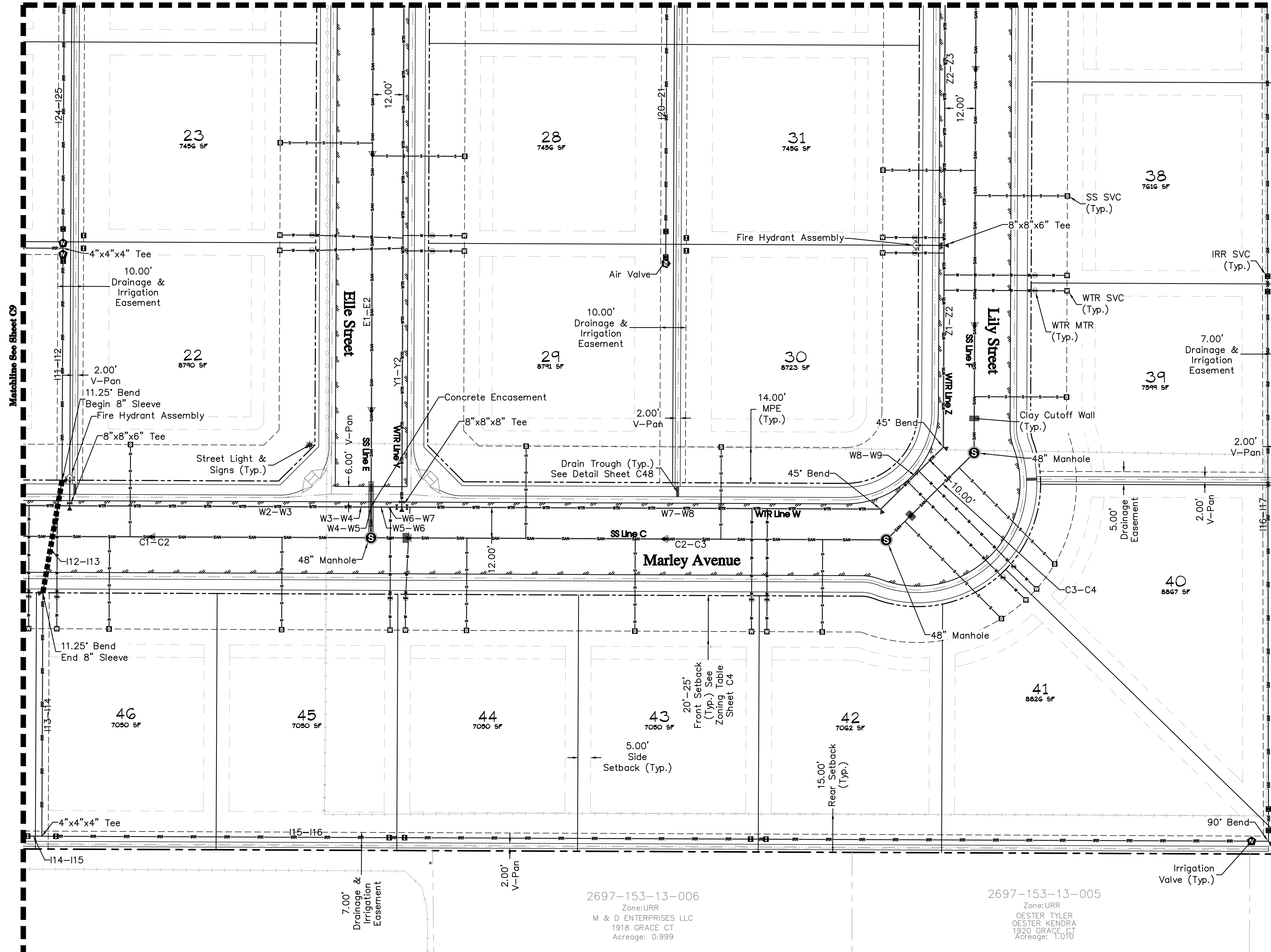
RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501 Phone: 970.241.4722 Fax: 970.241.8841
 DRAWN BY: jcf PROJECT: 2060-001
 CHECKED BY: jwm ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Utility Composite
 Southwest Area Detail

C9

PRELIMINARY

Matchline See Sheet C8



PR-WTR Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
W2-W3	113.3	8	C900 PVC
W3-W4	0.8	8	C900 PVC
W4-W5	7.0	8	C900 PVC
W5-W6	0.8	8	C900 PVC
W6-W7	7.7	8	C900 PVC
W7-W8	186.9	8	C900 PVC
W8-W9	34.3	8	C900 PVC
Y1-Y2	250.0	8	C900 PVC
Z1-Z2	78.8	8	C900 PVC
Z2-Z3	137.9	8	C900 PVC

PR-SS Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
C1-C2	235.1	8	SDR 35
C2-C3	201.0	8	SDR 35
C3-C4	48.3	8	SDR 35
E1-E2	225.0	8	SDR 35
F1-F2	459.5	8	SDR 35

PR-IRR Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
I11-I12	90.5	4	100 PSI PIP
I12-I13	44.6	4	100 PSI PIP
I13-I14	95.0	4	100 PSI PIP
I15-I16	478.5	4	100 PSI PIP
I16-I17	456.1	4	100 PSI PIP
I20-21	247.9	4	100 PSI PIP
I24-I25	242.3	4	100 PSI PIP

2697-153-13-009
 Zone: URR
 M & D ENTERPRISES LLC
 Acreage: 21.682

2697-153-13-006
 Zone: URR
 M & D ENTERPRISES LLC
 1918 GRACE CT
 Acreage: 0.999

2697-153-13-005
 Zone: URR
 OESTER TYLER
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 1920 GRACE CT
 Acreage: 1.010

ACCEPTANCE BLOCK
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Ute Water District _____ Date _____

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City Planner _____ Date _____

City Development Engineer _____ Date _____

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 www.uncc.org
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

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 Found 2" Aluminum CopNE Corner Marked "DH SURVEYS INC" South of J 1/2 Road NORTHING: 67185.23 EASTING: 53517.93 ELEVATION: 4551.66 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)

HORIZONTAL: 0 20 40
 VERTICAL: N/A

North Arrow

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

PRELIMINARY

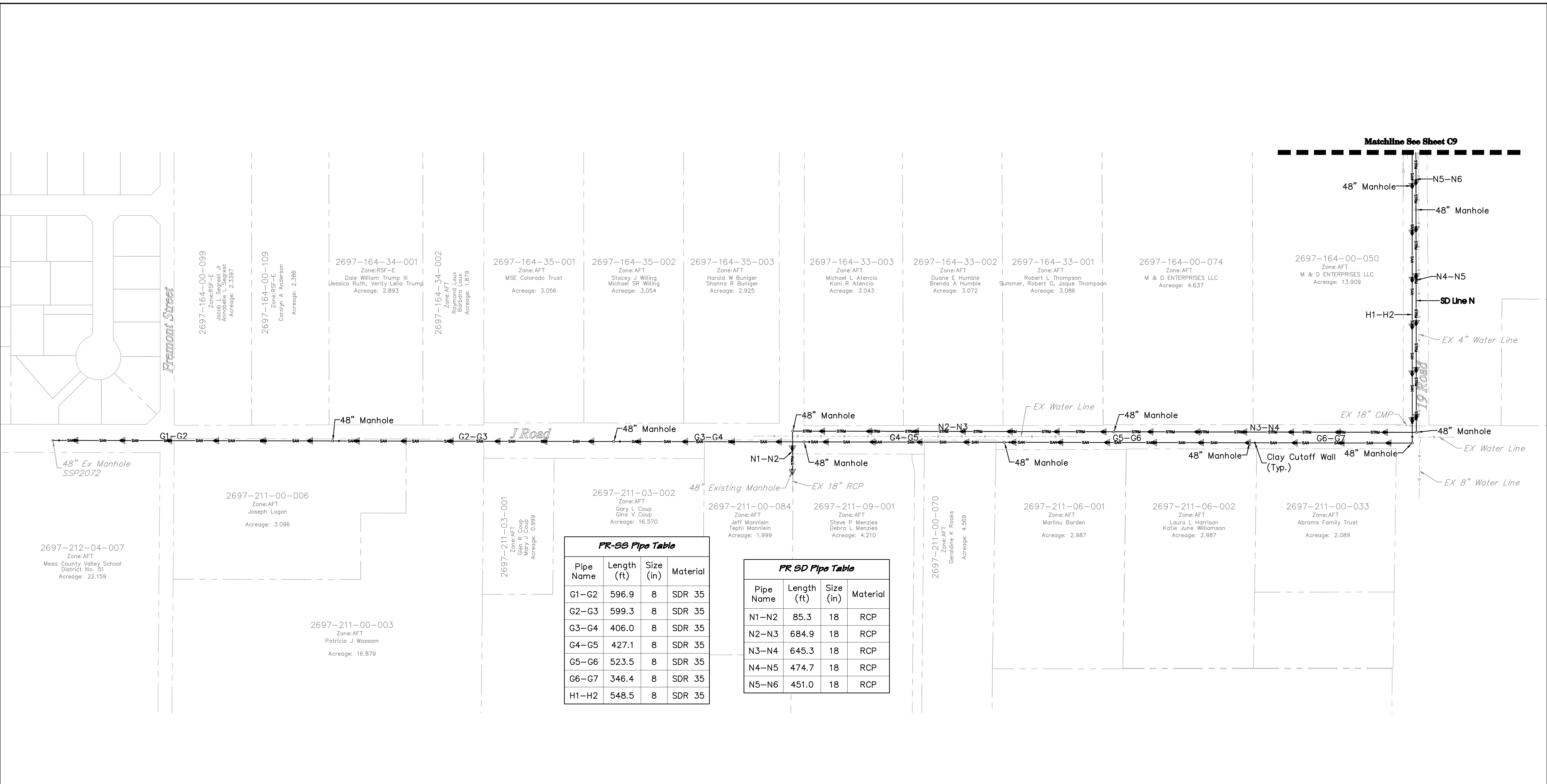
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RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8844

DRAWN BY: icf PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Utility Composite
 Southeast Area Detail

C10



PR-SS Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
G1-G2	596.9	8	SDR 35
G2-G3	599.3	8	SDR 35
G3-G4	406.0	8	SDR 35
G4-G5	427.1	8	SDR 35
G5-G6	523.5	8	SDR 35
G6-G7	346.4	8	SDR 35
H1-H2	548.5	8	SDR 35

PR SD Pipe Table

Pipe Name	Length (ft)	Size (in)	Material
N1-N2	85.3	18	RCP
N2-N3	684.9	18	RCP
N3-N4	645.3	18	RCP
N4-N5	474.7	18	RCP
N5-N6	451.0	18	RCP

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ACCEPTANCE BLOCK
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City Planner _____ Date _____
 City Development Engineer _____ Date _____

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 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)
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 HORIZONTAL
 VERTICAL: N/A

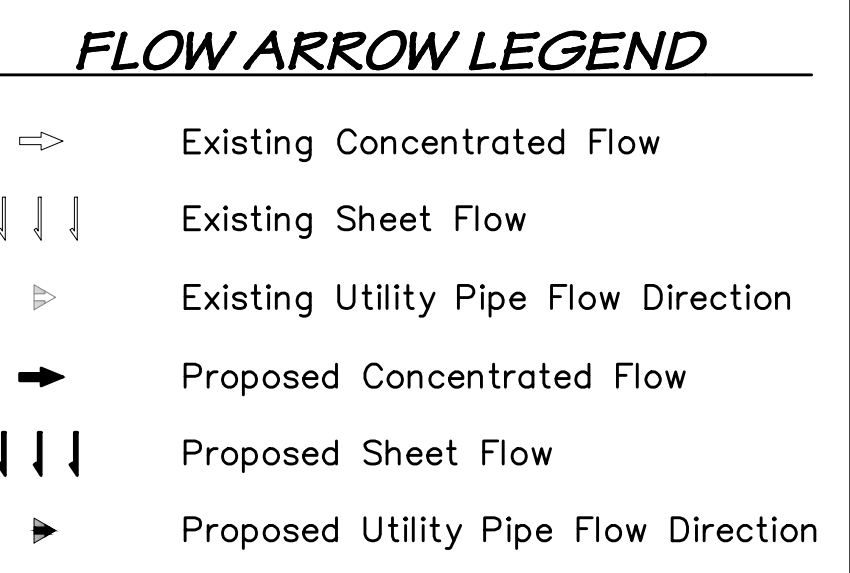
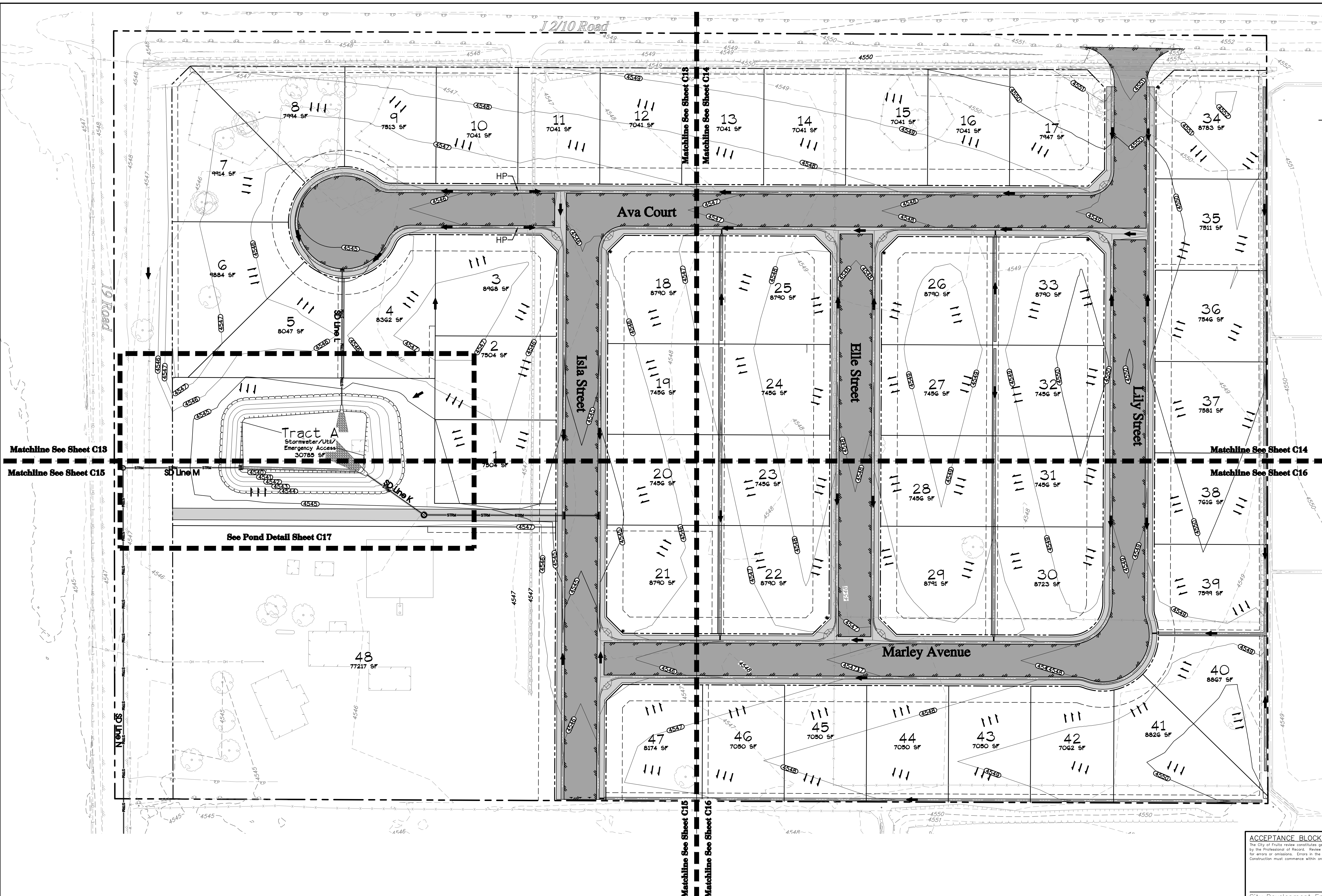
PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\05-Sheet\2060-001 Utility Composite.dwg [Detail 5] 15-Mar-23 09:09:33

RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841
 DRAWN BY: lcf PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Utility Composite
 Offsite Detail
 C11



- Notes:**
- All lots are "Type A" (i.e. runoff from the lot drains to the street) or "Type B" (i.e. runoff from the lot drains to the street and to the rear lot line).
 - The legend and a list of abbreviations can be found on sheet C3. The general notes can be found on sheet C2.
 - Adjacent parcel lines are from the Mesa County GIS Website and shown for reference only.

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 NORTHING: 67185.23
 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)

0 40 80
 HORIZONTAL

VERTICAL: N/A
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

PRELIMINARY

RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 Fax: 970.241.8841
 www.rcwest.com

DRAWN BY: lcf PROJECT: 2060-001
 CHECKED BY: jwm

ORIGINAL SHEET SIZE: 22 x 34

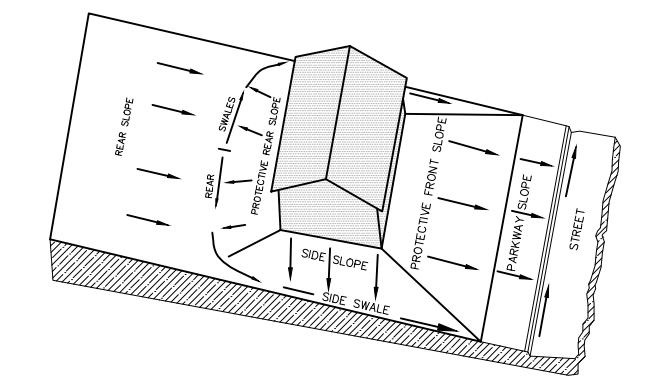
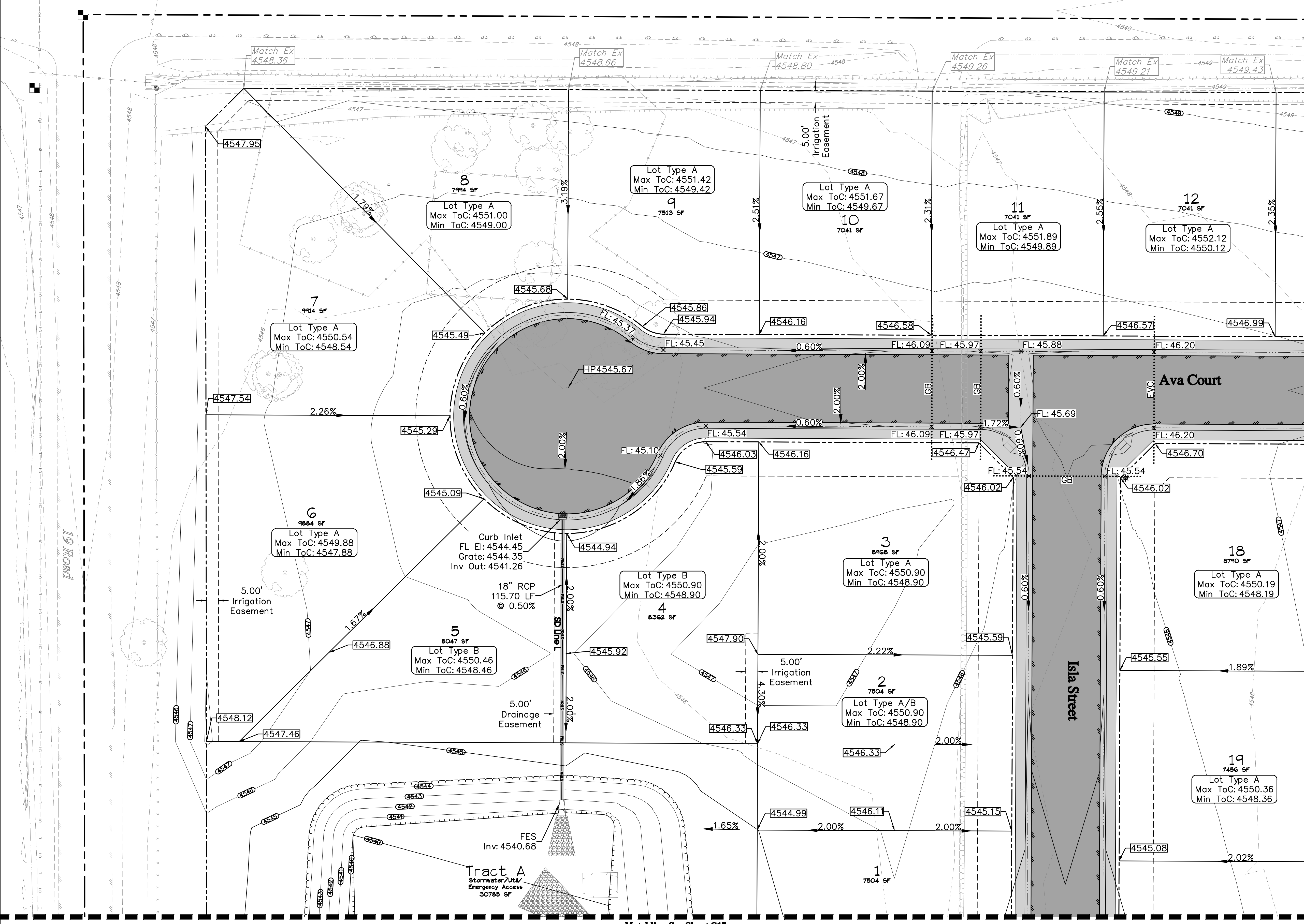
FUTURADO DEVELOPMENT LLC

Adeles Acres Subdivision

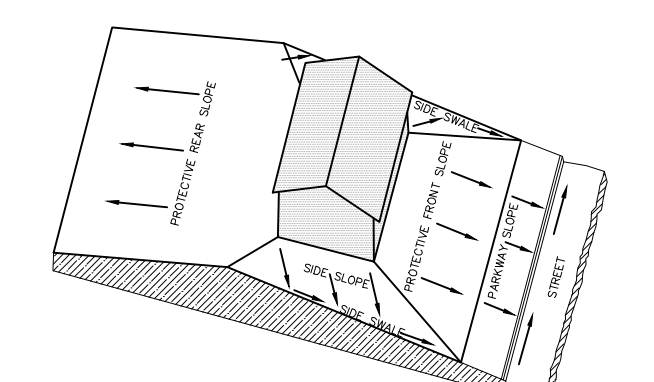
Grading Plan
 Overall

C12

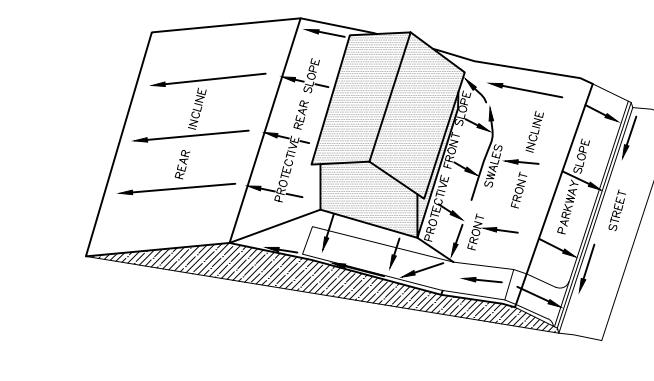
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LOT GRADING - TYPE A
ALL DRAINAGE TO STREET



LOT GRADING - TYPE B
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE



LOT GRADING - TYPE C
ALL DRAINAGE TO REAR LOT LINE

Note: These standard details depict the basic elements of good residential grading practice. Final detailed grading around residential structures is the responsibility of the lot owner. Not all lots are typical, some may require more complicated grading methods.

UTILITY SHEETS

- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38

ACCEPTANCE BLOCK
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Project Benchmark
Found 2" Aluminum CopNE Corner
Marked "DH SURVEYS INC"
South of J 1/2 Road
NORTHING: 67185.23
EASTING: 53517.93
ELEVATION: 4551.66
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)

HORIZONTAL: 0 20 40

VERTICAL: N/A

CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

RIVER CITY CONSULTANTS

215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501
Phone: 970.241.4722 Fax: 970.241.8841
www.rcwest.com

DRAWN BY: icf PROJECT: 2060-001
CHECKED BY: jwm

ORIGINAL SHEET SIZE: 22 x 34

City Development Engineer _____ Date _____

FUTURADO DEVELOPMENT LLC

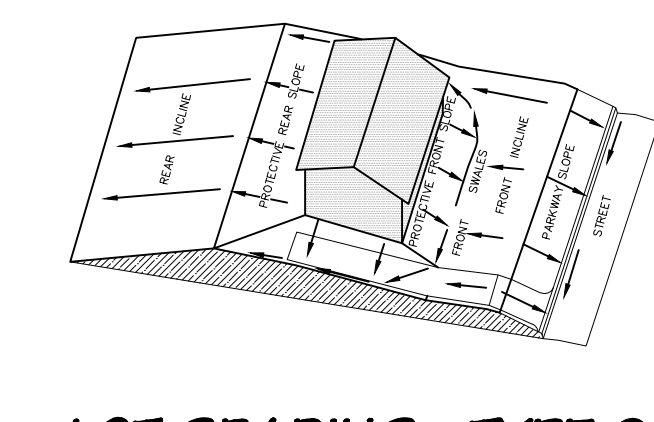
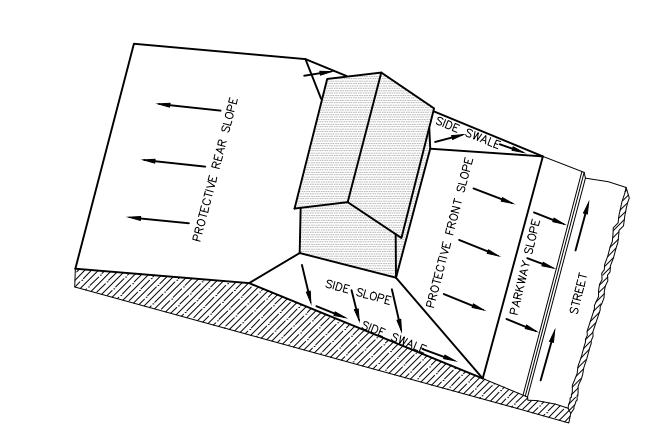
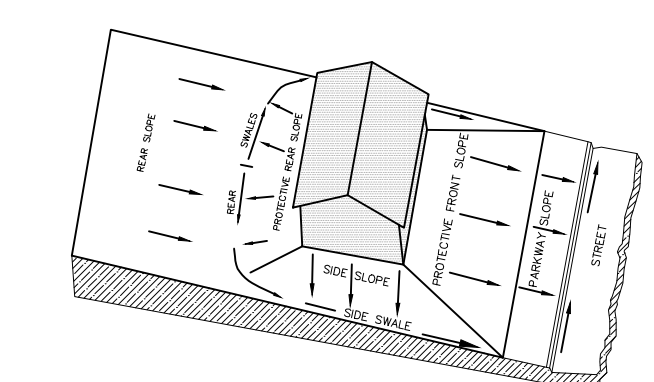
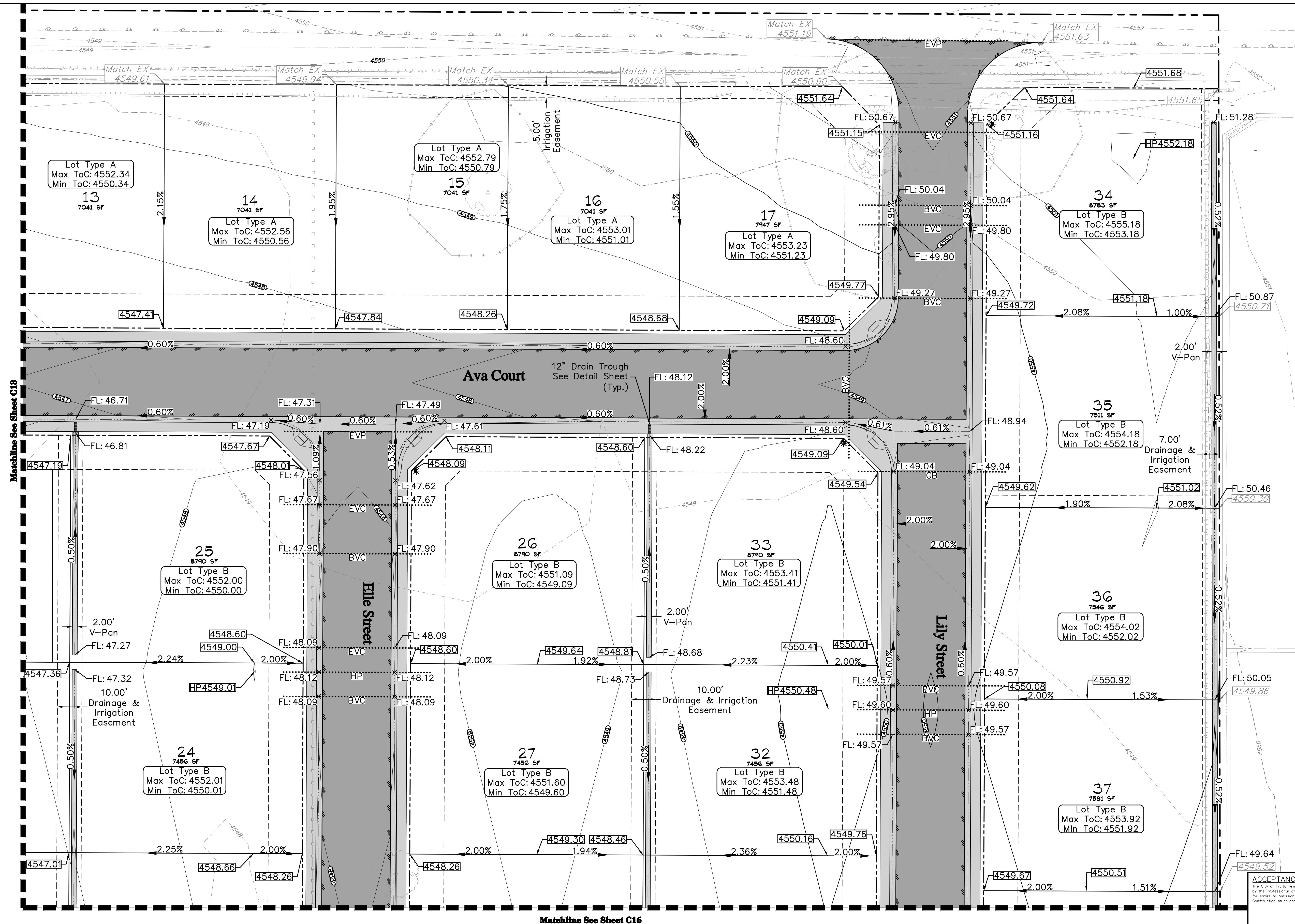
Adeles Acres Subdivision

Grading Plan
Detail 1

C13

PRELIMINARY

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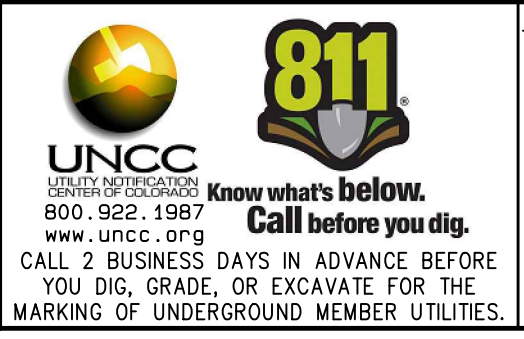


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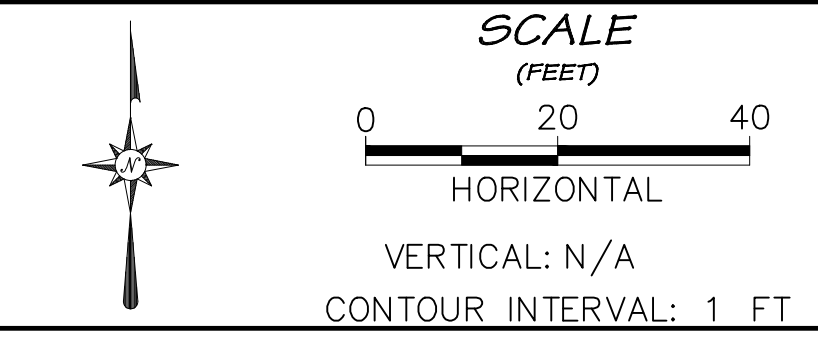
Matchline See Sheet C13

Matchline See Sheet C16

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ELEVATION: 4551.66
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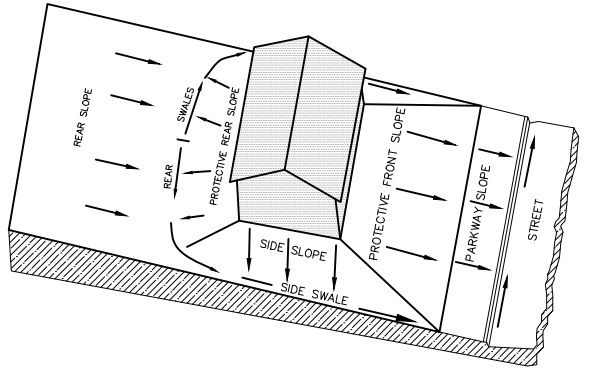
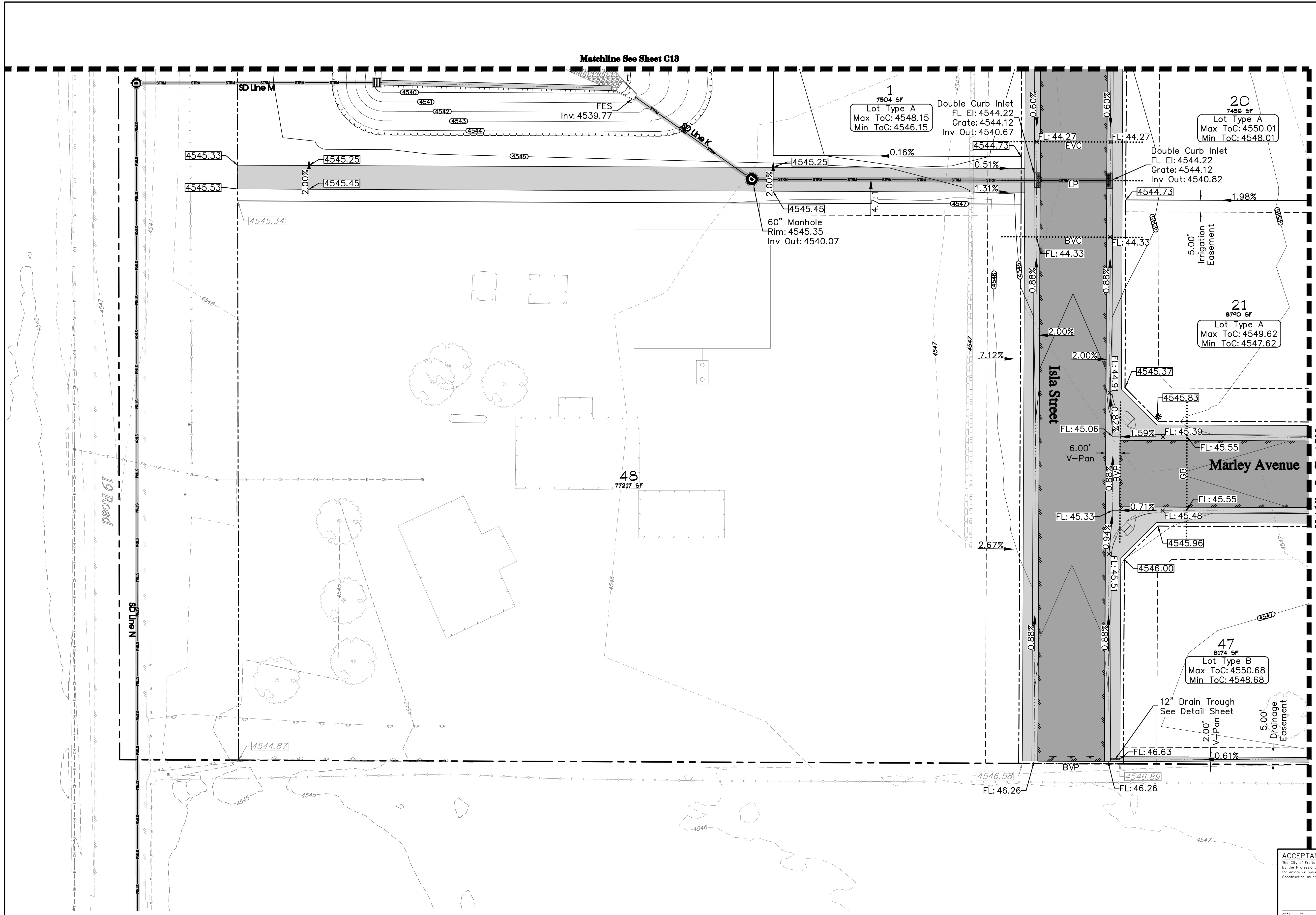
PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

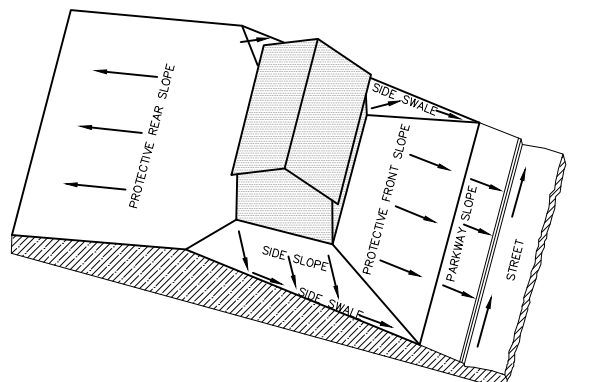
PRELIMINARY

RIVER CITY CONSULTANTS
215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501
Phone: 970.241.4722 Fax: 970.241.8841
DRAWN BY: lcf PROJECT: 2060-001
CHECKED BY: jwm ORIGINAL SHEET SIZE: 22 x 34

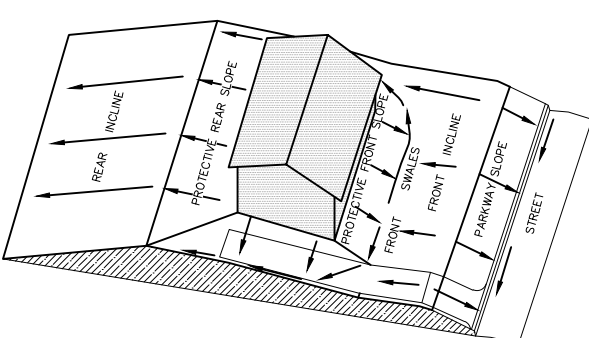
City Development Engineer _____ Date _____
FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Grading Plan
Detail 2
C14



LOT GRADING - TYPE A
ALL DRAINAGE TO STREET



LOT GRADING - TYPE B
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE



LOT GRADING - TYPE C
ALL DRAINAGE TO REAR LOT LINE

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- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38

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DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)
HORIZONTAL: 1" = 20'
VERTICAL: N/A
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

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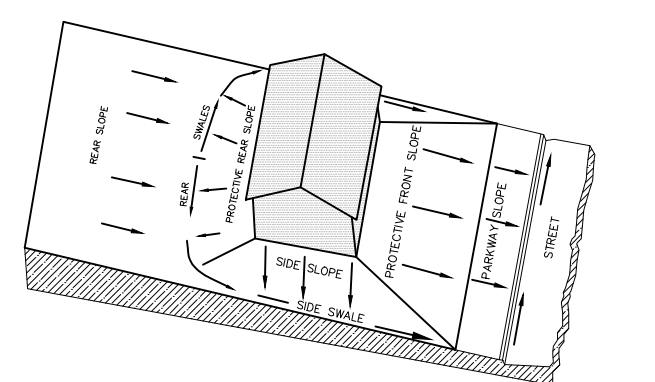
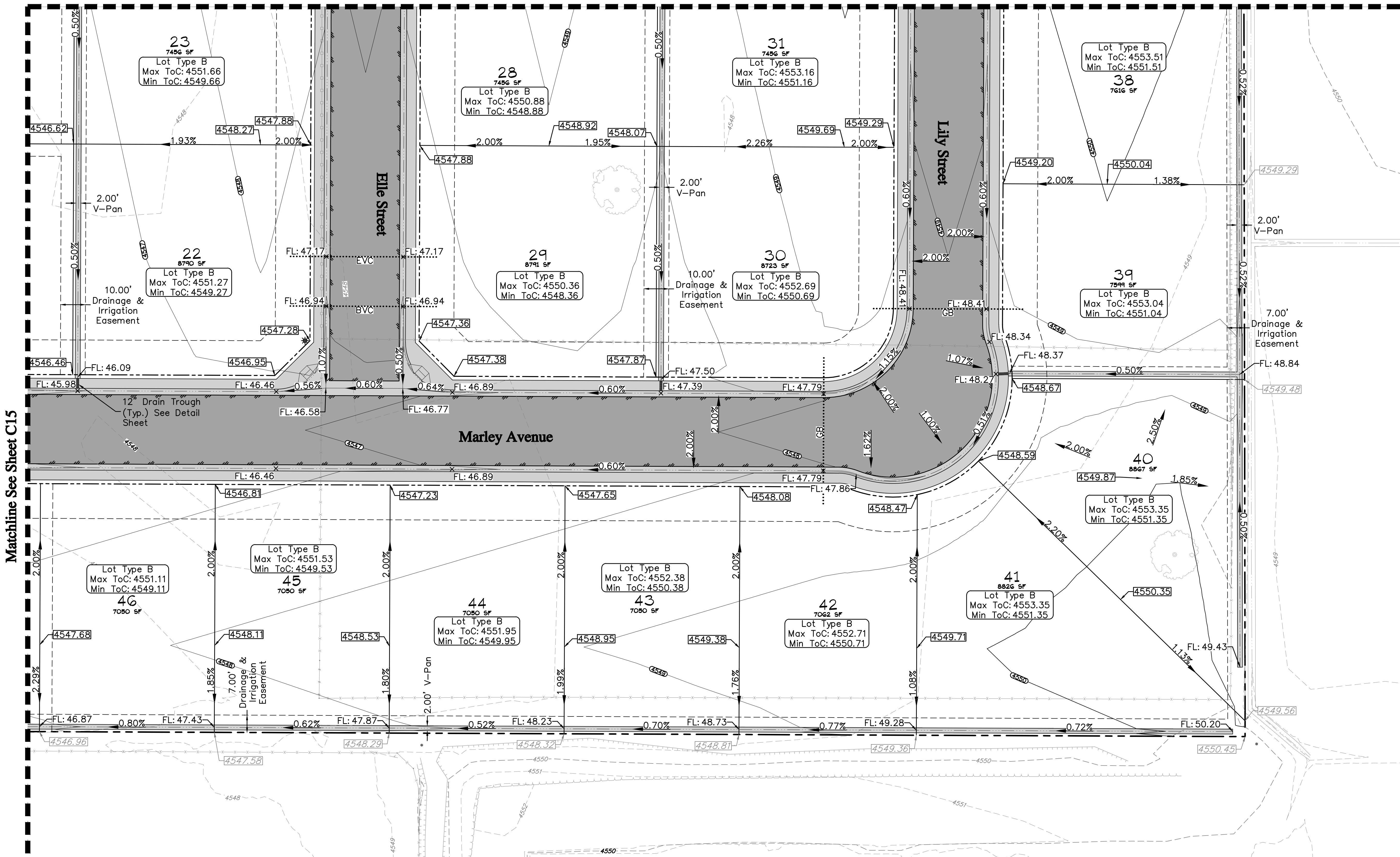
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215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501
Phone: 970.241.4722 Fax: 970.241.8841
www.rcwest.com

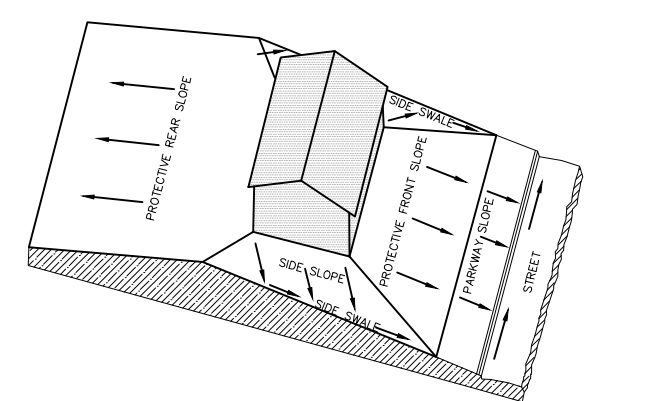
DRAWN BY: lcf PROJECT: 2060-001
CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Grading Plan
Detail 3
C15

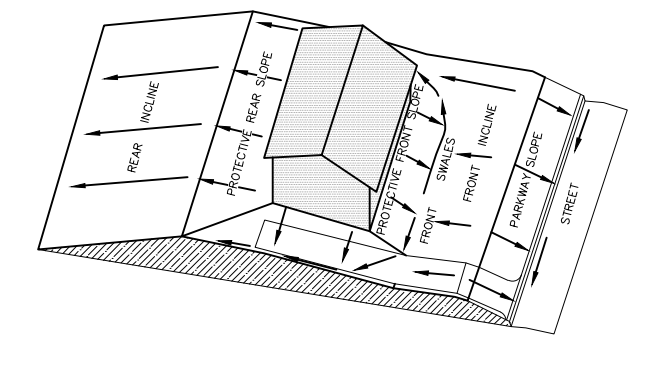
Matchline See Sheet C14



LOT GRADING - TYPE A
ALL DRAINAGE TO STREET



LOT GRADING - TYPE B
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE



LOT GRADING - TYPE C
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Matchline See Sheet C15

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ELEVATION: 4551.66
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)

HORIZONTAL: 0 20 40

VERTICAL: N/A

CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary		DATE ISSUED: 08.MAR.2023	
NO.	DATE	REVISION	BY

P.R.E.L.I.M.I.N.A.R.Y

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Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: lcf | PROJECT: 2060-001
CHECKED BY: jwm

ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC

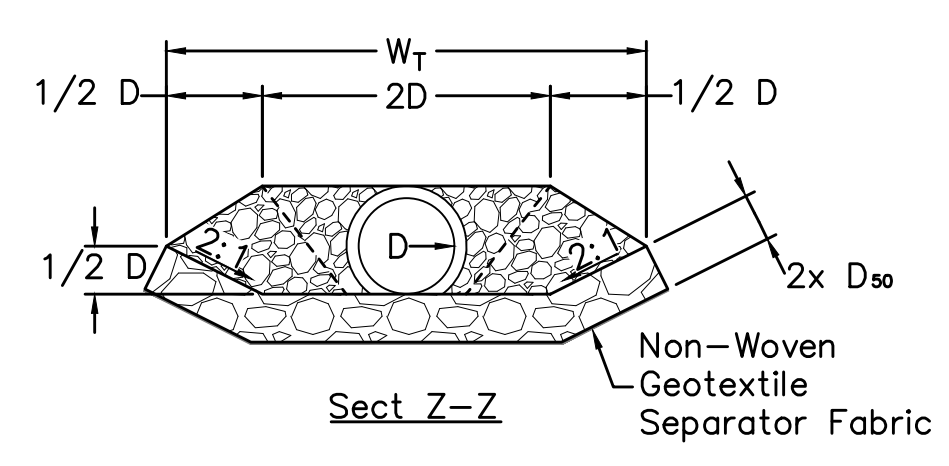
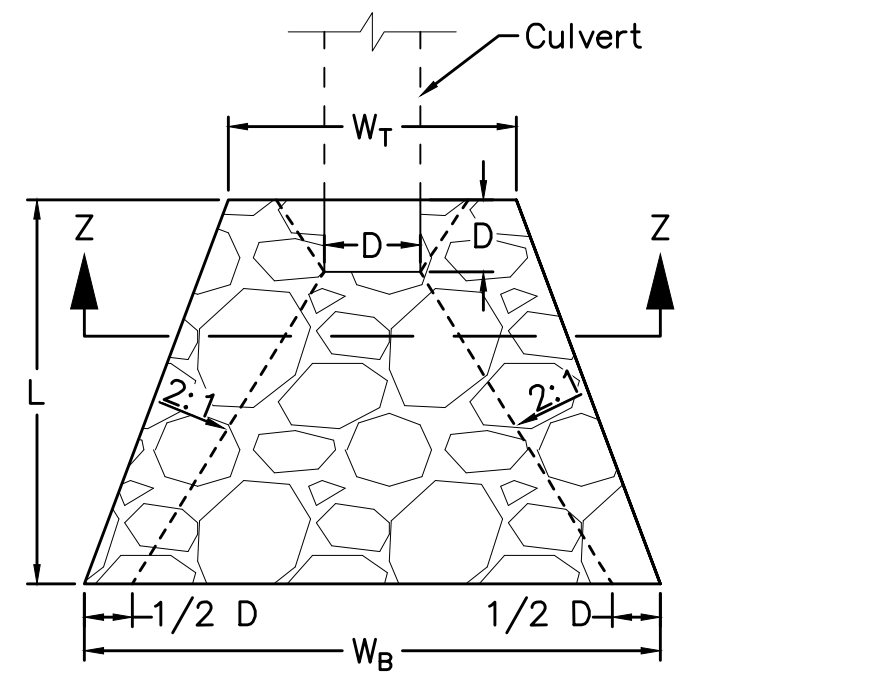
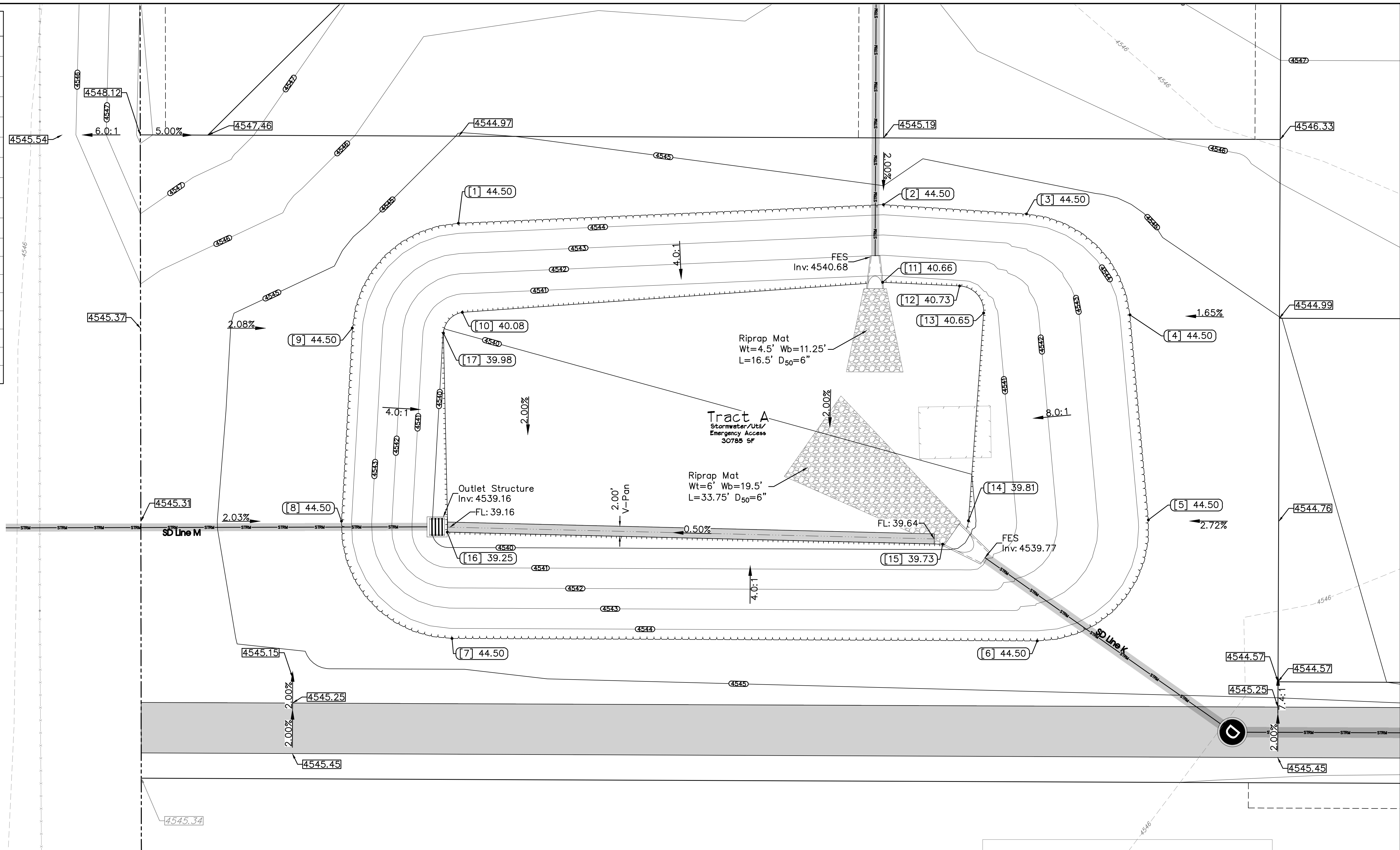
Adeles Acres Subdivision

Grading Plan
Detail 4

C16

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\05-Sheet\2060-001 Grading Plan.dwg [Detail 4] 15-Mar-23 09:10:45

Point Table				
Pnt #	Northing	Eastng	Elev	Desc
1	66903.87	52640.68	4544.50	Pond Top
2	66907.55	52724.83	4544.50	Pond Top
3	66905.71	52753.14	4544.50	Pond Top
4	66885.72	52773.62	4544.50	Pond Top
5	66845.12	52777.27	4544.50	Pond Top
6	66821.15	52755.26	4544.50	Pond Top
7	66821.65	52639.41	4544.50	Pond Top
8	66844.88	52617.54	4544.50	Pond Top
9	66883.12	52619.68	4544.50	Pond Top
10	66886.22	52641.46	4540.08	Pond Bottom
11	66892.17	52724.66	4540.66	Pond Bottom
12	66891.45	52739.90	4540.73	Pond Bottom
13	66886.09	52744.65	4540.65	Pond Bottom
14	66844.95	52741.65	4539.81	Pond Bottom
15	66840.32	52736.54	4539.73	Pond Bottom
16	66842.69	52638.49	4539.25	Pond Bottom
17	66882.11	52637.72	4539.98	Pond Bottom



Riprap Mat Detail
(N.T.S.)

UTILITY SHEETS

- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38

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NORTHING: 67185.23
EASTING: 53517.93
ELEVATION: 4551.66
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)

HORIZONTAL: 0 10 20

VERTICAL: N/A

CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

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RIVER CITY CONSULTANTS

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CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC

Adeles Acres Subdivision

Grading Plan
Pond Detail

C17

SITE DESCRIPTION

- The proposed project site is located at Parcel Number: 2697-153-00-181, in Fruita, CO.
- According to the Mesa County Drainage Basins map, the proposed project site is located entirely within the Sub Drainage Basin ID 117.
- The project estimated total area of disturbance is approximately 12.6 acres.
- Existing vegetation on site includes native cottonwood trees, grasses and bushes (~25% pre-construction cover). The 100-year runoff SCS Curve numbers for this project are -- for undeveloped areas and -- for developed areas.

GENERAL SWMP NOTES

- Qualified Stormwater Manager for design (local contact)
Name: Courtney Patch – River City Consultants
Phone: (970)241-4722
- Qualified Stormwater Manager for construction (local contact)
Name: _____
Phone: _____
- Refer to the written Construction Stormwater Management Plan (CSWMP) for storm water control measure details for installation, maintenance, and additional information.
- Storm water control measures shown are schematic only. Adjustments may be necessary to fit actual field conditions. The primary contaminant of concern for this project is sediment. The proposed erosion controls have been selected and placed to mitigate the potential for sediment transport from the project area.
- Construction activity will consist of, in the following order: site marking, establishment of perimeter stormwater control measures, site clearing, topsoil removal and stockpiling, installation of utilities, roads, and buildings, landscaping, and final seeding. Intermediate stormwater control measures will be installed and maintained throughout construction as required by the contractor's means and methods.
- Stormwater control measures shall be installed as the work (grading) progresses. At all times during construction, erosion and sediment control shall be maintained by the contractor.
- Negative impacts to downstream areas (or receiving waters) caused by earthwork and/or construction are to be monitored and immediately corrected by the contractor.
- The first storm water control measure to be installed on the site shall be construction fence, markers, or other approved means of defining the limits of construction.
- Natural vegetation shall be retained and protected wherever possible. Exposure of soil to erosion by removal or disturbance of vegetation shall be limited to the area required for immediate construction operations.
- All construction traffic must enter/exit the site through the CSWMP-approved access points.
- All outlet structures must remain plugged when drainage pipes are live until pond construction has been completed.

STORMWATER CONTROL MEASURES LEGEND

Installation details and maintenance guidelines for the above erosion control measures can be found in the written Construction Stormwater Management Plan for this project, CDOT standards, on Denver's Urban Drainage and Flood Control District website, and various manufacture's websites. Variations from these standards shall be approved by the Qualified Stormwater Manager prior to installation. This list is not considered complete or absolute, additional methods can and should be added to this plan if required. This CSWMP should be kept current and modified appropriately by the Qualified Stormwater Manager based on actual field conditions and the Contractor's means and methods.

- SCL SEDIMENT CONTROL LOG
- CWA CONCRETE WASHOUT AREA
- DP DETENTION POND
- ED/DS EARTHEN DIKE/ DRAINAGE SWALE
- I/OP INLET/OUTLET PROTECTION
- LG LAND GRADING
- MDS MATERIALS DELIVERY & STORAGE
- RV REVEGETATION
- RR RIPRAP
- SH SURFACE HARDENING
- VEM VEHICLE EQUIPMENT & MAINTENANCE
- WM WASTE MANAGEMENT
- TP TOILETS (PORTABLE)
- VTC VEHICLE TRACKING CONTROL
- RS ROCK SOCK
- SBB STRAW BALE BARRIER
- SP STOCKPILE MANAGEMENT
- PEV PROTECT EXISTING VEGETATION
- CD CHECK DAM
- SEW STABILIZED ENTRY WAY
- LoD LIMIT OF DISTURBANCE

⇨ EXISTING FLOW ARROW
➔ PROPOSED FLOW ARROW

STORMWATER EROSION CONTROL MEASURES (PERFORMANCE STANDARDS)

The general requirements for erosion control work shall be as follows:

- Any grading shall be conducted in such a manner to effectively reduce accelerated soil erosion and resulting sedimentation.
- All grading shall be designed, constructed, and completed to minimize the size and duration of exposed (unvegetated) area.
- Sediment caused by accelerated soil erosion shall be captured and removed from runoff water prior to leaving the site.
- Any temporary or permanent facility designed and constructed for the conveyance of water around, through, or from the graded area shall be designed to limit the water flow to a non-erosive velocity.
- Temporary soil erosion control facilities shall be removed and areas graded and stabilized with permanent soil erosion control measures.
- All BMPs will be in place prior to any major earthwork.

DURING CONSTRUCTION (TEMPORARY MEASURES)

- Material stockpiles shall be bermed around their perimeter to prevent runoff pollution.
- Place wattles and/or berm down gradient of disturbed areas and stockpiles.
- Compact soil and topsoil to the requirements as stated in the Geotechnical recommendations and finish grade to elevations shown on the site plan. Eliminate any low spots prior to final stabilization.
- Contractor shall have a water truck made available to assist in controlling moisture content and dust and wind erosion.
- Soils that will be stockpiled for more than thirty (30) days shall be seeded and mulched within fourteen (14) days of stockpile construction. No stockpiles shall be placed within one hundred (100) feet of a drainage way unless approved by the CSWMP Administrator.
- The cleaning of concrete delivery truck chutes is restricted to approved concrete wash out locations on the job site. The discharge of water containing waste concrete to the storm system is prohibited. All concrete waste shall be properly cleaned up and disposed at an appropriate location.

MAINTENANCE

- All erosion control measures should be inspected to determine if repairs or sediment removal is necessary. The maximum time between inspections shall be 14 days.
- Erosion control measures are also to be inspected within 48 hours of a storm that produces moderate runoff or moderate snow melt.
- Repairs or modifications to the erosion control measures shall be completed immediately. Repairs and modifications shall be documented (what, why, & when).
- Silt and sediment shall be removed if there is a risk of sediment bypassing the erosion control feature. Specifically, sediment buildup shall not exceed 1/3 the height of any check dam or berm (including inlet protection), 1/2 the height of a wattle, or when sediment within a sediment basin gets within 6 inches of the outlet invert.
- When the temporary measures are to be removed, any silt and sediment deposits shall be removed and spread evenly in open areas and seeded as necessary.

AFTER CONSTRUCTION (PERMANENT MEASURES)

- All areas disturbed by construction activities shall be paved, landscaped, or revegetated with a certified weed-free native seed mix appropriate for site soils and conditions. these areas shall be maintained until a vegetative cover of at least 70% of pre-construction conditions exists. if necessary, additional topsoil, seed, mulch, and/or fertilizer should be applied to establish said vegetative cover.

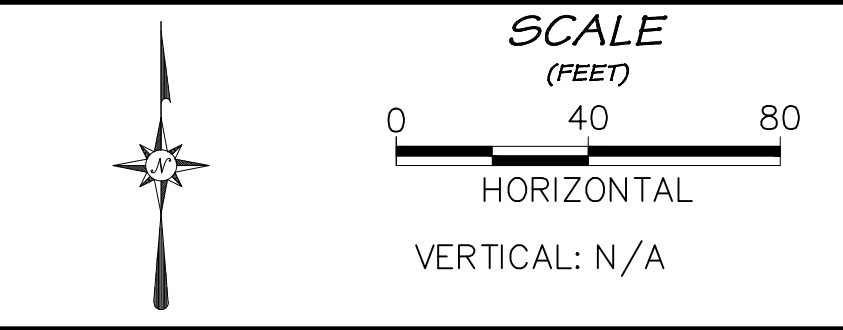
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RIVER CITY CONSULTANTS
215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501
Phone: 970.241.4722 Fax: 970.241.8841
www.rcwest.com

DRAWN BY: cjp PROJECT: 2060-001
CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC

Adeles Acres Subdivision
Stormwater Management Plan
Notes

C18



STORMWATER CONTROL MEASURES LEGEND

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 - LoD LIMIT OF DISTURBANCE
- EXISTING FLOW ARROW
 PROPOSED FLOW ARROW

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SCALE (FEET)
 0 40 80
 HORIZONTAL
 VERTICAL: N/A

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

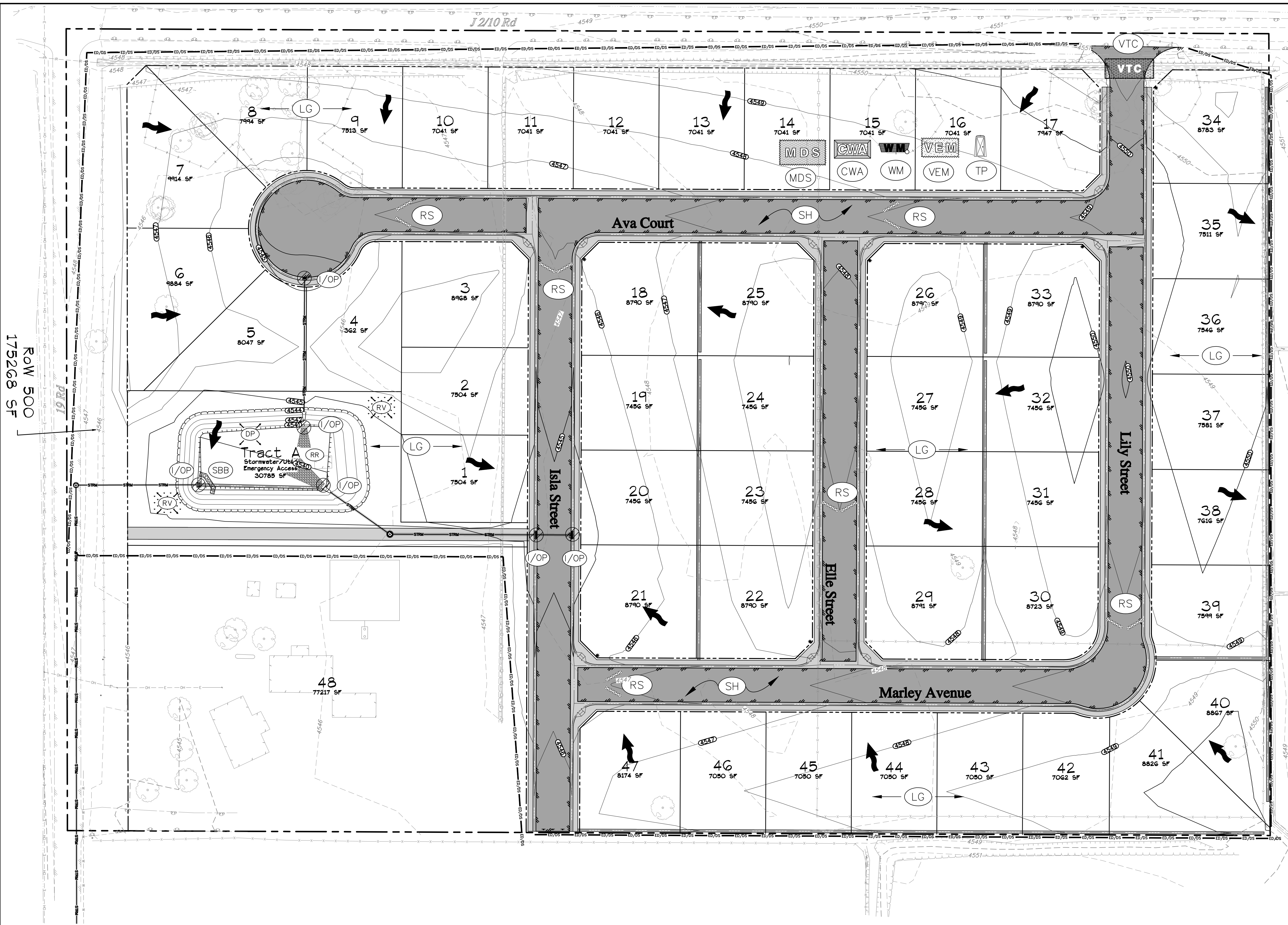
NO.	DATE	REVISION	BY

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 DRAWN BY: cjp PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Stormwater Management Plan Preliminary
 C19



ROW 500
175268 SF

STORMWATER CONTROL MEASURES LEGEND

Installation details and maintenance guidelines for the above erosion control measures can be found in the written Construction Stormwater Management Plan for this project, CDOT standards, on Denver's Urban Drainage and Flood Control District website, and various manufacturer's websites. Variations from these standards shall be approved by the Qualified Stormwater Manager prior to installation. This list is not considered complete or absolute, additional methods can and should be added to this plan if required. This CSWMP should be kept current and modified appropriately by the Qualified Stormwater Manager based on actual field conditions and the Contractor's means and methods.

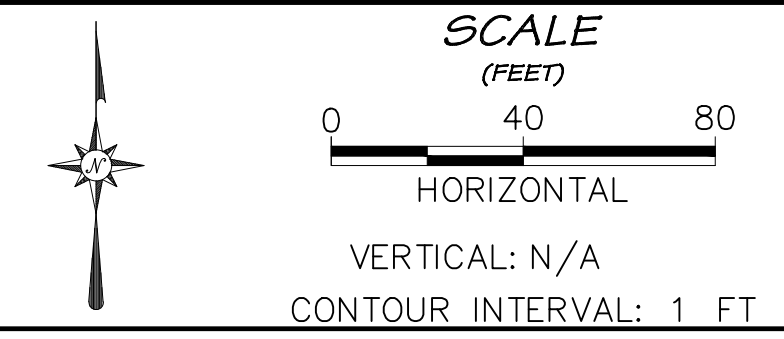
- SCL SEDIMENT CONTROL LOG
 - CWA CONCRETE WASHOUT AREA
 - DP DETENTION POND
 - ED/DS EARTHEN DIKE/ DRAINAGE SWALE
 - I/OP INLET/OUTLET PROTECTION
 - LG LAND GRADING
 - MDS MATERIALS DELIVERY & STORAGE
 - RV REVEGETATION
 - RR RIPRAP
 - SH SURFACE HARDENING
 - VEM VEHICLE EQUIPMENT & MAINTENANCE
 - WM WASTE MANAGEMENT
 - TP TOILETS (PORTABLE)
 - VTC VEHICLE TRACKING CONTROL
 - RS ROCK SOCK
 - SBB STRAW BALE BARRIER
 - SP STOCKPILE MANAGEMENT
 - PEV PROTECT EXISTING VEGETATION
 - CD CHECK DAM
 - SEW STABILIZED ENTRY WAY
 - LoD LIMIT OF DISTURBANCE
- EXISTING FLOW ARROW
 PROPOSED FLOW ARROW

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 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

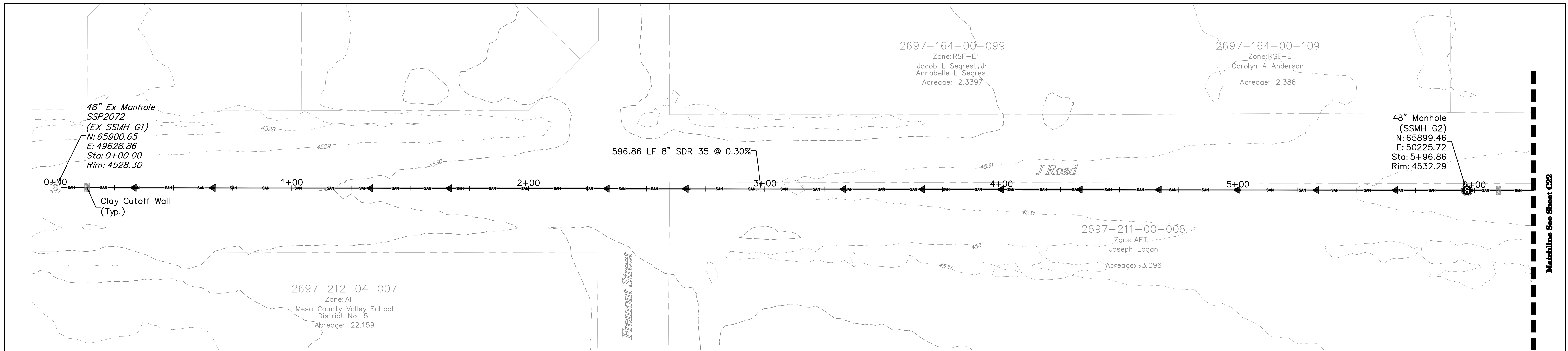
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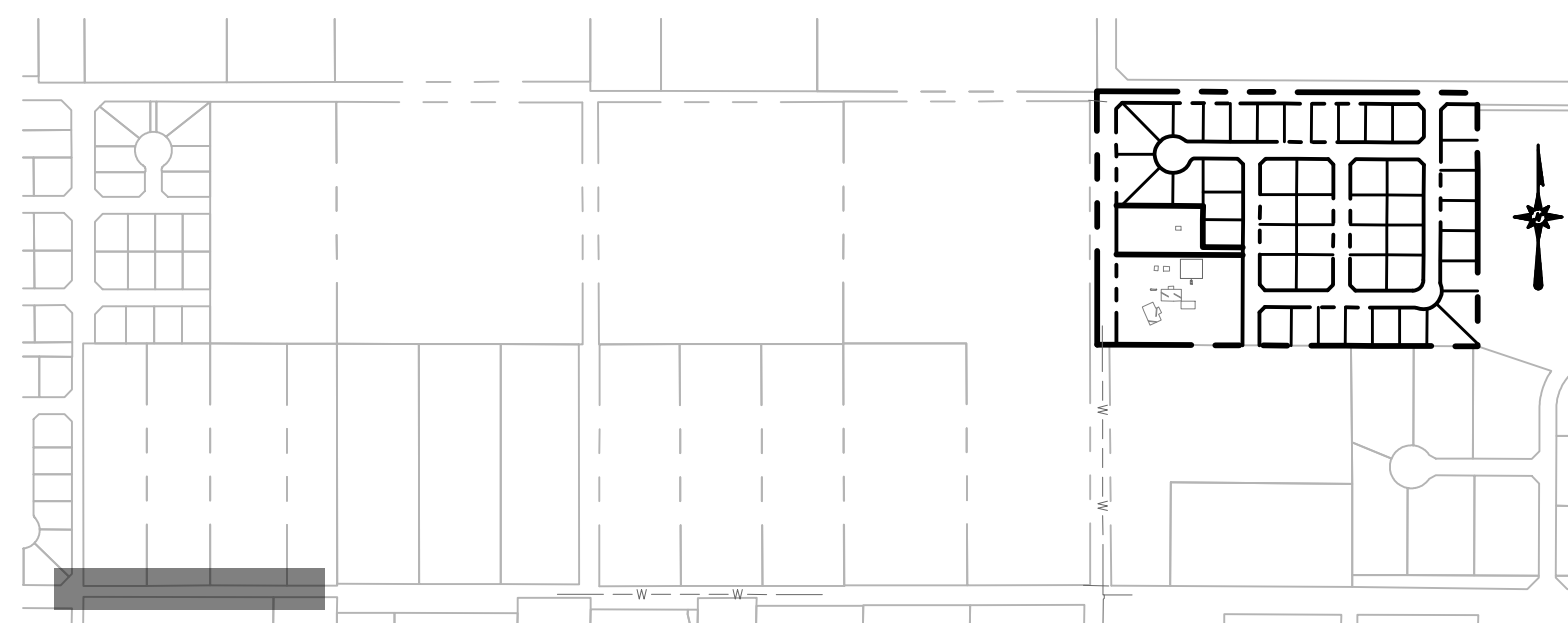
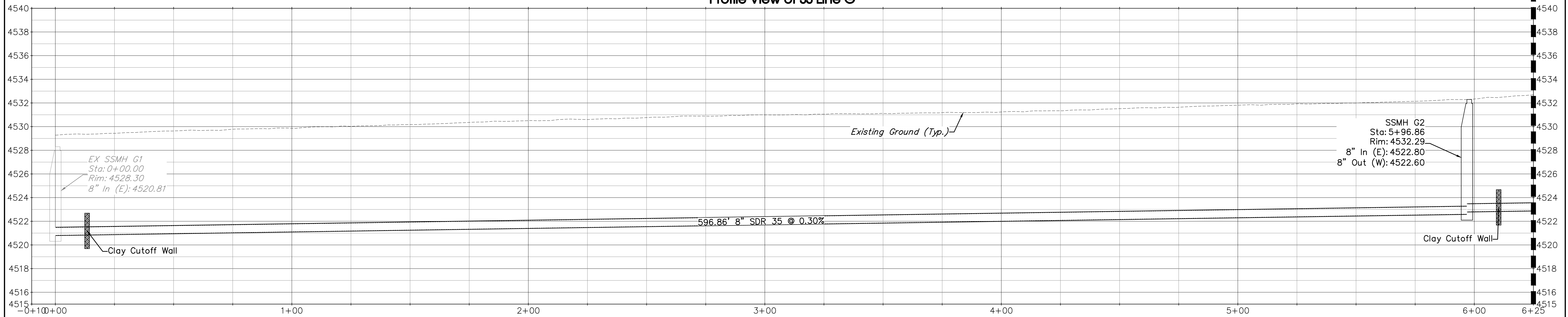
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FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Stormwater Management Plan
 Interim
 C20



Profile View of SS Line G



Vicinity Map

UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
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- SD Line N..... Sheet C36-C38

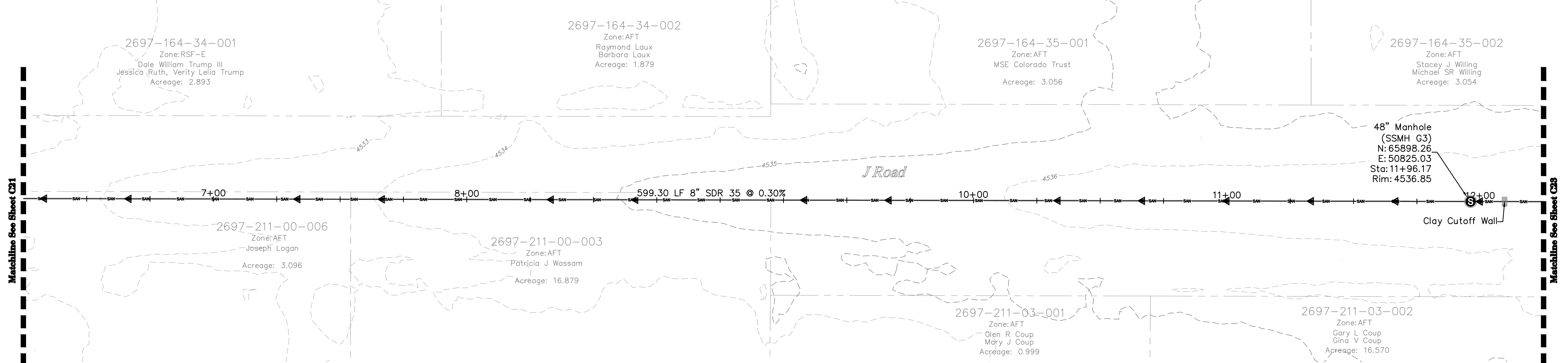
UTILITY SHEETS

- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44
- IRR Line I.....Sheet C47

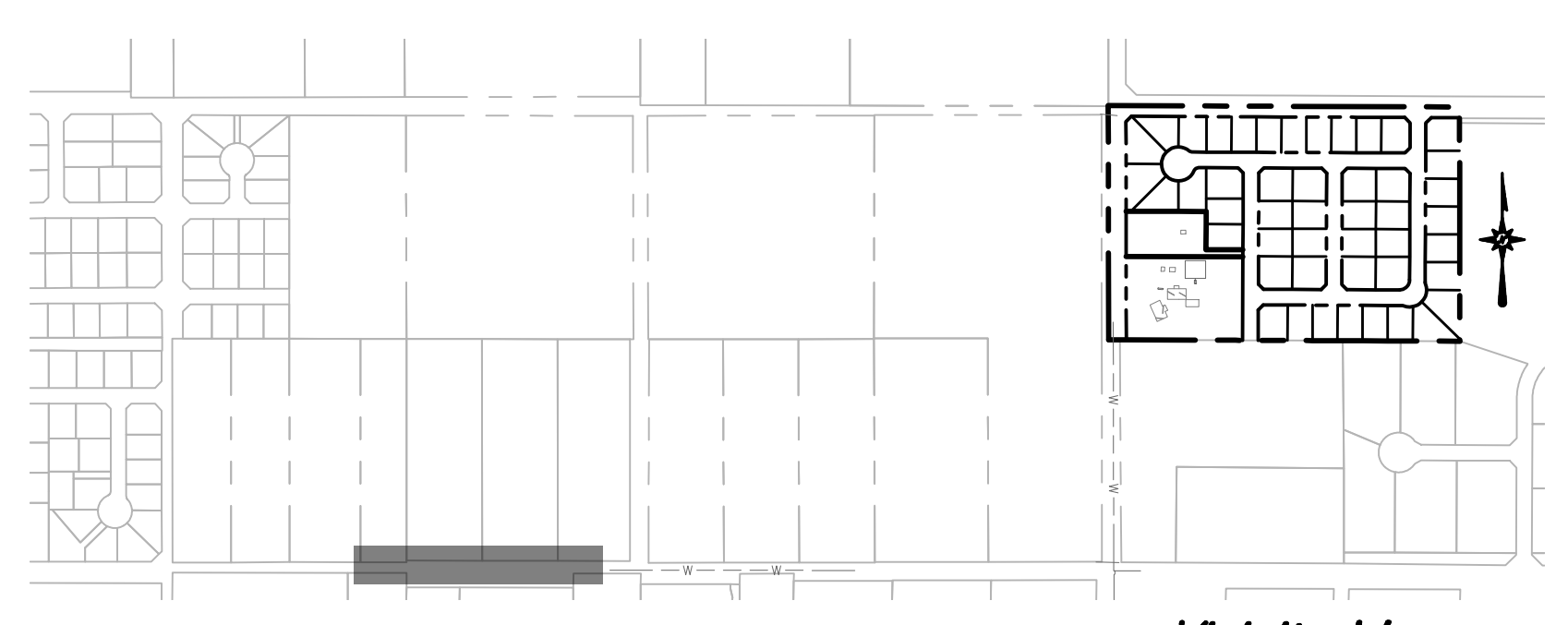
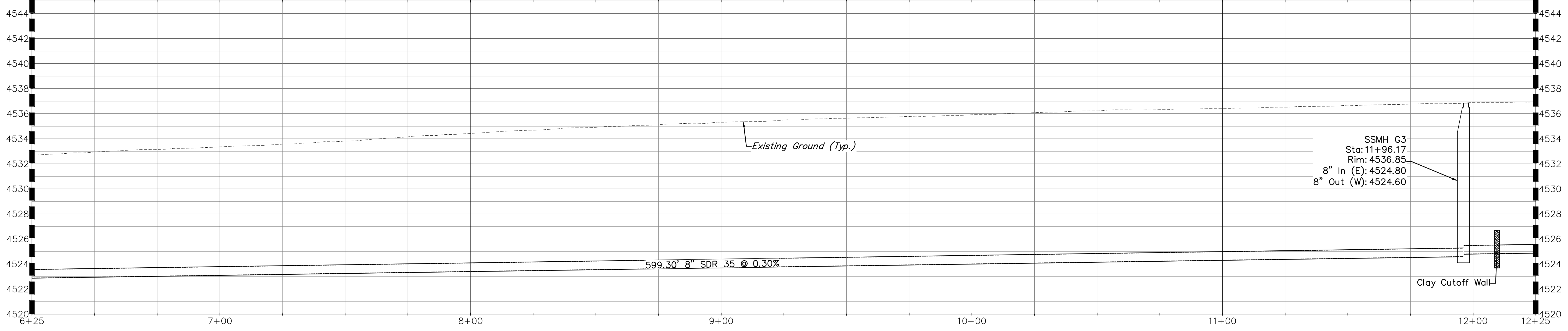
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			NO.	DATE	REVISION	BY																					
<p>PROJ. NO. 2060-001</p>	<p>DRAWN BY: kac CHECKED BY: jwm ORIGINAL SHEET SIZE: 22 x 34</p>																										



Profile View of SS Line G



Vicinity Map

UTILITY SHEETS

- SS Line A.....Sheet C28
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- SD Line N..... Sheet C36-C38

UTILITY SHEETS

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SCALE
 (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

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 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
 Sanitary Sewer Plan & Profile
 SS Line G (Sta. 6+25-12+25) [2 of 5] **C22**

2697-164-35-002
Zone: AFT
Stacey J. Willing
Michael SR Willing
Acreage: 3.054

2697-164-35-003
Zone: AFT
Harold W. Buniger
Shanna R. Buniger
Acreage: 2.925

2697-164-33-003
Zone: AFT
Michael L. Atencio
Koni R. Atencio
Acreage: 3.043

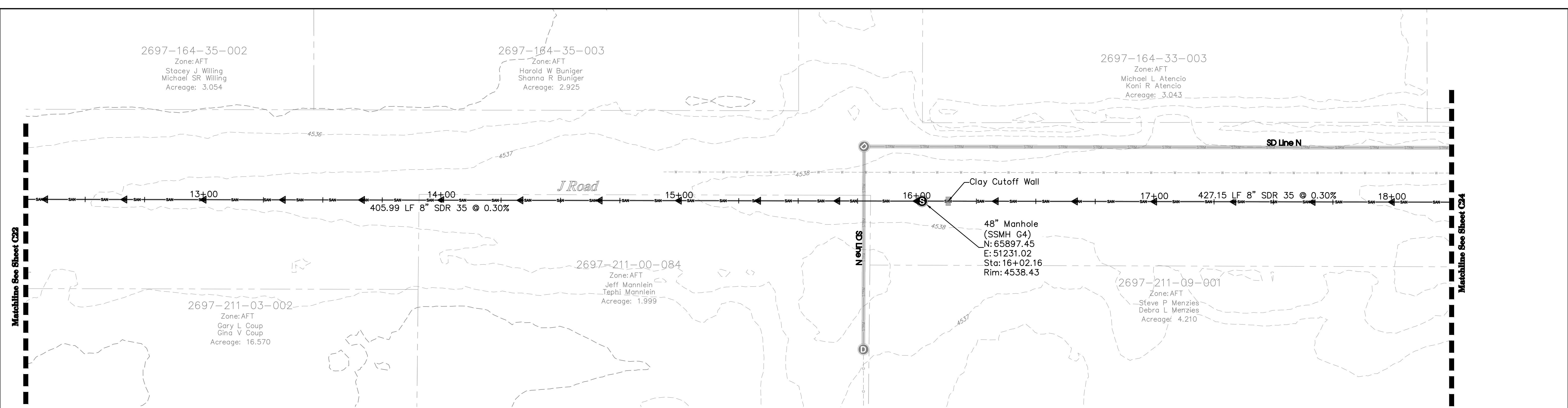
2697-211-03-002
Zone: AFT
Gary L. Coup
Gina V. Coup
Acreage: 16.570

2697-211-00-084
Zone: AFT
Jeff Mannlein
Tepti Mannlein
Acreage: 1.999

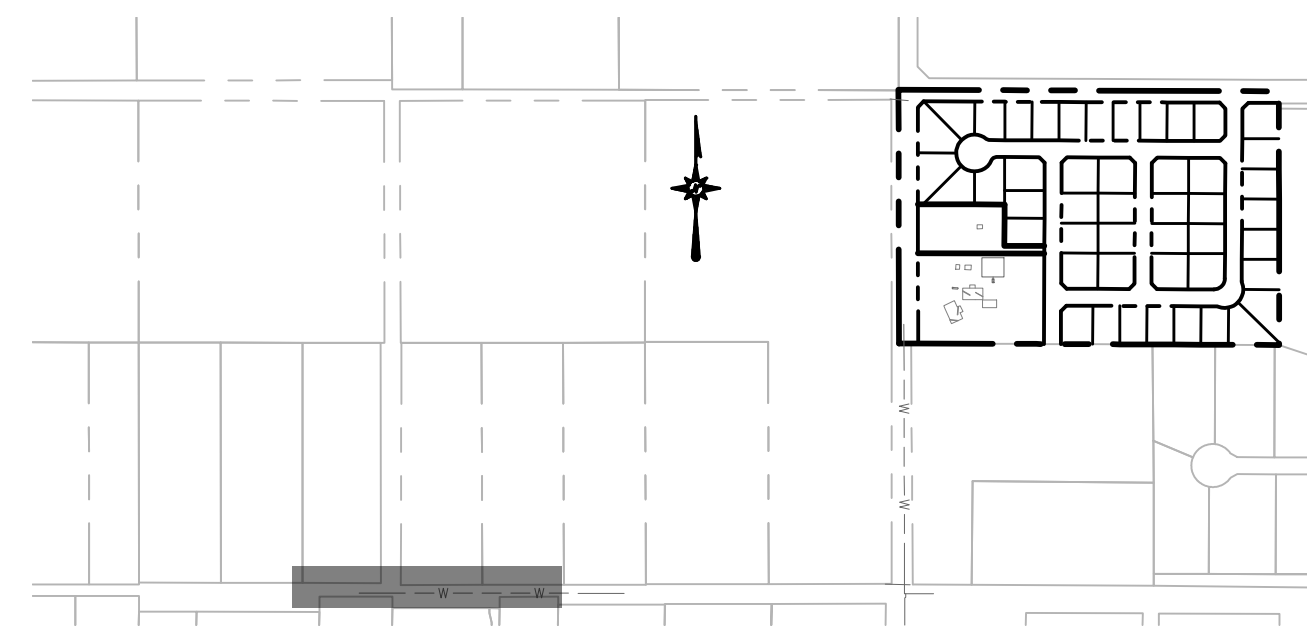
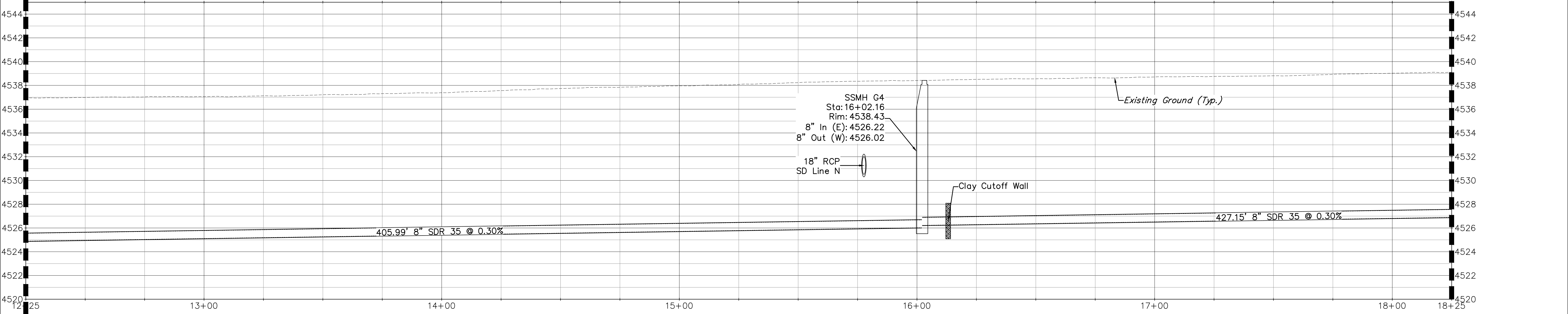
2697-211-09-001
Zone: AFT
Steve P. Menzies
Debra L. Menzies
Acreage: 4.210

Matchline See Sheet C32

Matchline See Sheet C34



Profile View of SS Line G



Vicinity Map

UTILITY SHEETS

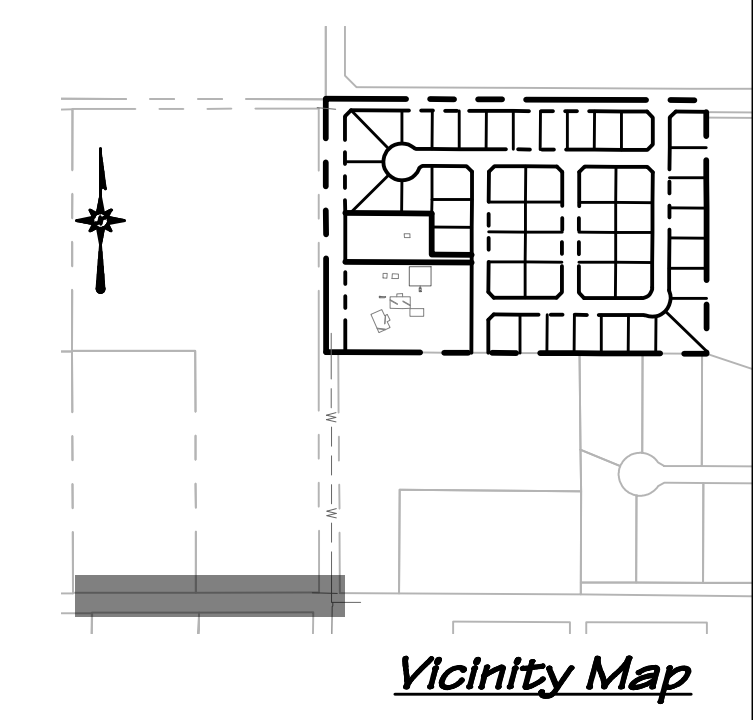
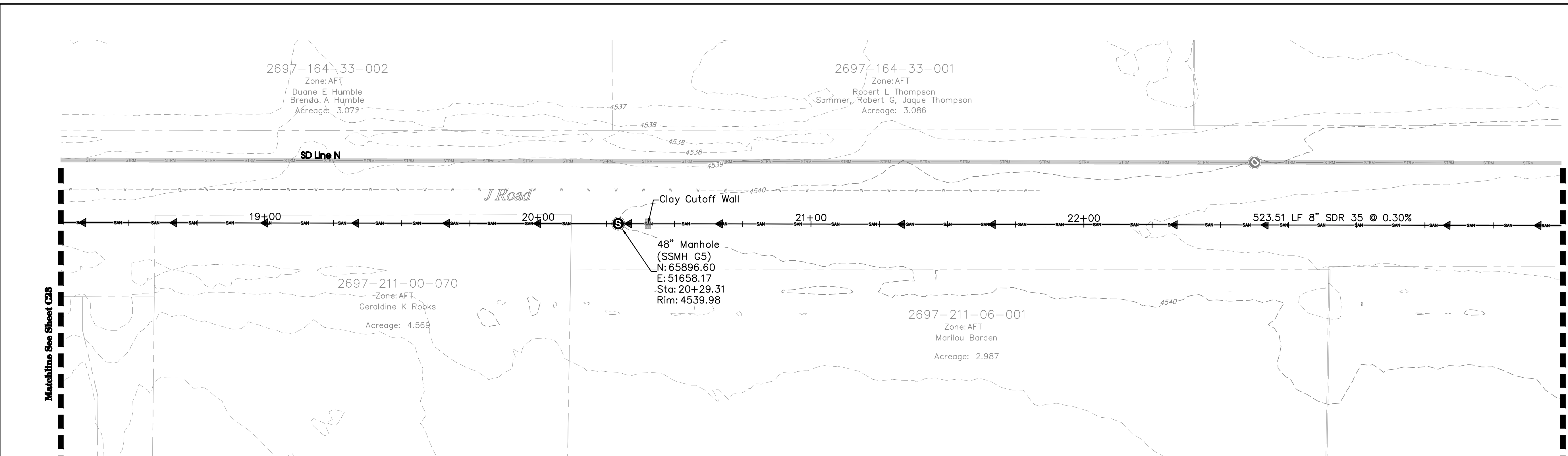
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UTILITY SHEETS

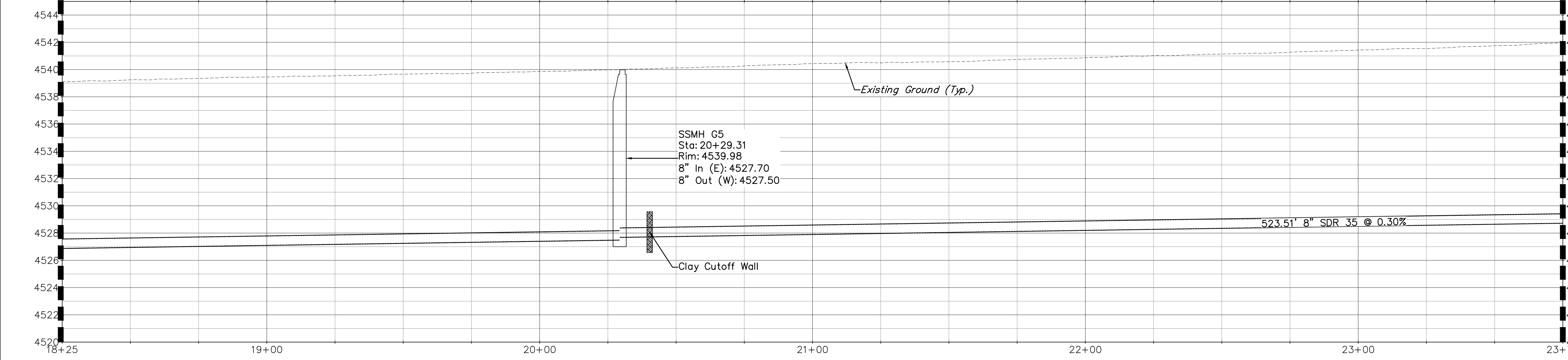
- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
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- WTR Line Z.....Sheet C44
- IRR Line I.....Sheet C47

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					<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.				DATE	REVISION	BY						
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Profile View of SS Line G



UTILITY SHEETS

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HORIZONTAL
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CONTOUR INTERVAL: 1 FT

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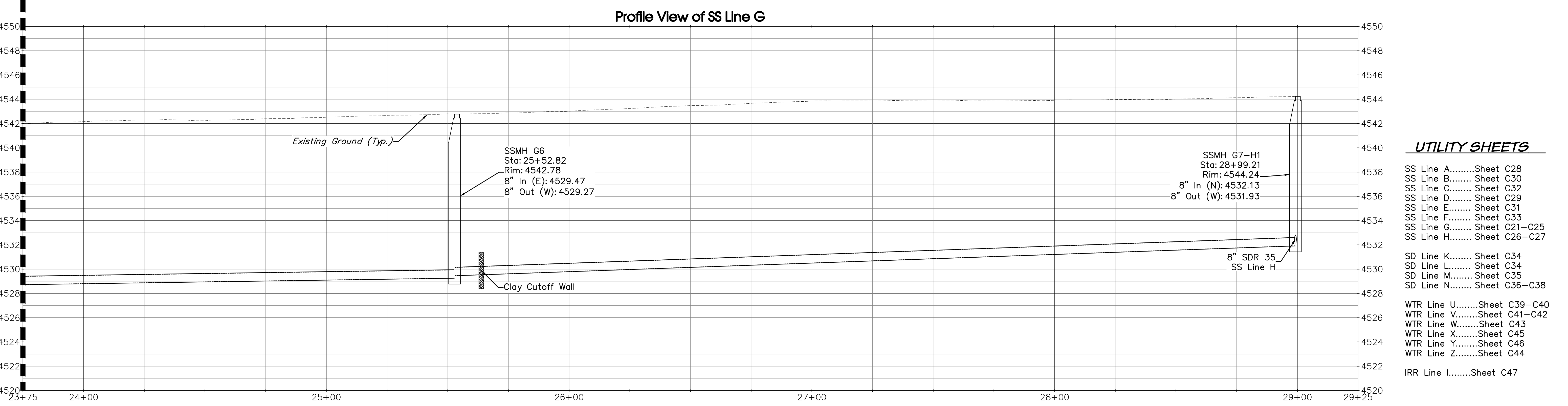
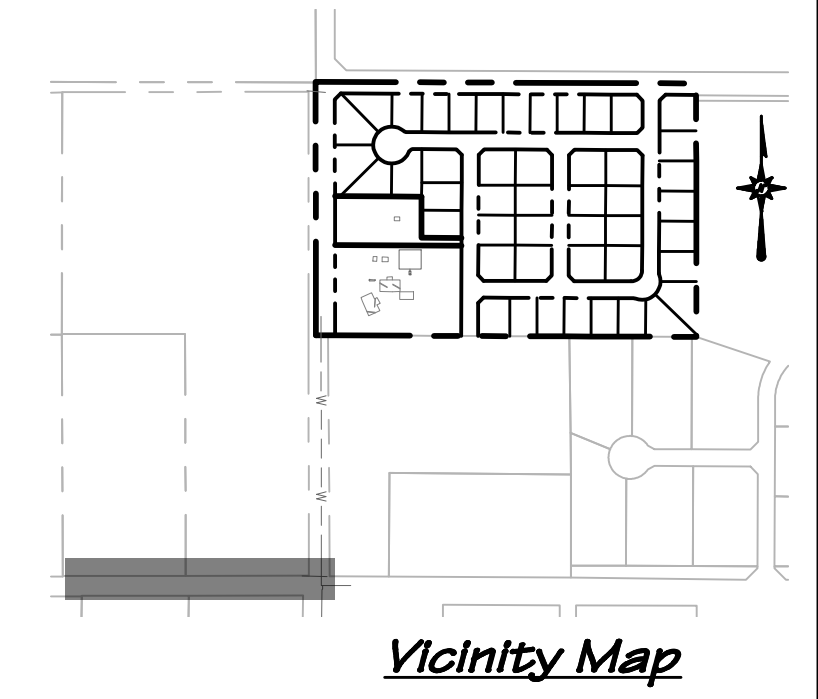
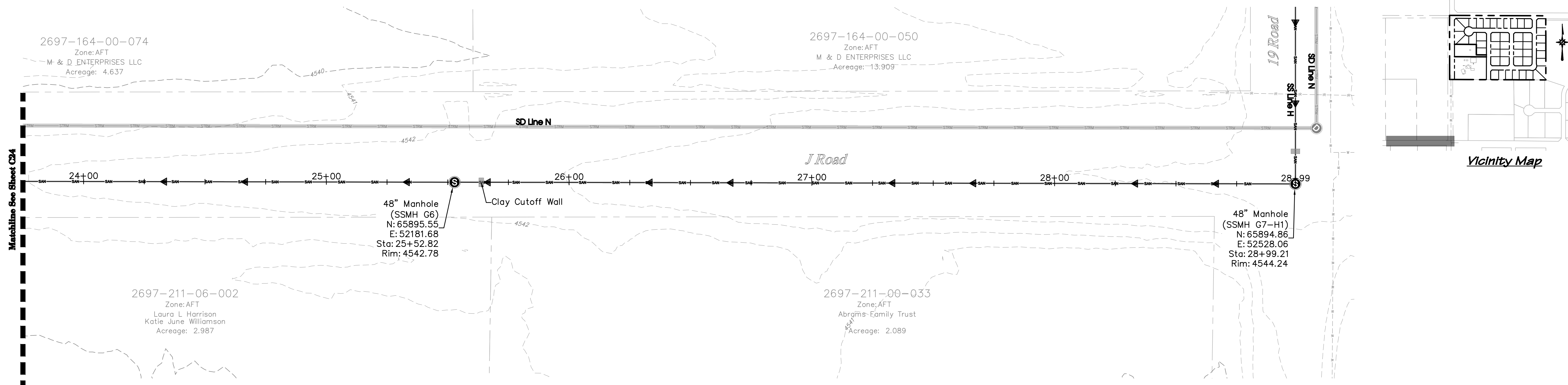
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CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

PRELIMINARY

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Sanitary Sewer Plan & Profile
SS Line G (Sta. 18+25-23+75) [4 of 5] **C24**



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
- SS Line F..... Sheet C33
- SS Line G..... Sheet C21-C25
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- SD Line N..... Sheet C36-C38
- WTR Line U.....Sheet C39-C40
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HORIZONTAL

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CONTOUR INTERVAL: 1 FT

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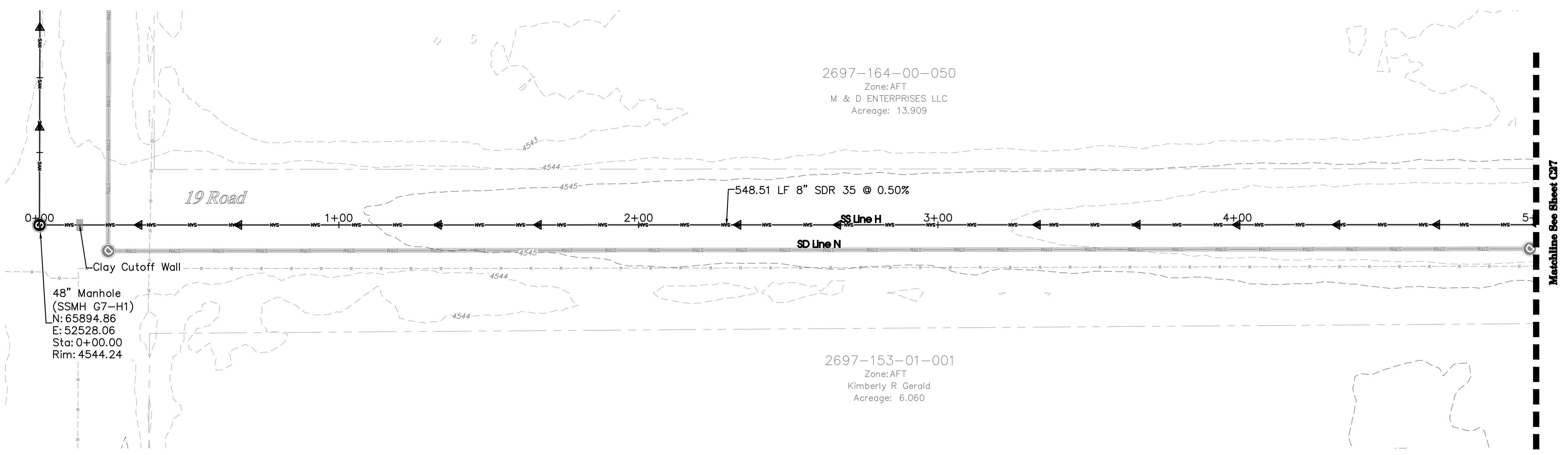
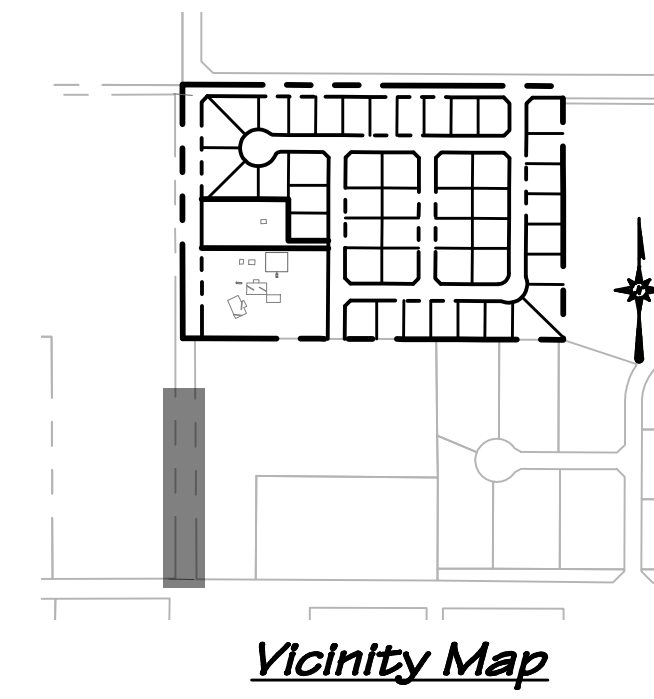
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FUTURADO DEVELOPMENT LLC

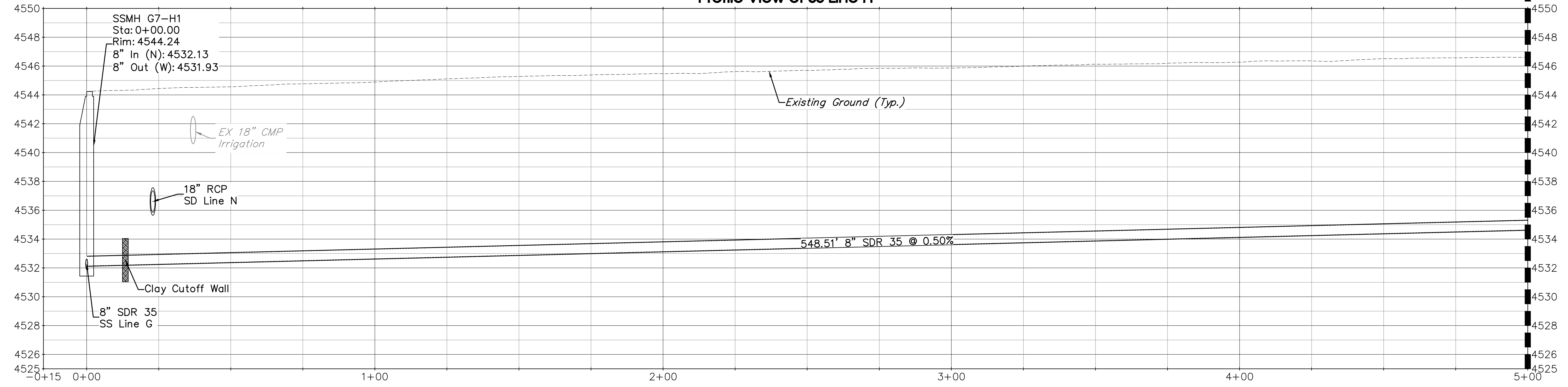
Adeles Acres Subdivision

Sanitary Sewer Plan & Profile
 SS Line G (Sta. 23+75-29+00) [5 of 5]

C25



Profile View of SS Line H



UTILITY SHEETS

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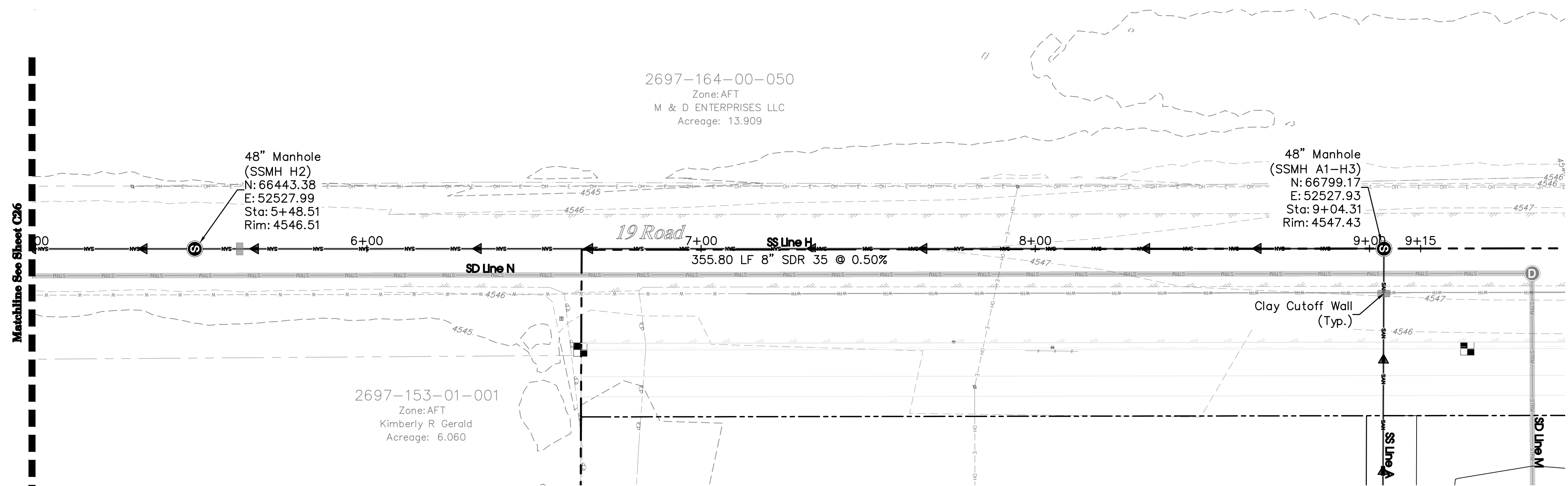
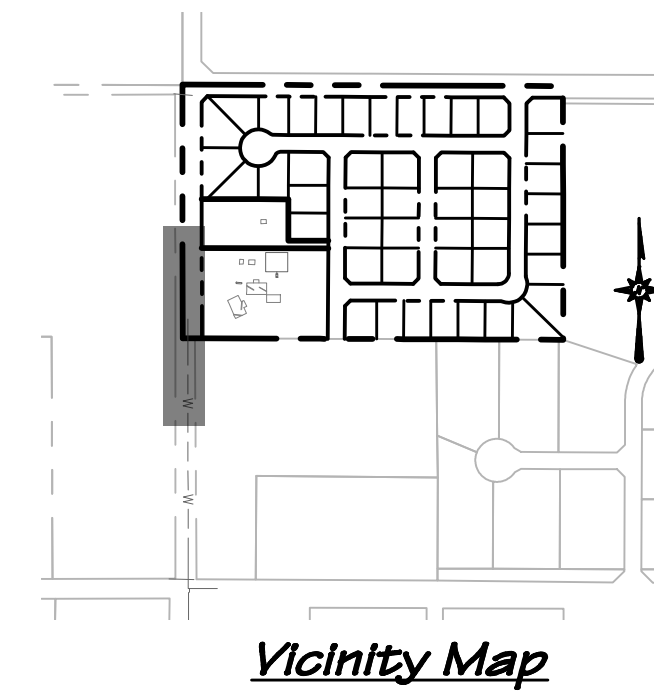
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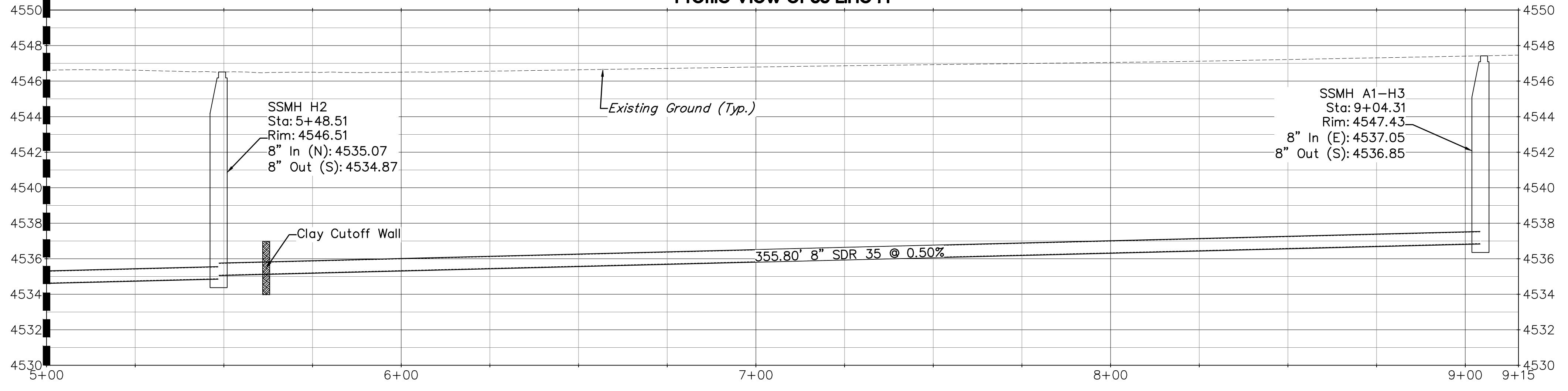
DRAWN BY: kac PROJECT: 2060-001
CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

PRELIMINARY

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Sanitary Sewer Plan & Profile
SS Line H (Sta. 0+00-5+00) [1 of 2] **C26**



Profile View of SS Line H



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- WTR Line Y.....Sheet C46
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- IRR Line I.....Sheet C47

ACCEPTANCE BLOCK

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City Development Engineer _____ Date _____

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www.uncc.org
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Project Benchmark
Found 2" Aluminum CopNE Corner
Marked "DH SURVEYS INC"
South of J 1/2 Road
NORTHING: 67185.23
EASTING: 53517.93
ELEVATION: 4551.66
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE
(FEET)
HORIZONTAL
VERTICAL: 1" = 4'
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\04-Utility\2060-001 SS.dwg [SS Line H [2 of 2]] 15-Mar-23 09:14:20

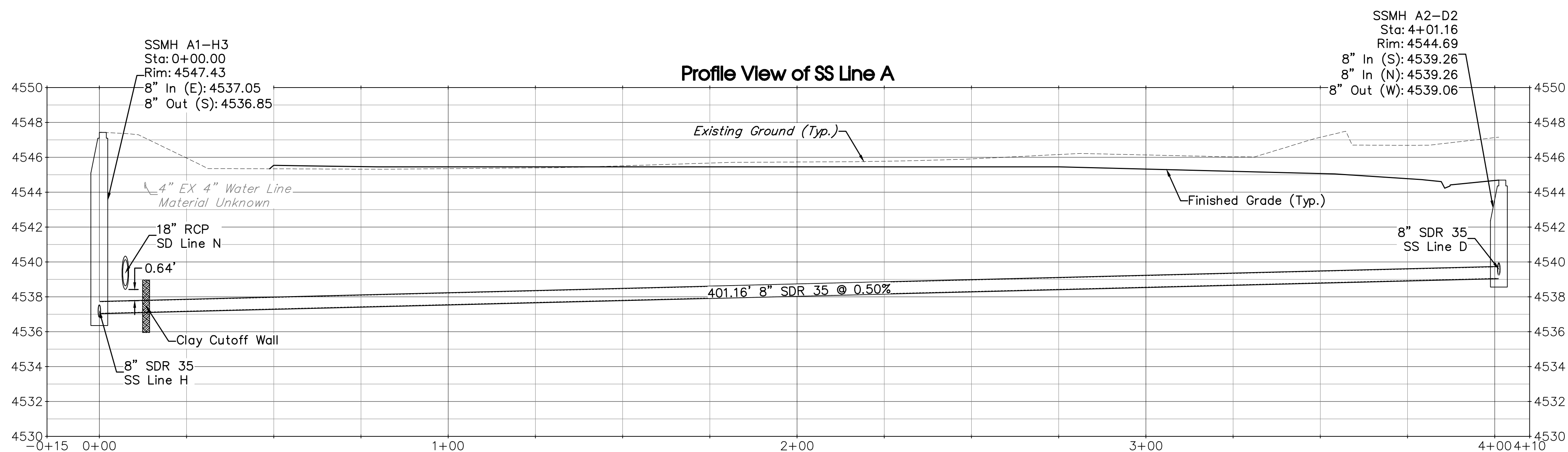
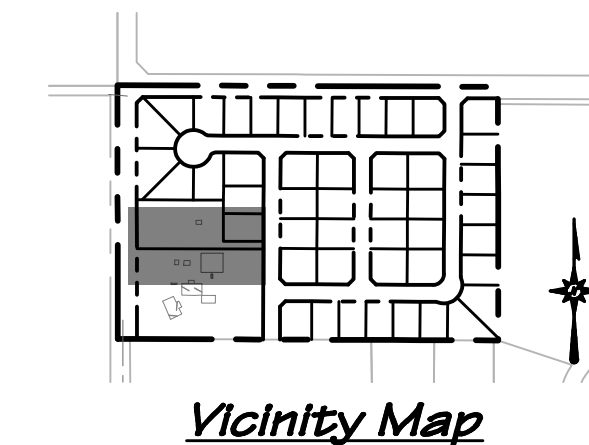
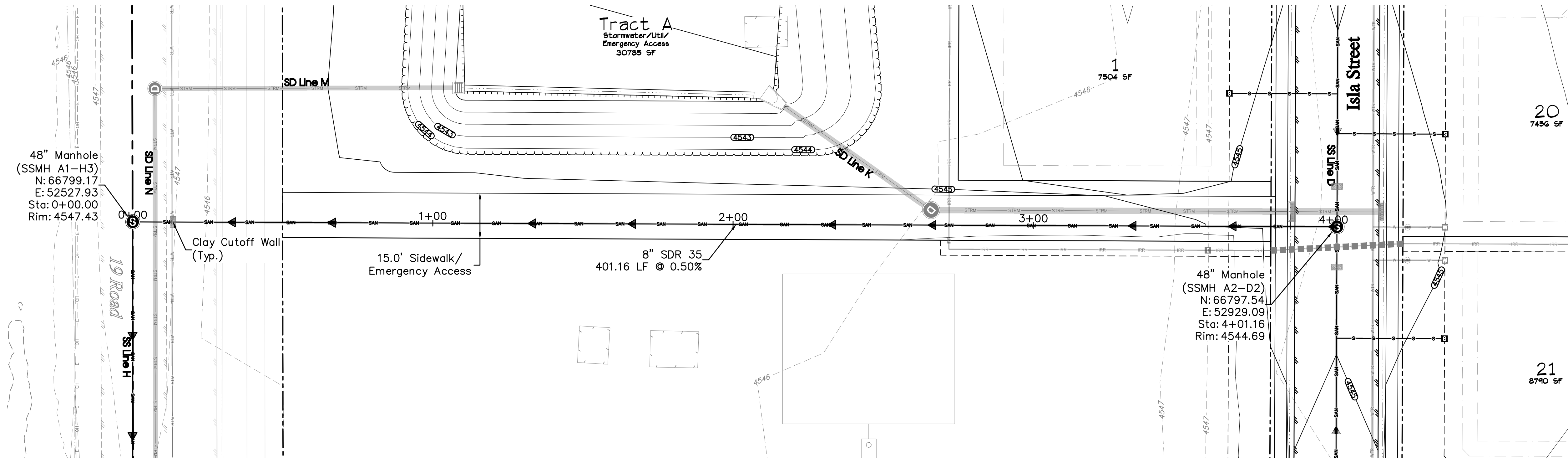
RIVER CITY CONSULTANTS
215 Pitkin Avenue, Unit 201
Grand Junction, CO 81501
www.rcwest.com
Phone: 970.241.4722
Fax: 970.241.8841

DRAWN BY: kac PROJECT: 2060-001
CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

PRELIMINARY

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Sanitary Sewer Plan & Profile
SS Line H (Sta. 5+00-9+15) [2 of 2]

C27



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
- SS Line F..... Sheet C33
- SS Line G..... Sheet C21-C25
- SS Line H..... Sheet C26-C27
- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38
- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44
- IRR Line I.....Sheet C47

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 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE
 (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

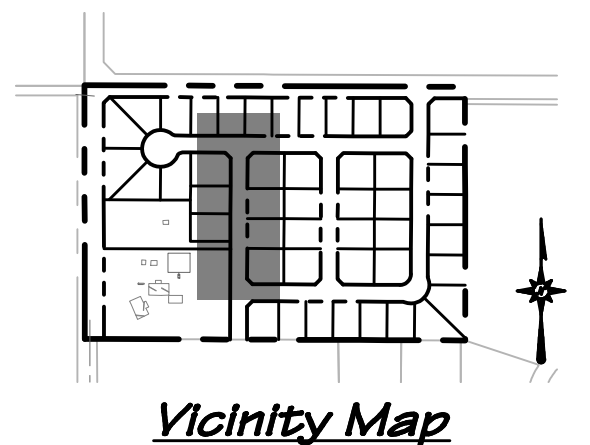
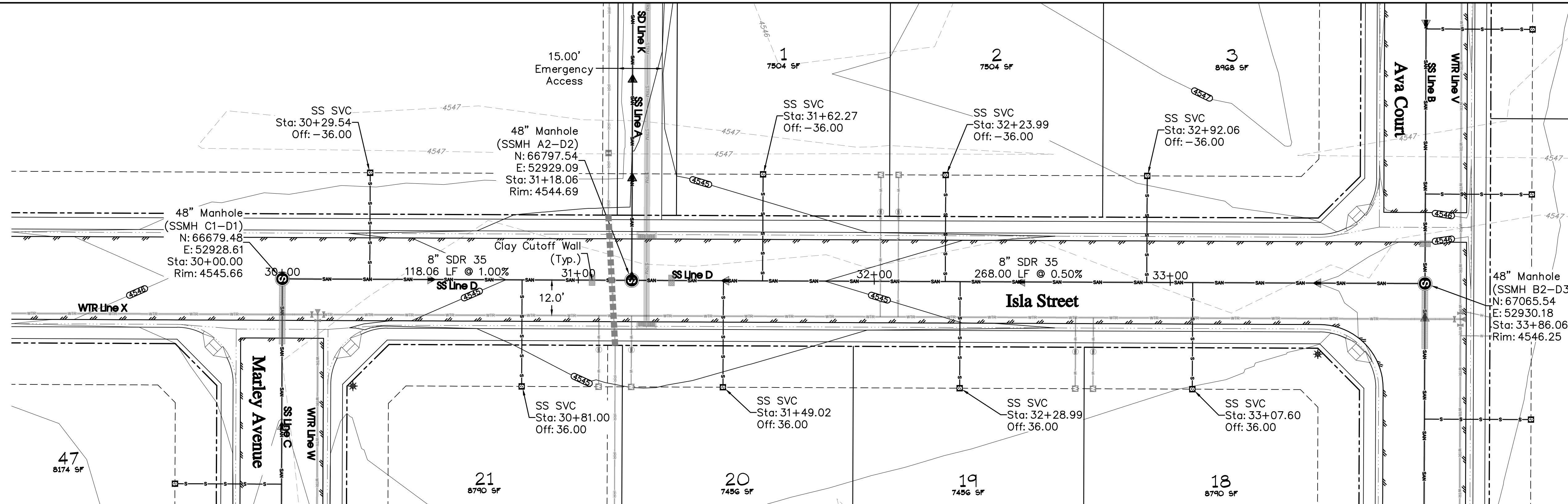
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 DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

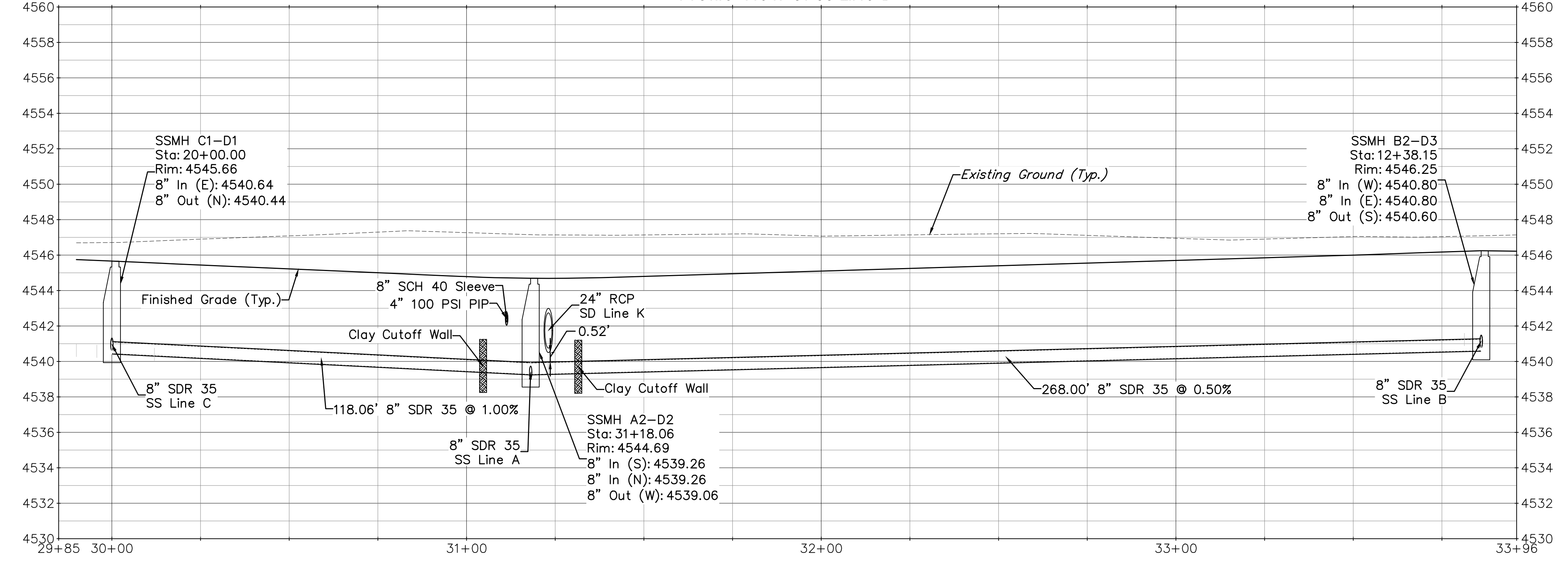
FUTARADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Sanitary Sewer Plan & Profile
 SS Line A

C28

S:\PROJECTS\2060 Futarado Development LLC\001 1024 19_Road\Design\DWG\04-Utility\2060-001 SS.dwg [SS Line A] 15-Mar-23 09:14:31



Profile View of SS Line D



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
- SS Line F..... Sheet C33
- SS Line G..... Sheet C21-C25
- SS Line H..... Sheet C26-C27

- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38

- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44

- IRR Line I.....Sheet C47

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 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE
 (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

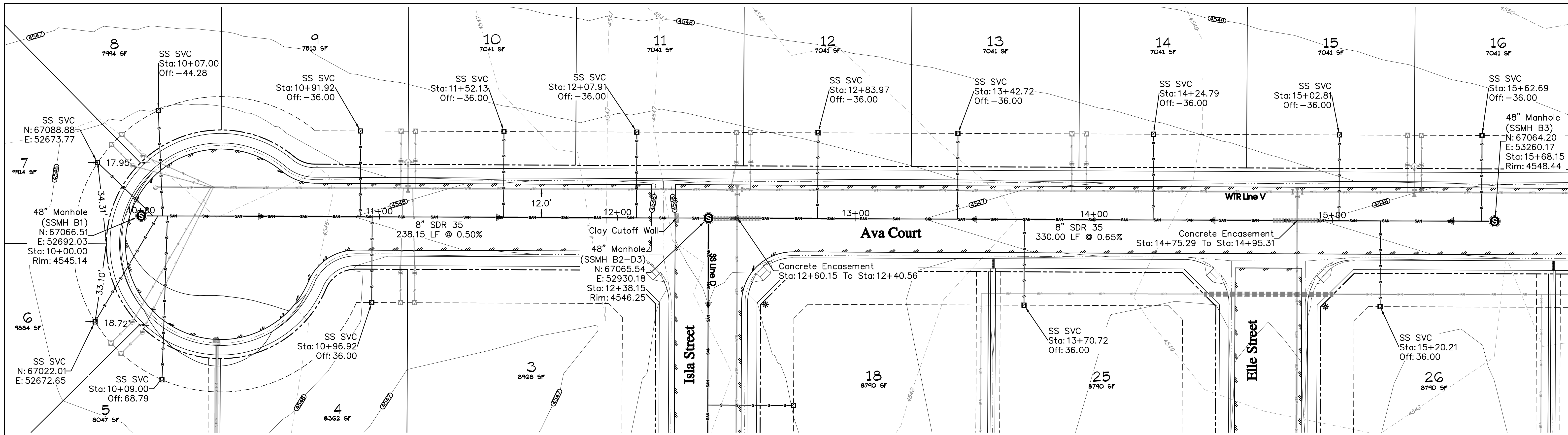
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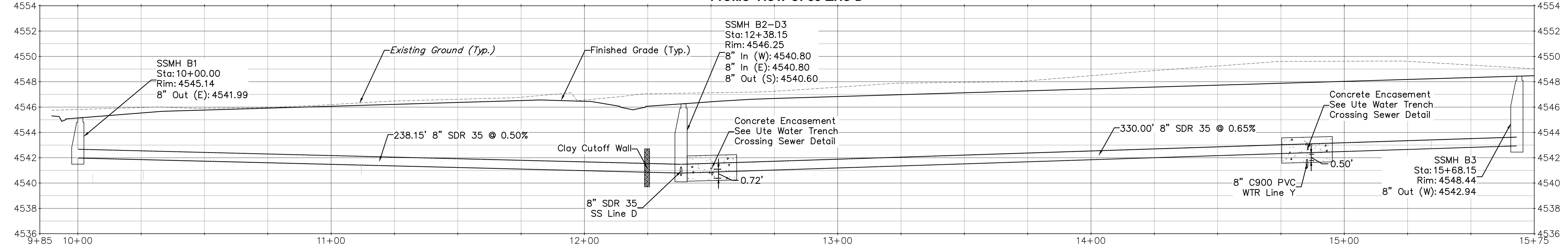
DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Sanitary Sewer Plan & Profile
 SS Line D

C29

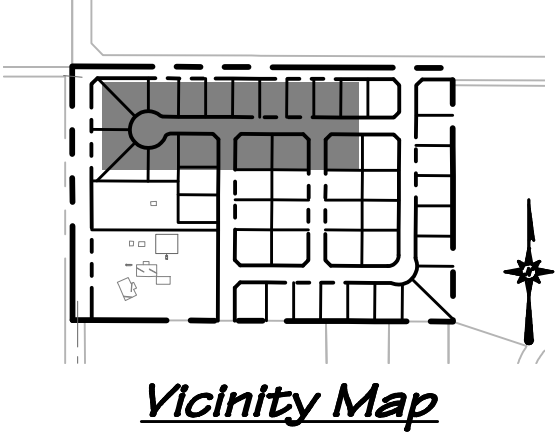


Profile View of SS Line B



UTILITY SHEETS

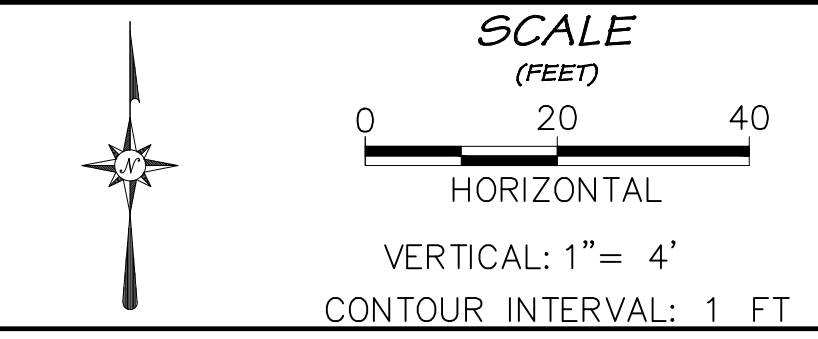
- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
- SS Line F..... Sheet C33
- SS Line G..... Sheet C21-C25
- SS Line H..... Sheet C26-C27
- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38
- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
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- IRR Line I.....Sheet C47



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 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

P.R.L.I.M.I.N.A.R.Y

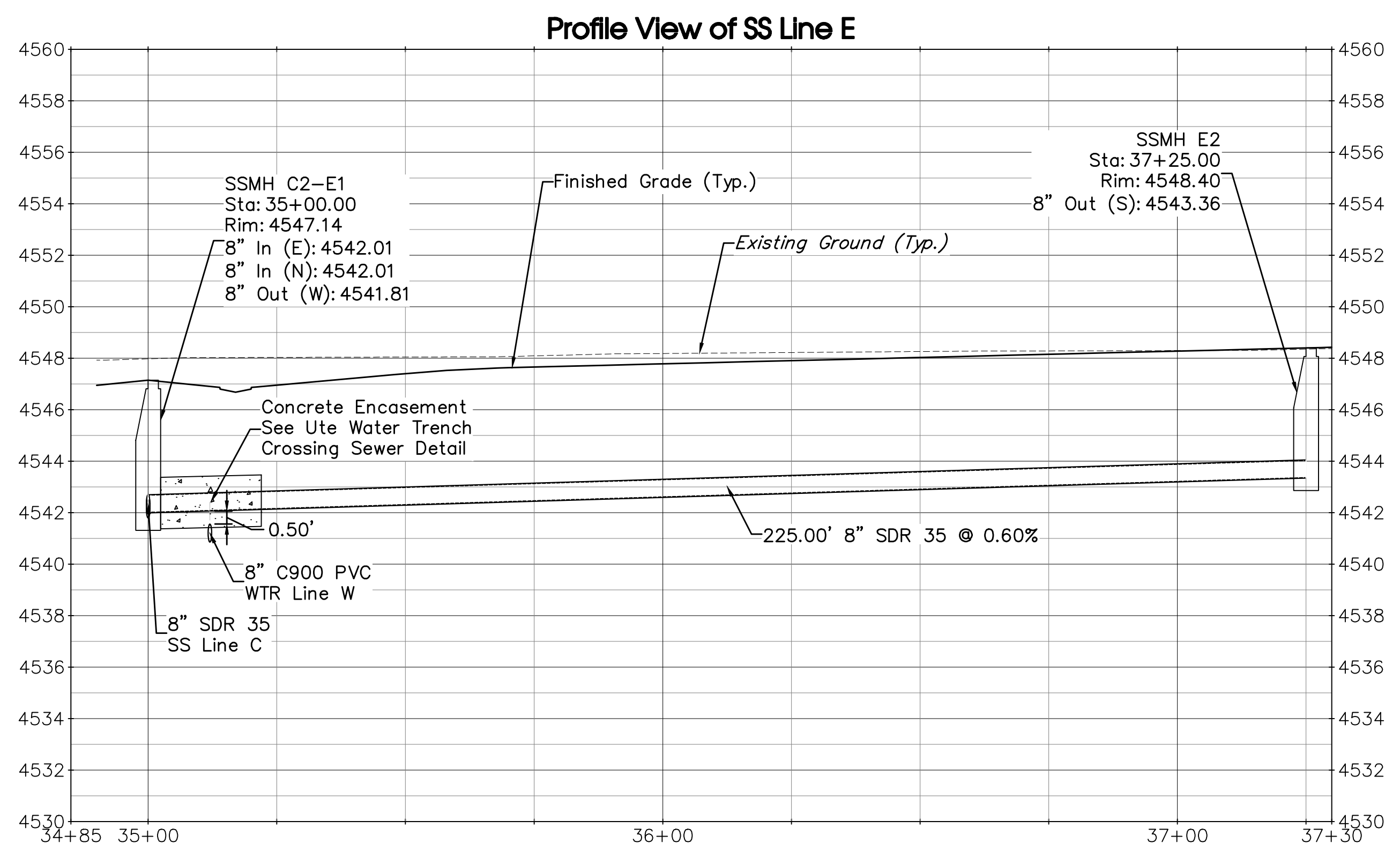
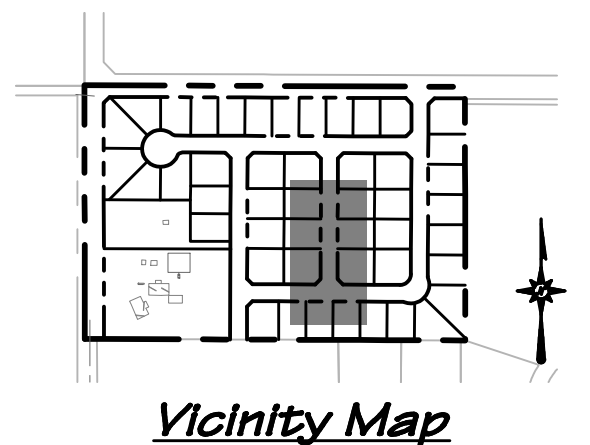
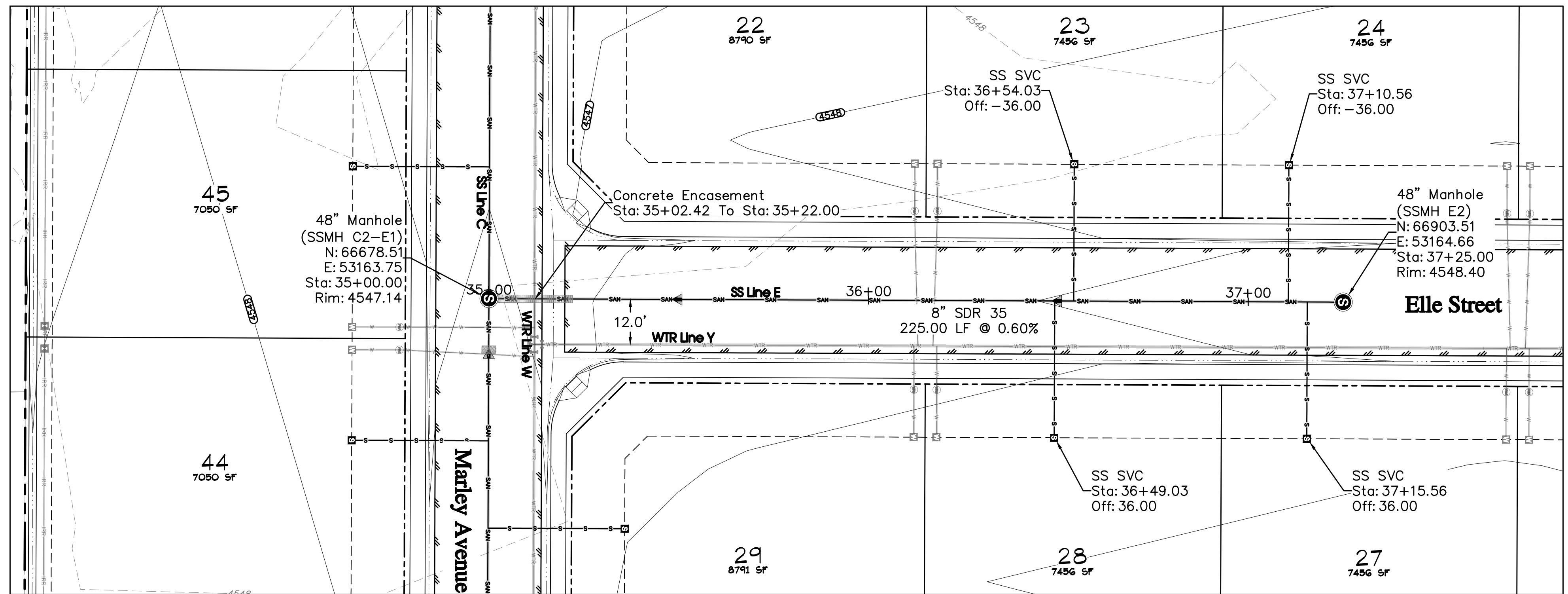
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 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTARADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Sanitary Sewer Plan & Profile
 SS Line B

City Development Engineer _____ Date _____

C30



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
- SS Line F..... Sheet C33
- SS Line G..... Sheet C21-C25
- SS Line H..... Sheet C26-C27

- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38

- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
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 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE
 (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

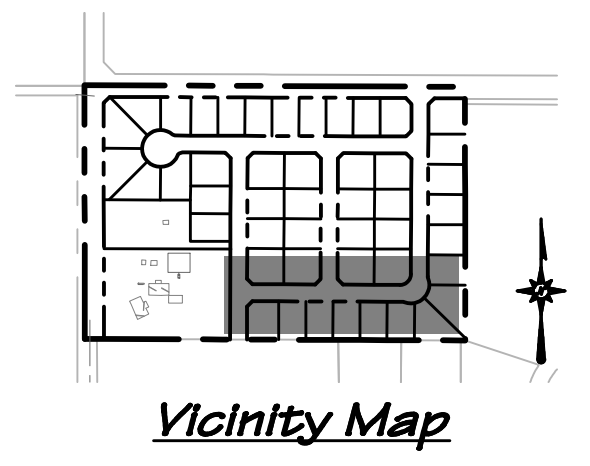
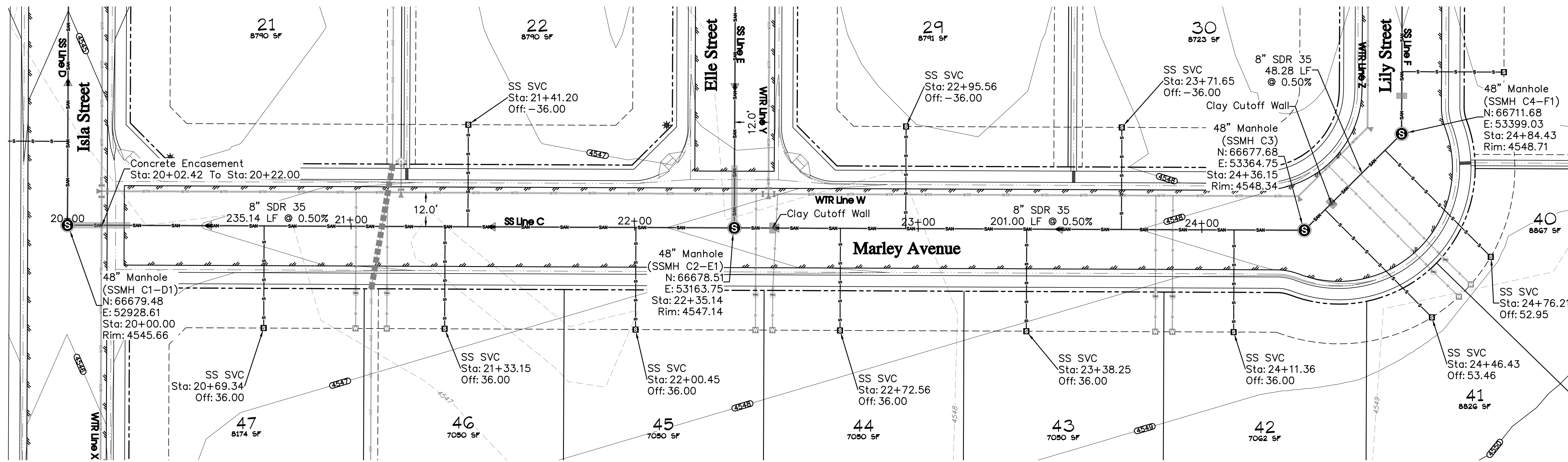
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RIVER CITY CONSULTANTS
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 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

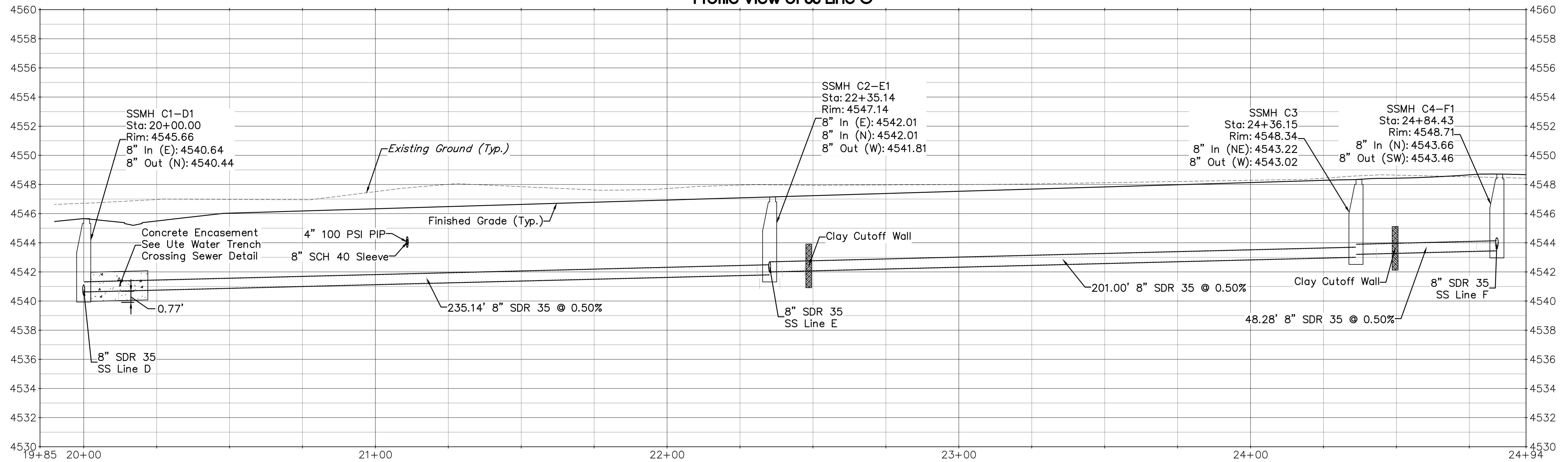
DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Sanitary Sewer Plan & Profile
 SS Line E

C31



Profile View of SS Line C



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
- SS Line F..... Sheet C33
- SS Line G..... Sheet C21-C25
- SS Line H..... Sheet C26-C27
- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38
- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
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 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE
 (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

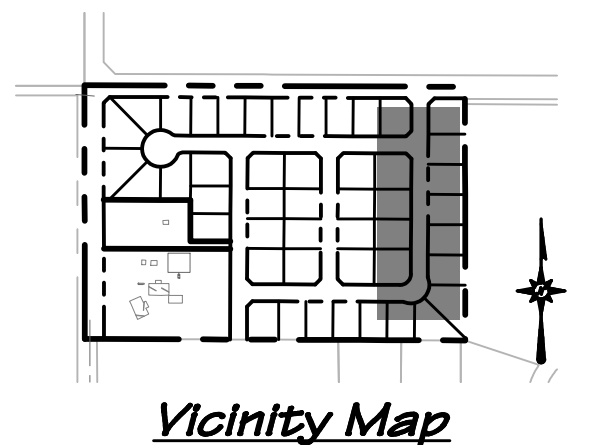
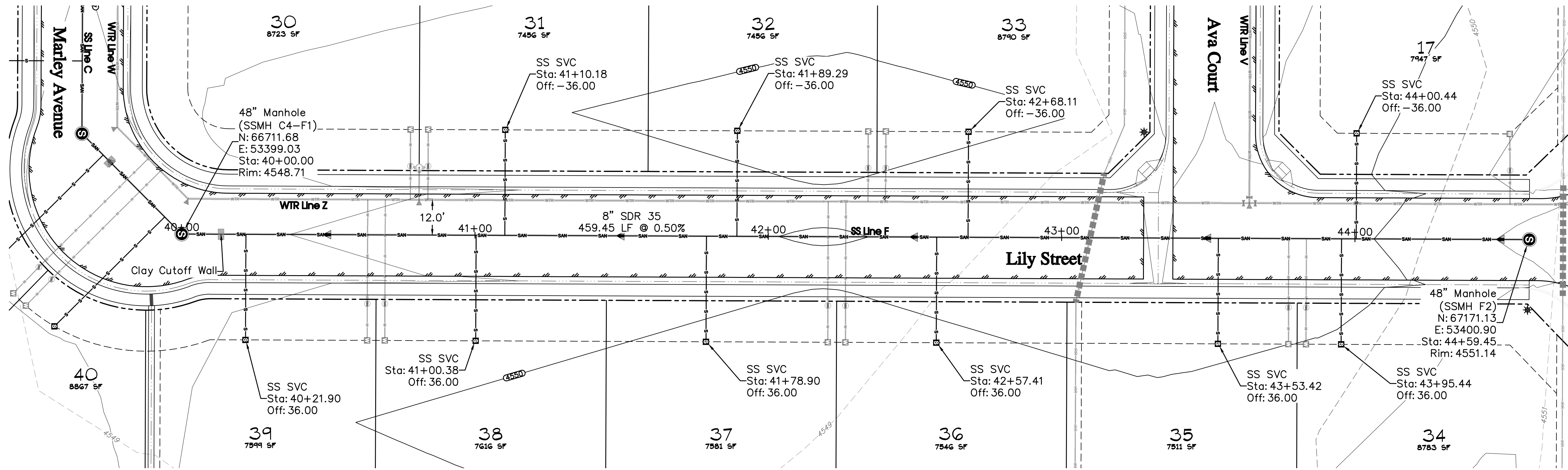
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DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

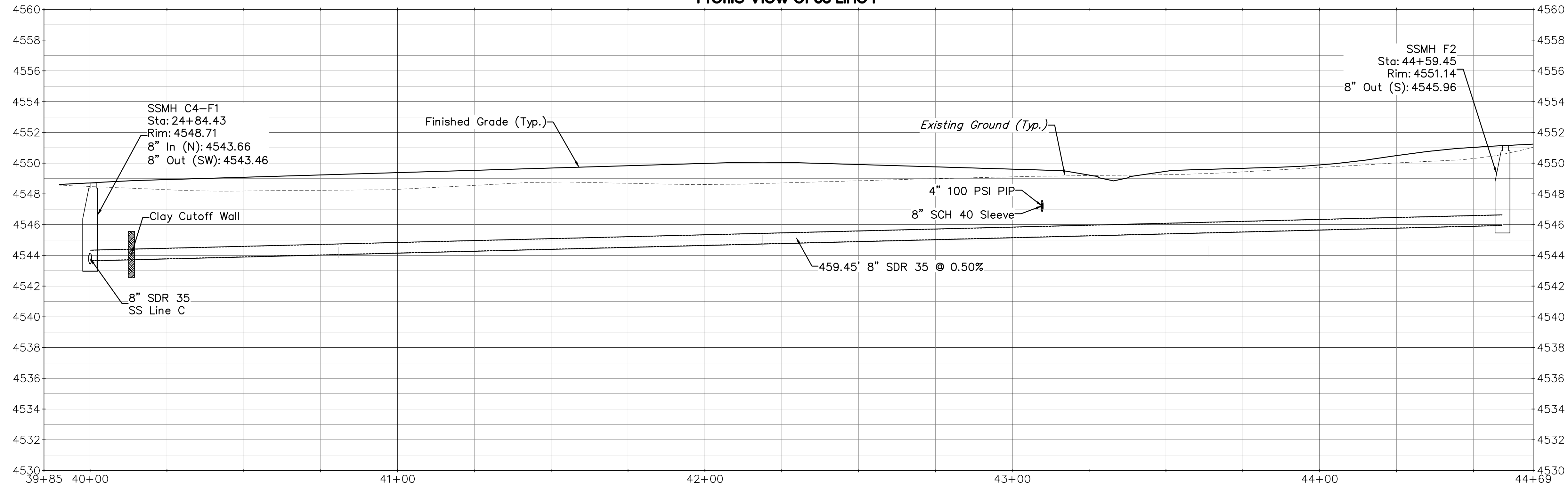
FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Sanitary Sewer Plan & Profile
 SS Line C

C32

PRELIMINARY



Profile View of SS Line F



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
- SS Line F..... Sheet C33
- SS Line G..... Sheet C21-C25
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SCALE
 (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

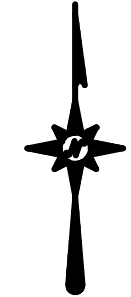
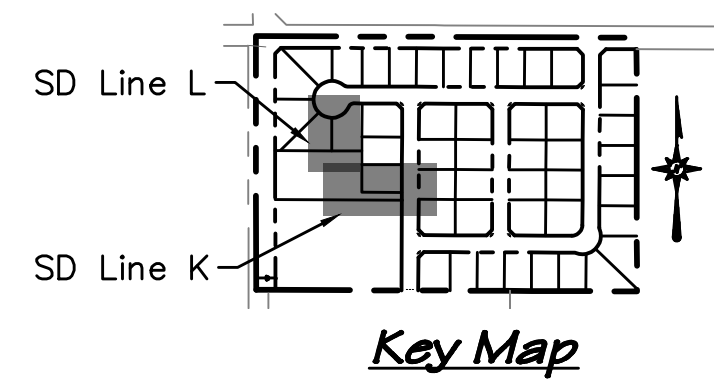
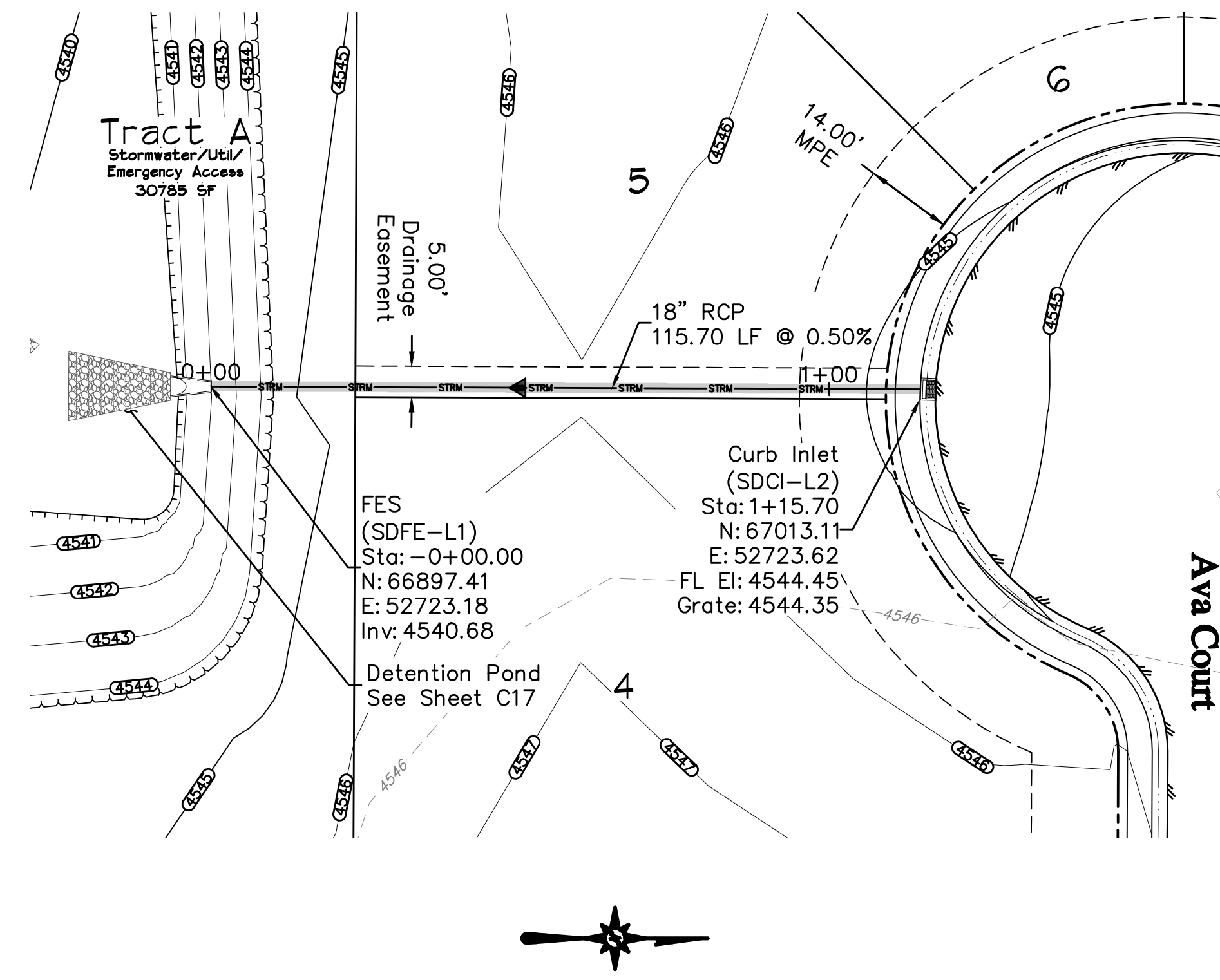
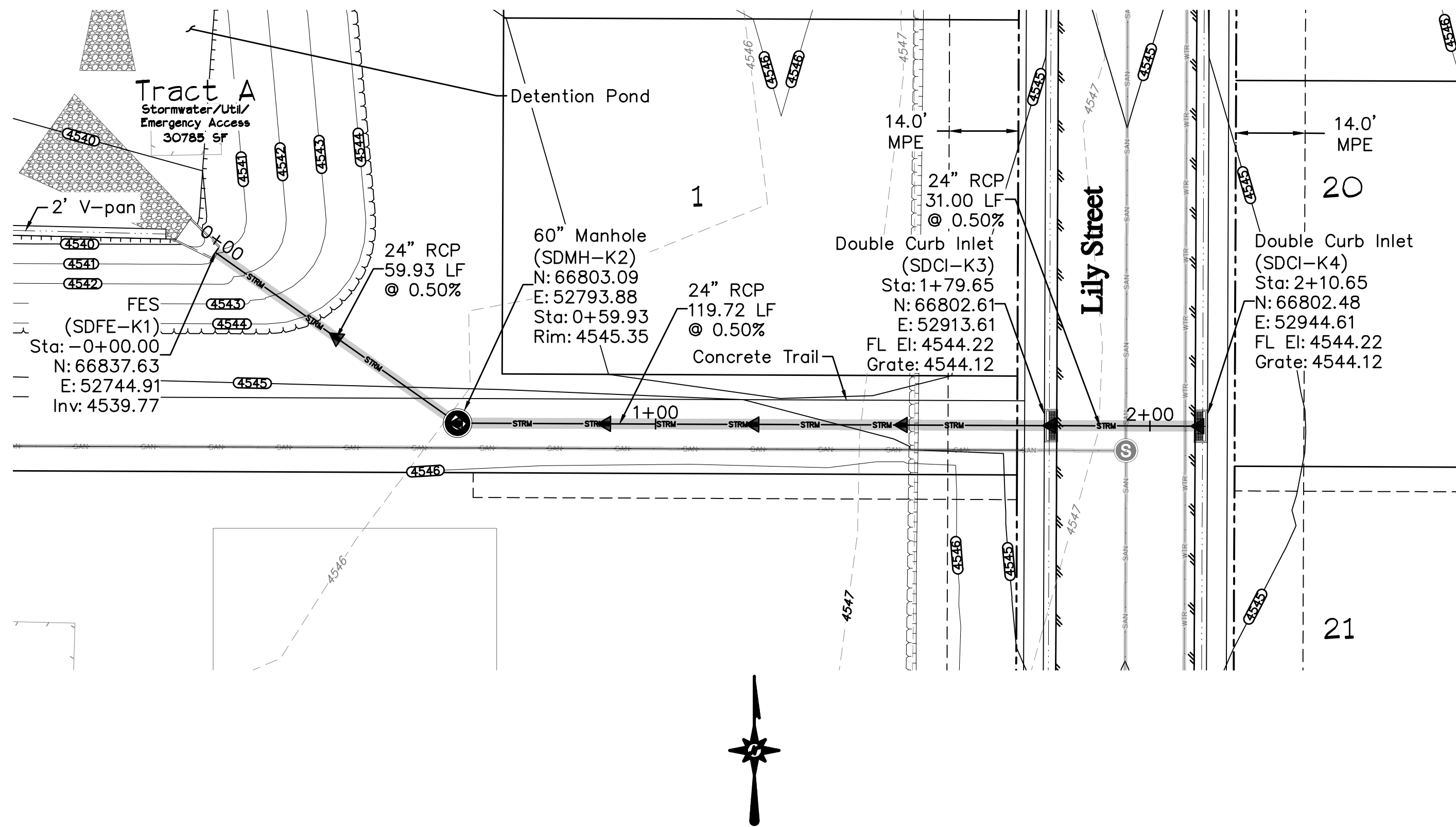
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DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

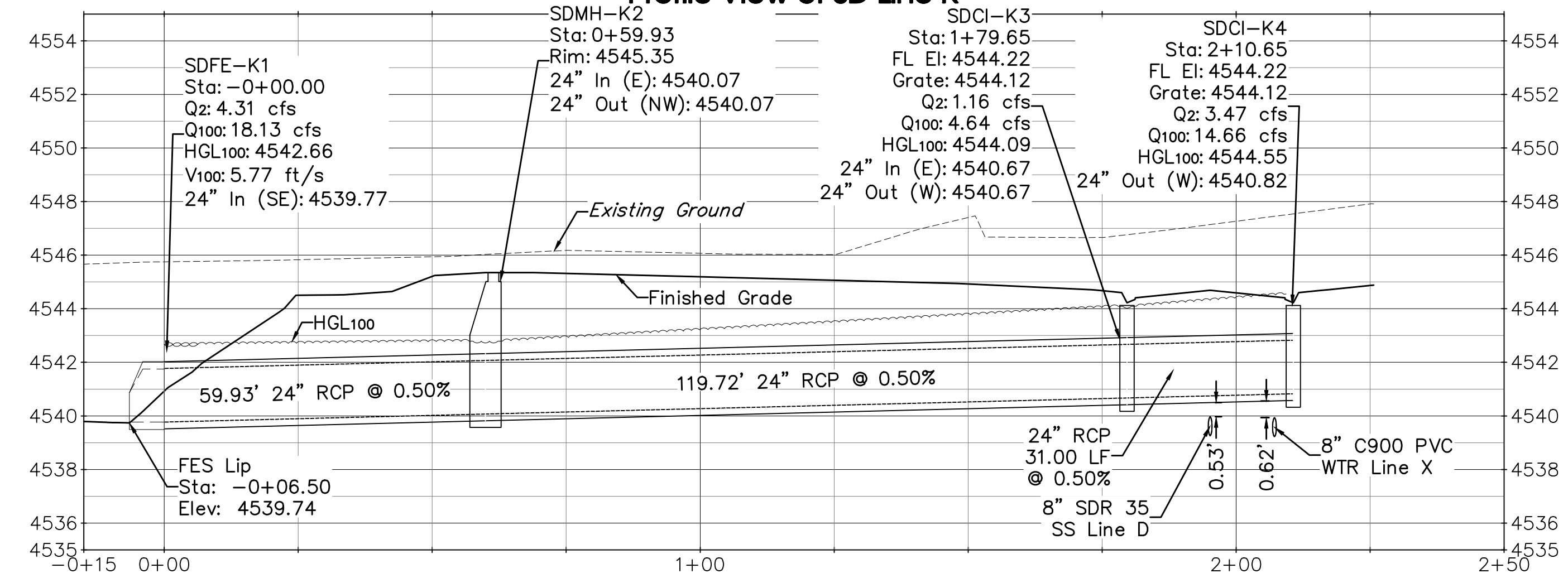
FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Sanitary Sewer Plan & Profile
 SS Line F

C33

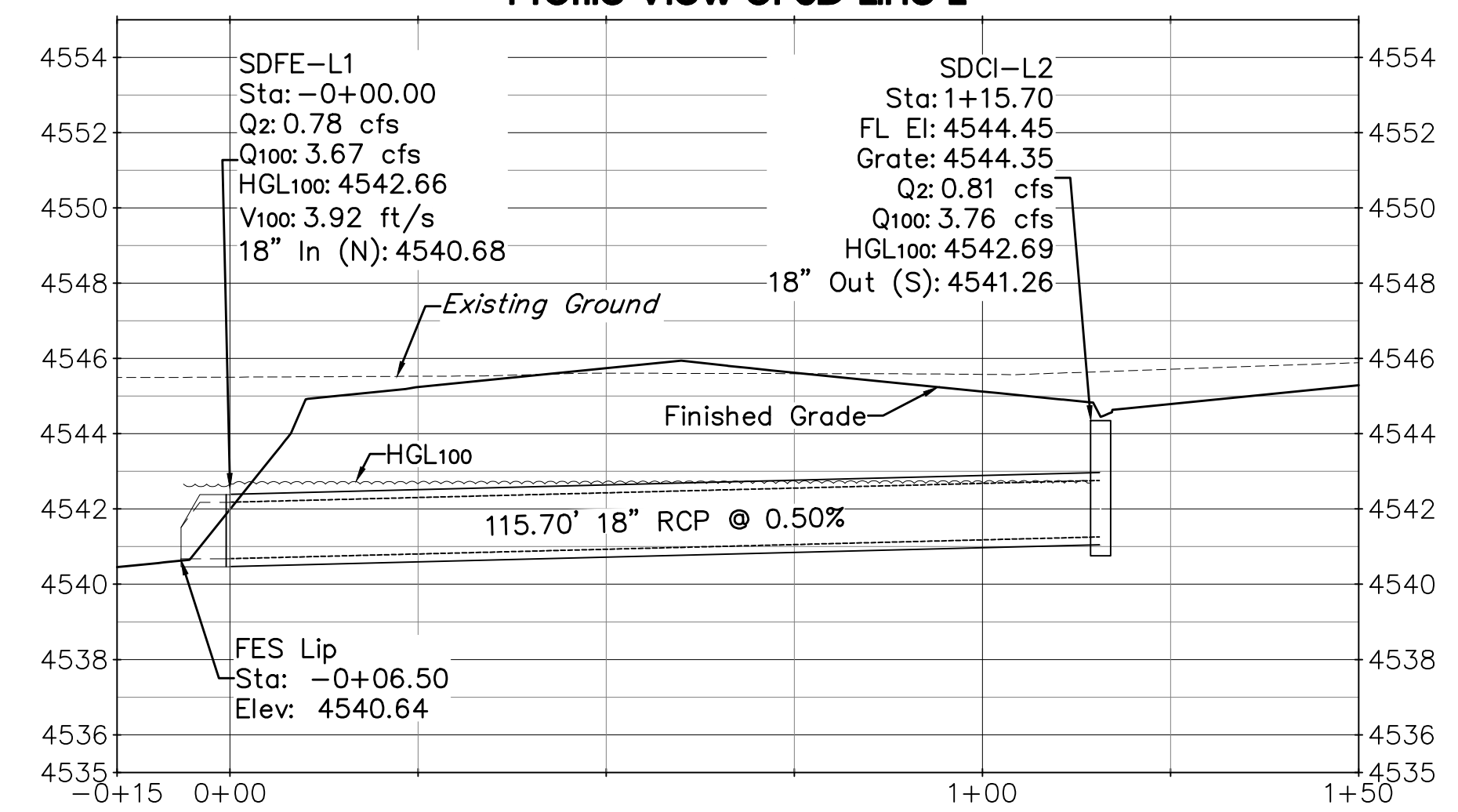
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Profile View of SD Line K



Profile View of SD Line L



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B.....Sheet C30
- SS Line C.....Sheet C32
- SS Line D.....Sheet C29
- SS Line E.....Sheet C31
- SS Line F.....Sheet C33
- SS Line G.....Sheet C21-C25
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0 20 40
HORIZONTAL
VERTICAL: 1"=4'
CONTOUR INTERVAL: 1 FT

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NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\04-Utility\2060-001 Storm Drain.dwg [SD Lines K & L] 15-Mar-23 09:16:25

PRELIMINARY

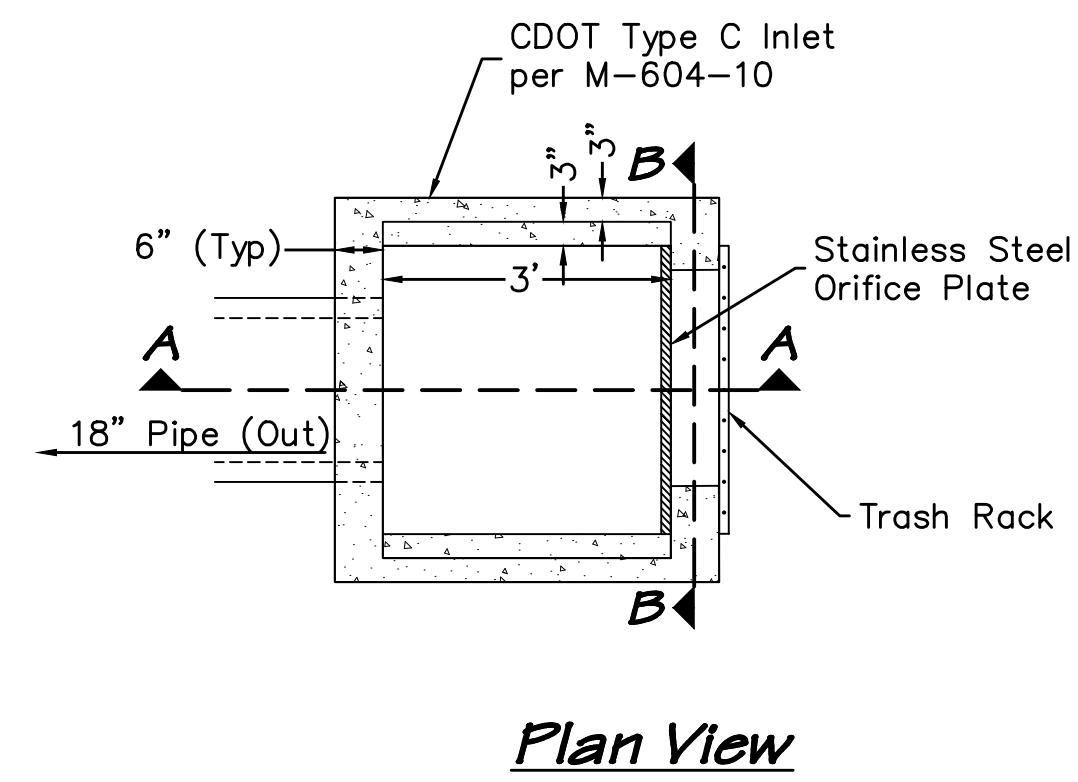
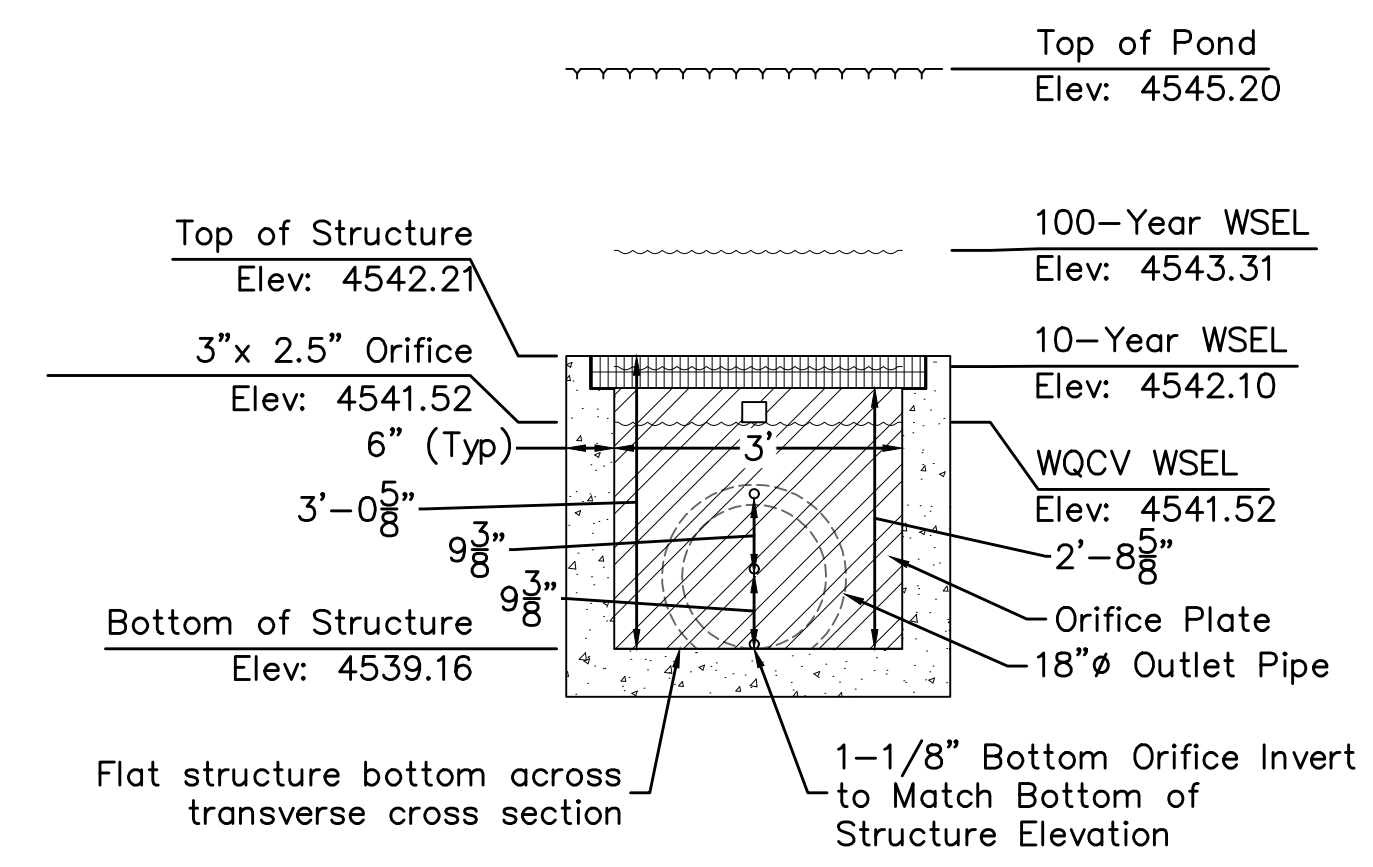
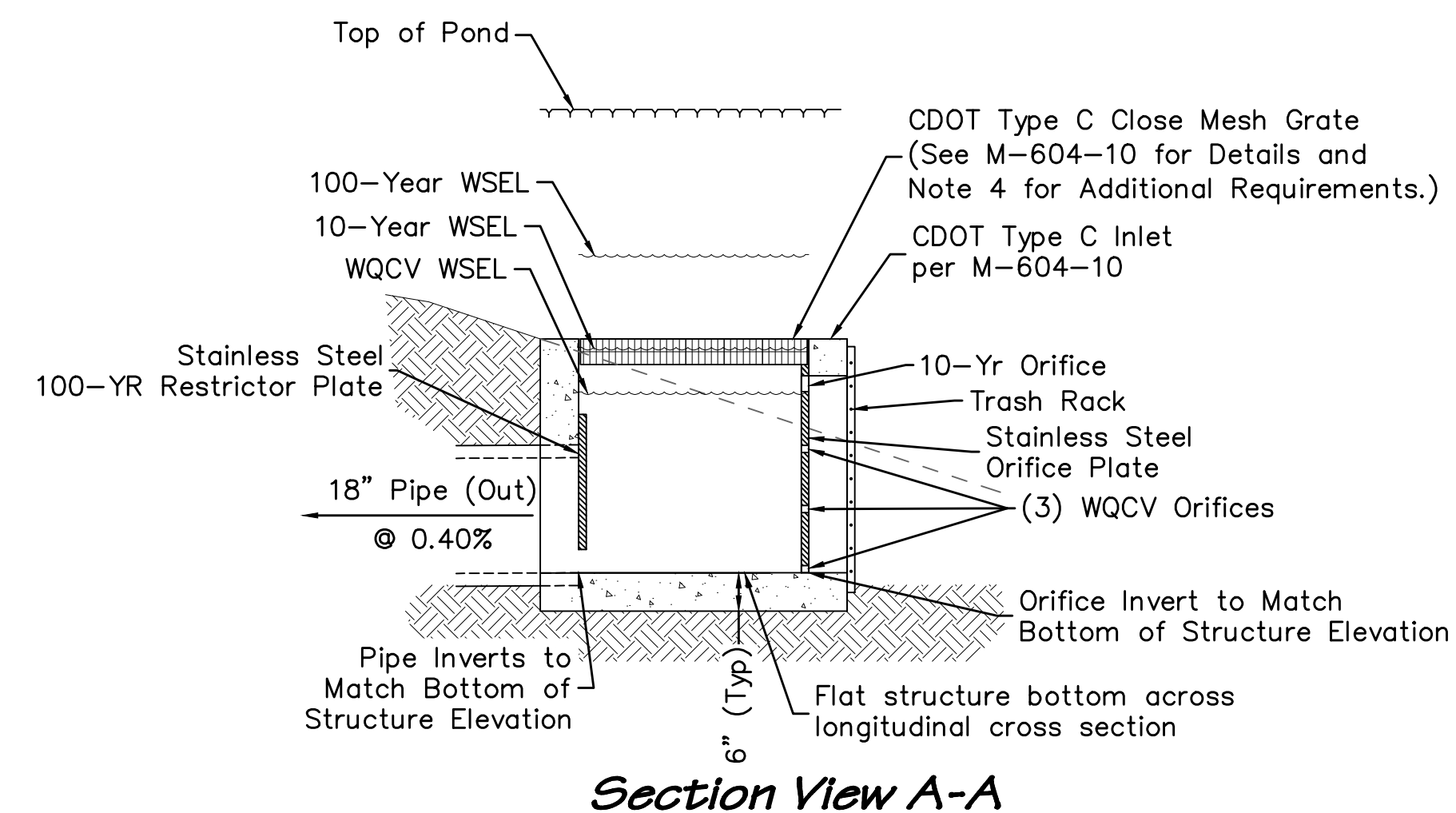
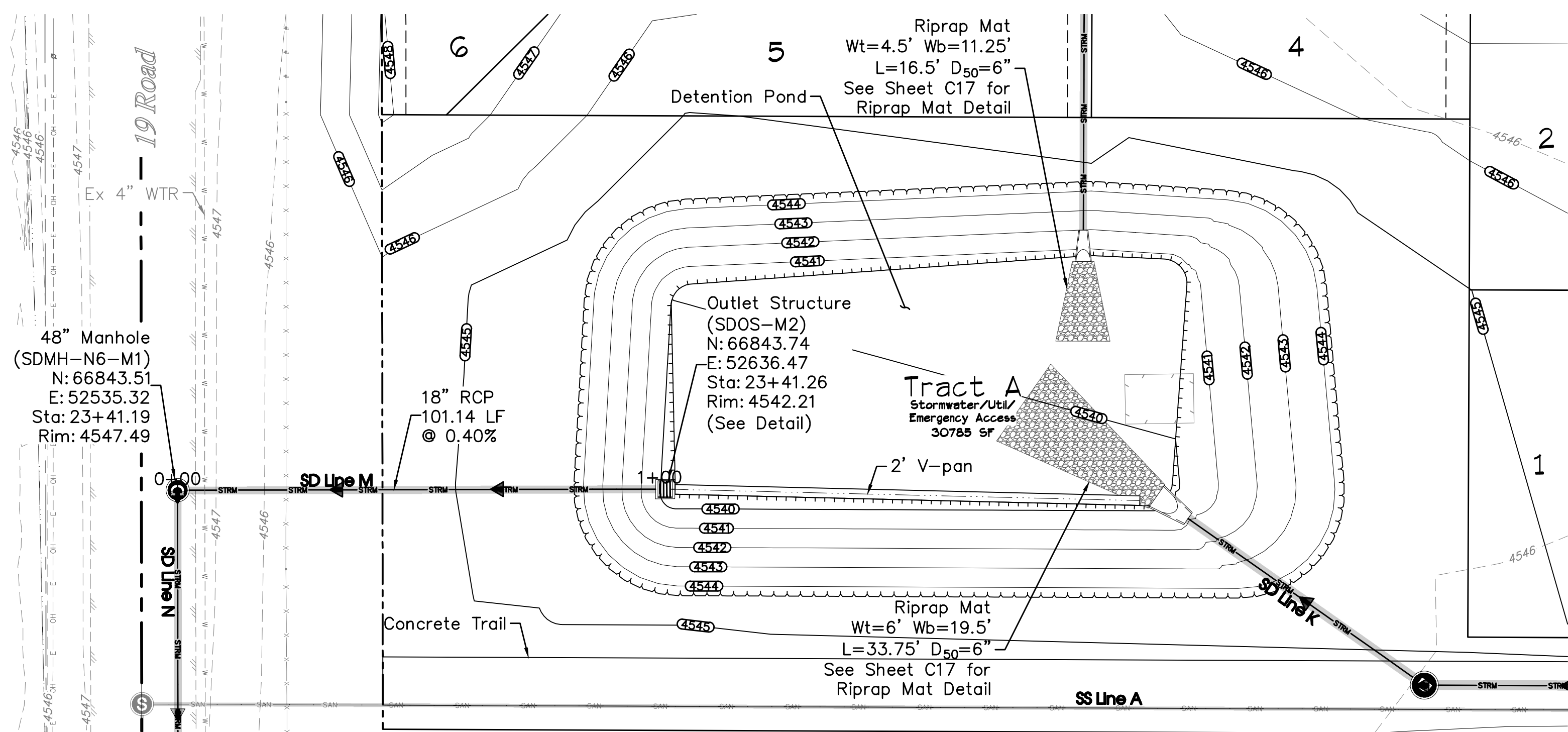
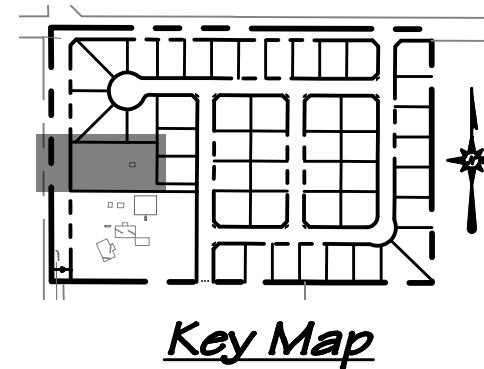
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Grand Junction, CO 81501
Phone: 970.241.4722
Fax: 970.241.8841
www.rcwest.com

DRAWN BY: JMM PROJECT: 2060-001
CHECKED BY: JWM

ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Storm Drain Plan & Profile
SD Lines K & L

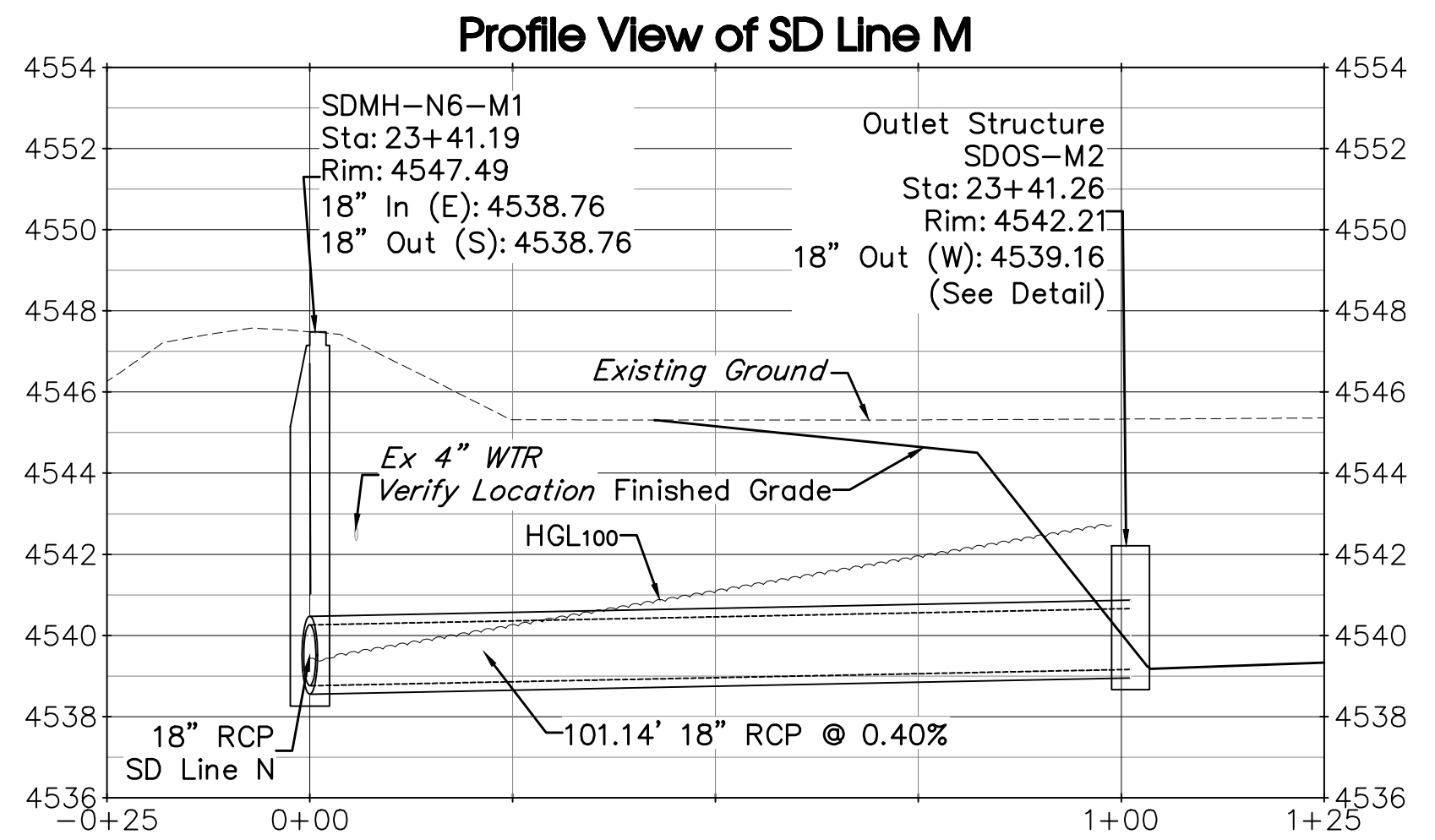
C34



- Notes:
1. Precast manufacturer to submit shop drawings and calculations for Engineer to review.
 2. Contractor to submit specifications for post installed anchor for approval.
 3. Silicon seal all weir plates to walls.
 4. Grate shall be removable for access and cleaning of structure. Grate shall also be lockable for security and safety.
 5. Floor of structure shall be flat across the transverse and longitudinal cross sections (see section views) to allow for proper screening and weir plate installation.

Detention Pond Outlet Structure Detail

(NTS)



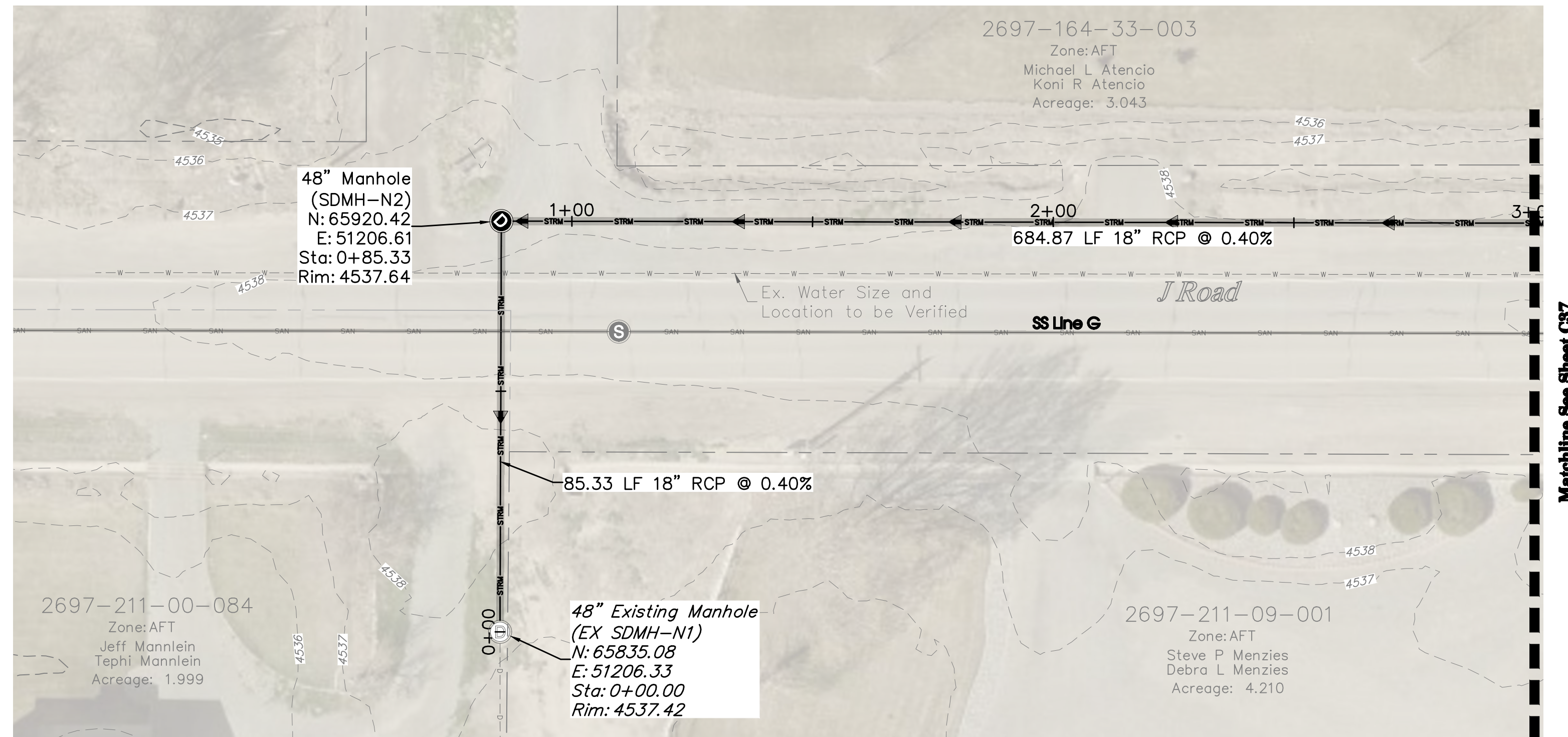
UTILITY SHEETS	UTILITY SHEETS
SS Line A.....Sheet C28	WTR Line U.....Sheet C39-C40
SS Line B..... Sheet C30	WTR Line V.....Sheet C41-C42
SS Line C..... Sheet C32	WTR Line W.....Sheet C43
SS Line D..... Sheet C29	WTR Line X.....Sheet C45
SS Line E..... Sheet C31	WTR Line Y.....Sheet C46
SS Line F..... Sheet C33	WTR Line Z.....Sheet C44
SS Line G..... Sheet C21-C25	
SS Line H..... Sheet C26-C27	IRR Line I.....Sheet C47
SD Line K..... Sheet C34	
SD Line L..... Sheet C34	
SD Line M..... Sheet C35	
SD Line N..... Sheet C36-C38	

ACCEPTANCE BLOCK

The City of Fruita reviews general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer _____ Date _____

<p>811 Know what's below. Call before you dig. www.uncc.org CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.</p>	<p>Project Benchmark Found 2" Aluminum Cap/NE Corner Marked "DH SURVEYS INC" South of J 1/2 Road NORTHING: 67185.23 EASTING: 53517.93 ELEVATION: 4551.66 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)</p>	<p>SCALE (FEET) 0 20 40 HORIZONTAL VERTICAL: 1"=4' CONTOUR INTERVAL: 1 FT</p>	<p>PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	REVISION	BY													<p style="color: red; font-weight: bold; transform: rotate(-90deg);">P.R.E.L.I.M.I.N.A.R.Y.</p>	<p>RIVER CITY CONSULTANTS 215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501 Phone: 970.241.4722 Fax: 970.241.8841 www.rcwest.com</p> <p>DRAWN BY: JMM PROJECT: 2060-001 CHECKED BY: JWM</p>	<p>FUTURADO DEVELOPMENT LLC Adeles Acres Subdivision Storm Drain Plan & Profile SD Line M</p>	<p>C35</p>
				NO.	DATE	REVISION	BY																
<p>ORIGINAL SHEET SIZE: 22 x 34</p>																							



Matchline See Sheet C37

UTILITY SHEETS

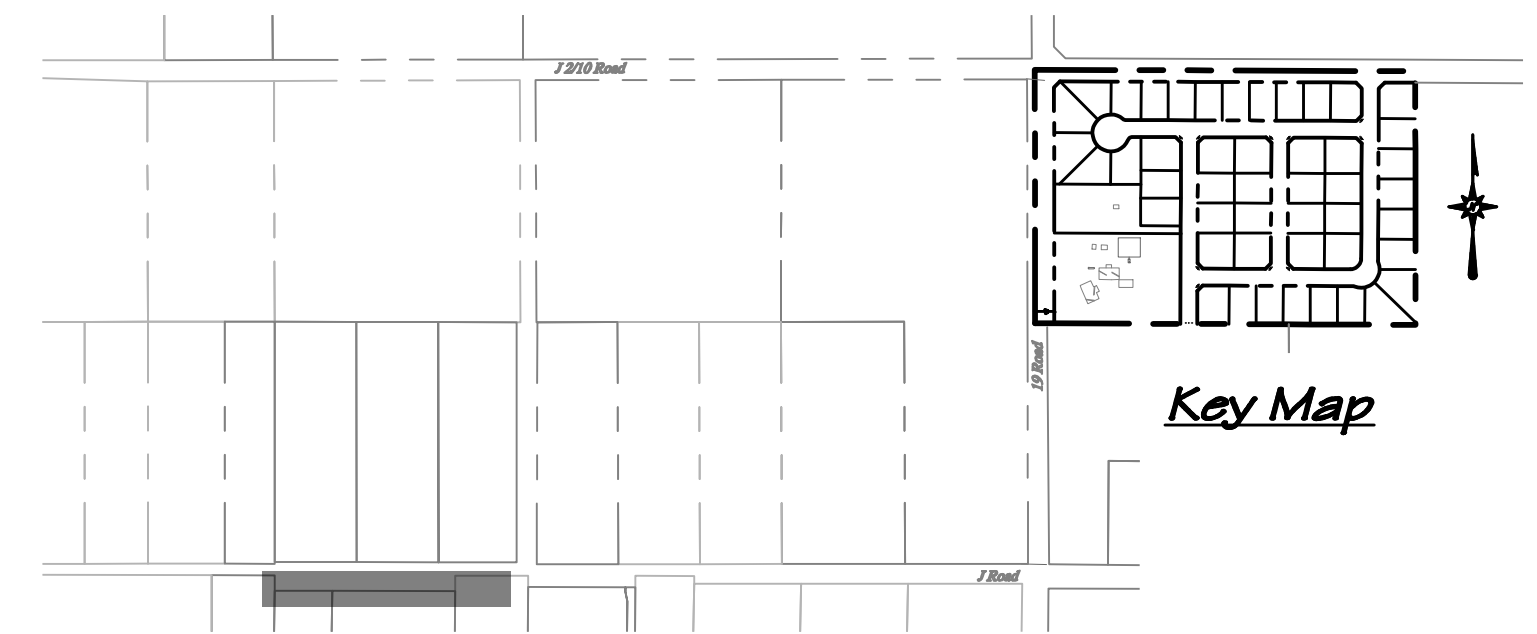
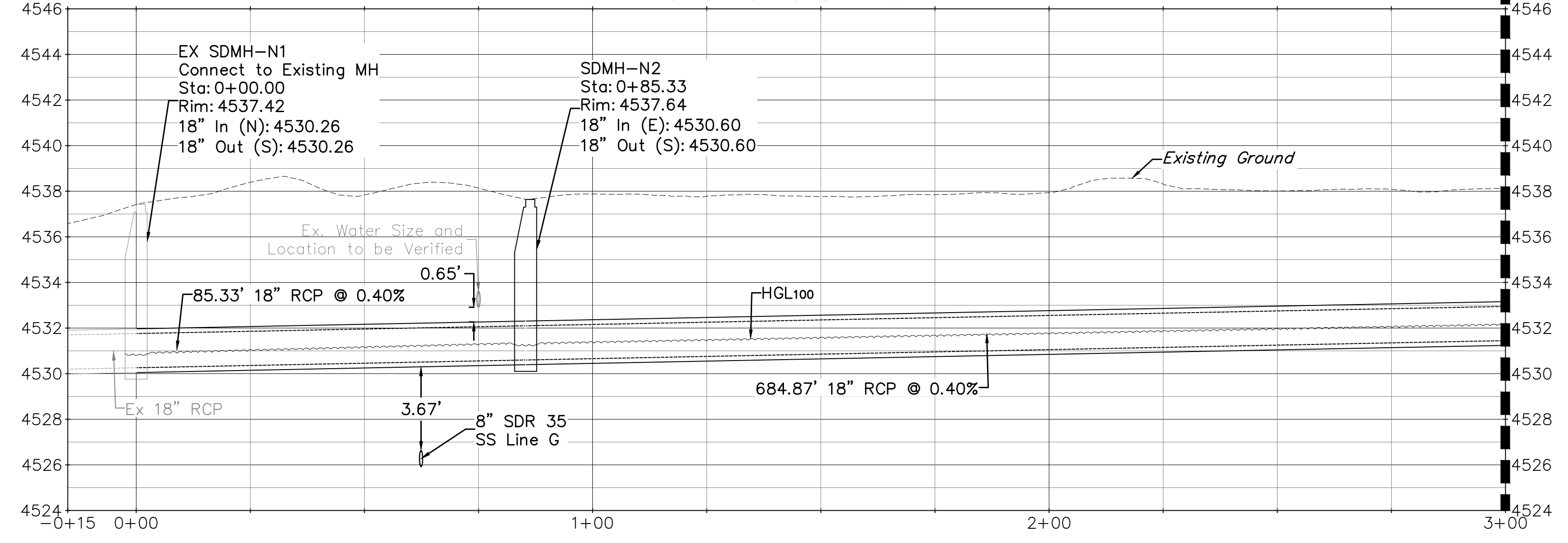
- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
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- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
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- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44

- IRR Line I.....Sheet C47

Profile View of SD Line N



ACCEPTANCE BLOCK
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City Development Engineer _____ Date _____

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Project Benchmark
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Marked "DH SURVEYS INC"
South of J 1/2 Road
NORTHING: 67185.23
EASTING: 53517.93
ELEVATION: 4551.66
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE
(FEET)
0 20 40
HORIZONTAL
VERTICAL: 1" = 4'
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\04-Utility\2060-001 Storm Drain.dwg [SD Line N (3)] 15-Mar-23 09:16:57

PRELIMINARY

RIVER CITY CONSULTANTS
215 Pitkin Avenue, Unit 201
Grand Junction, CO 81501
www.rcwest.com
Phone: 970.241.4722
Fax: 970.241.8841

DRAWN BY: kac PROJECT: 2060-001
CHECKED BY: jwm

ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Storm Drain Plan & Profile
SD Line N (Sta. 0+00-3+00) [1 of 3]

C36

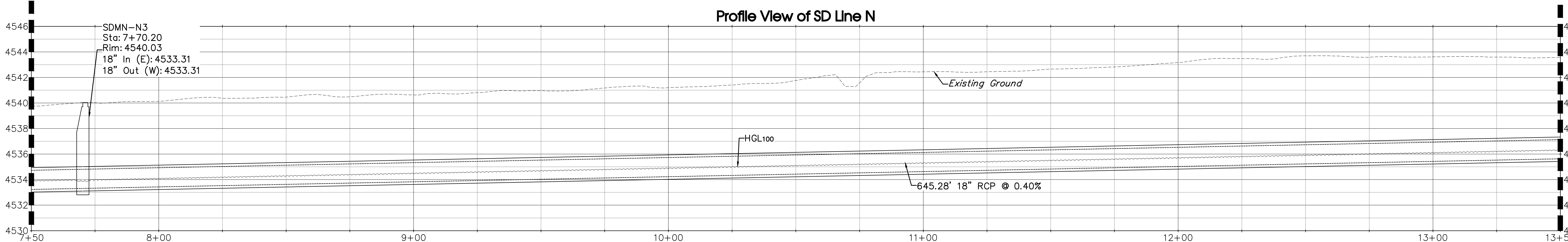
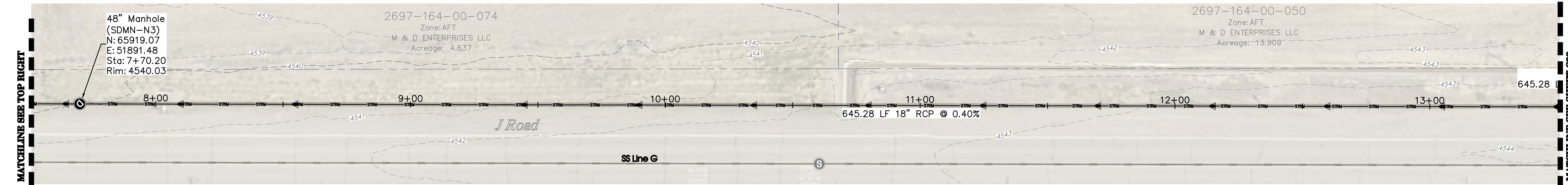
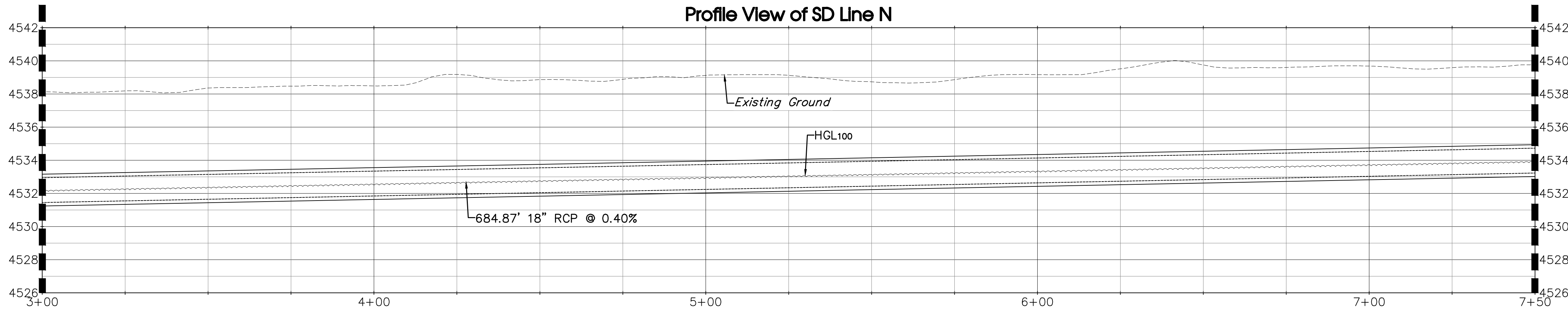
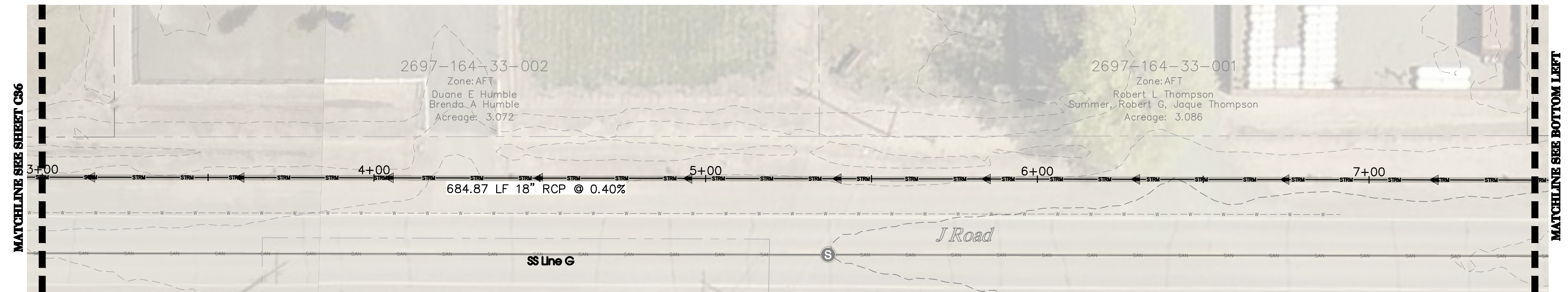
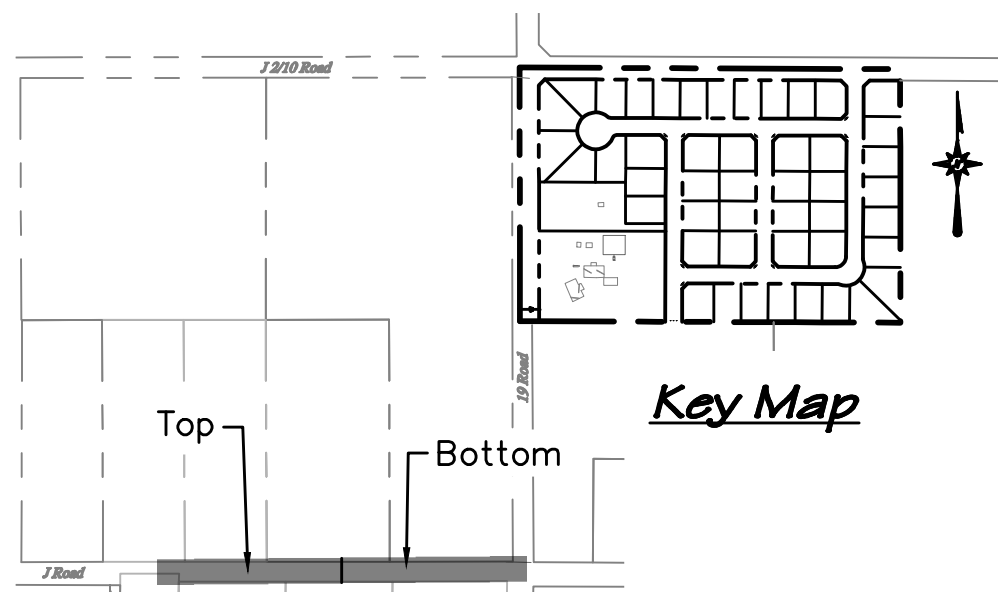
UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B.....Sheet C30
- SS Line C.....Sheet C32
- SS Line D.....Sheet C29
- SS Line E.....Sheet C31
- SS Line F.....Sheet C33
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- SD Line N.....Sheet C36-C38

- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
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- IRR Line I.....Sheet C47



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Project Benchmark
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South of J 1/2 Road
NORTHING: 67185.23
EASTING: 53517.93
ELEVATION: 4551.66
DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)

HORIZONTAL: 1" = 40'

VERTICAL: 1" = 4'

CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\04-Utility\2060-001 Storm Drain.dwg [SD Line N (2)] 15-Mar-23 09:17:10

RIVER CITY CONSULTANTS

215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501
Phone: 970.241.4722 Fax: 970.241.8841
www.rcwest.com

DRAWN BY: kac PROJECT: 2060-001
CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC

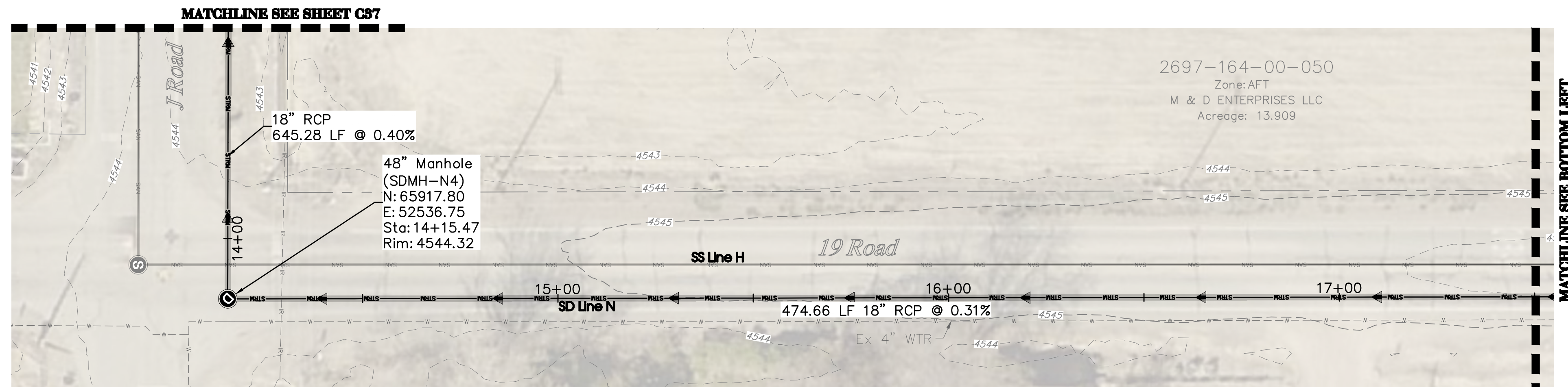
Adeles Acres Subdivision

Storm Drain Plan & Profile
SD Line N (Sta. 3+00-13+50) [2 of 3]

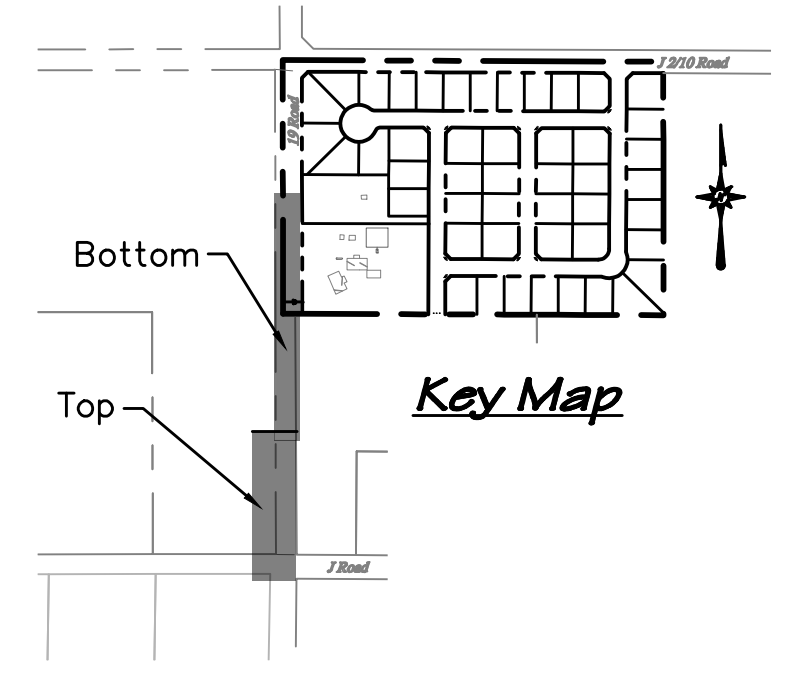
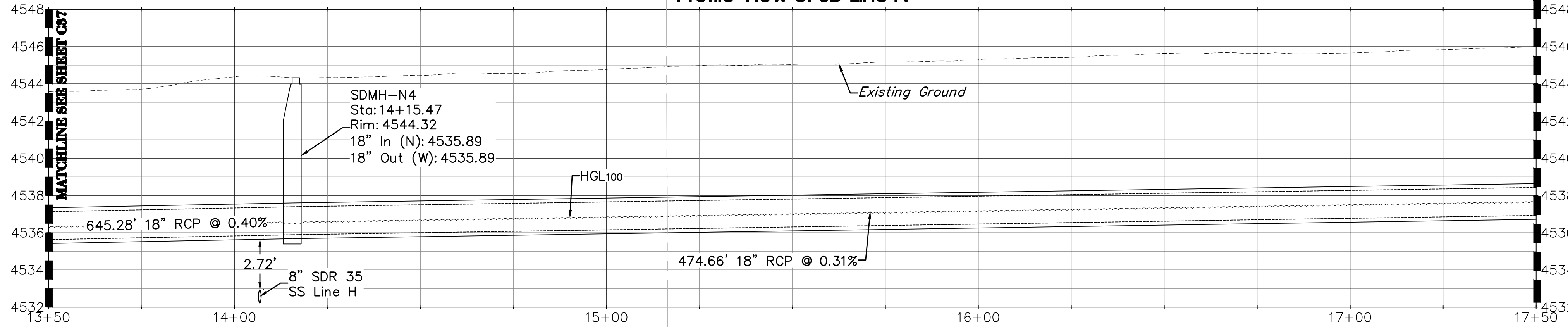
C37

ACCEPTANCE BLOCK
This block is to be filled out by the contractor upon completion of the project. It is the responsibility of the contractor to ensure that the project is completed in accordance with the plans and specifications. The City reserves the right to reject any work that does not meet the required standards. Errors in the design or construction remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer Date



Profile View of SD Line N



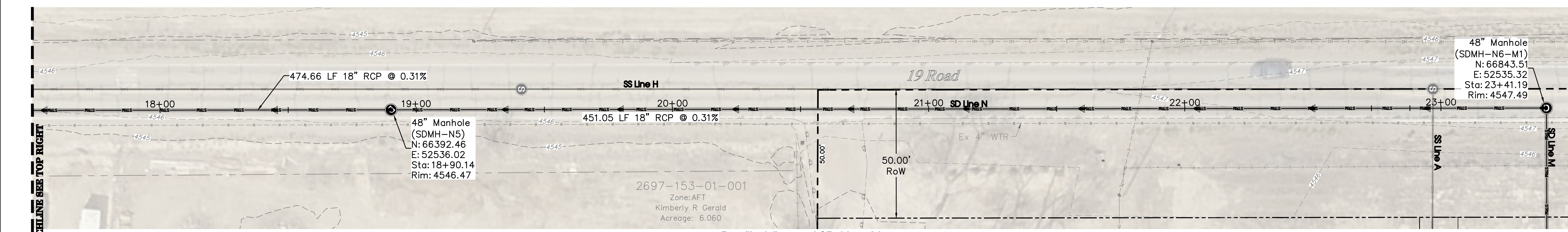
UTILITY SHEETS

- SS Line A.....Sheet C28
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- SS Line D..... Sheet C29
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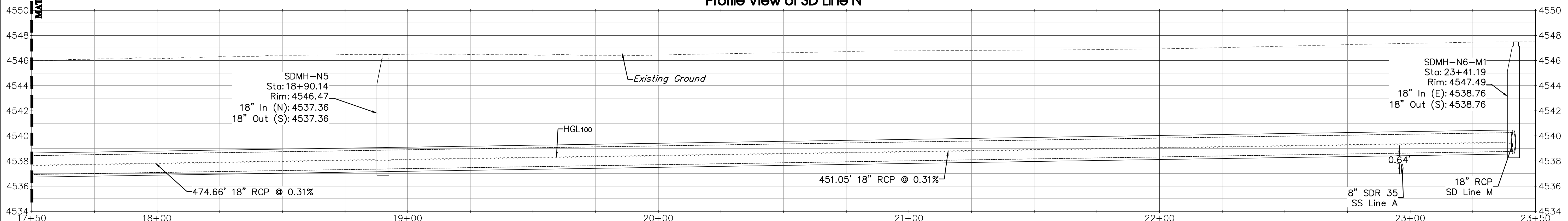
- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38

- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
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- WTR Line Z.....Sheet C44

- IRR Line I.....Sheet C47



Profile View of SD Line N



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DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)
0 20 40
HORIZONTAL
VERTICAL: 1"=4'
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\04-Utility\2060-001 Storm Drain.dwg [SD Line N] 15-Mar-23 09:17:20

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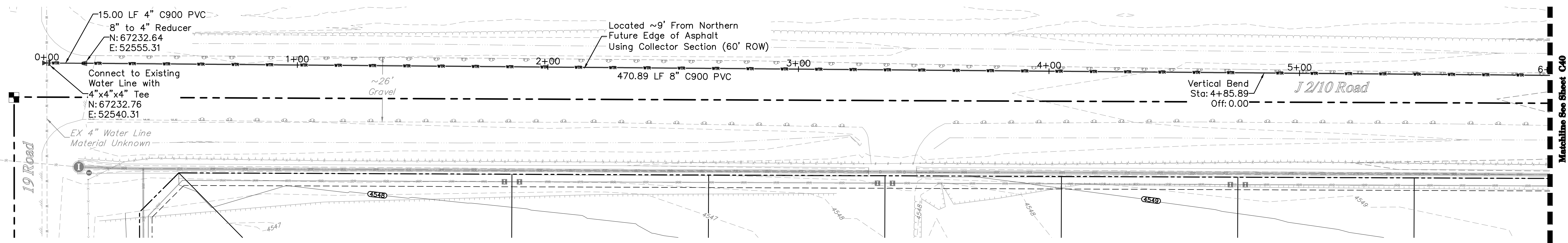
DRAWN BY: JMM PROJECT: 2060-001
CHECKED BY: JWM
ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Storm Drain Plan & Profile
SD Line N (Sta. 13+50-23+00) [3 of 3]

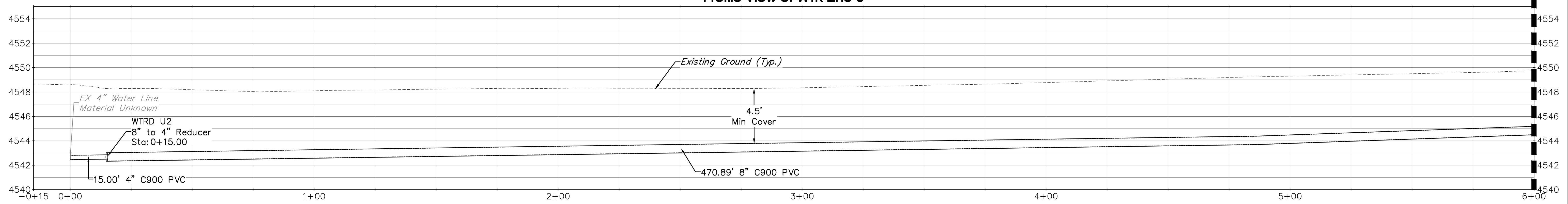
C38

ACCEPTANCE BLOCK
This drawing is the property of River City Consultants. It is to be used only for the project and location specified on the title block. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of River City Consultants. The City engineer accepts no responsibility for errors or omissions. Errors in the design or construction remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan approval.

Date
City Development Engineer



Profile View of WTR Line U



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
- SS Line F..... Sheet C33
- SS Line G..... Sheet C21-C25
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- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44

- IRR Line I.....Sheet C47

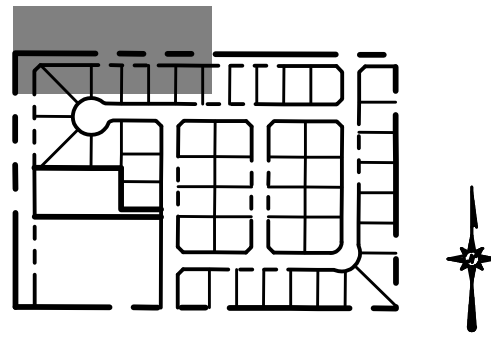
- Notes:**
- Elevations listed on fire hydrant callouts give the finished grade elevation at the back of walk adjacent to the hydrant.

ACCEPTANCE BLOCK
The City of Frisco review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

City Development Engineer _____ Date _____

ACCEPTANCE BLOCK
 ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Ute Water District Representative _____ Date _____



Vicinity Map

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 www.uncc.org
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

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 Know what's below.
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Project Benchmark
 Found 2" Aluminum CopNE Corner
 Marked "DH SURVEYS INC"
 South of J 1/2 Road
 NORTHING: 67185.23
 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE
 (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

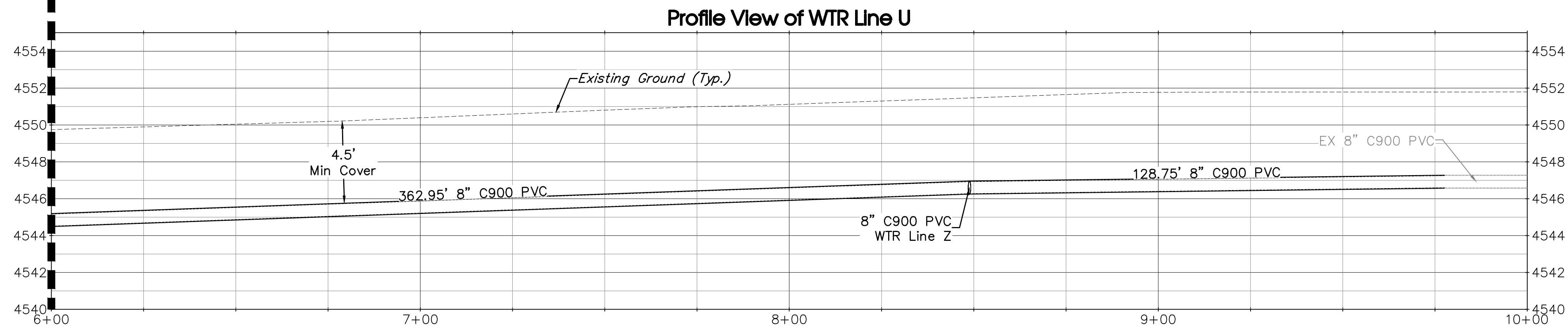
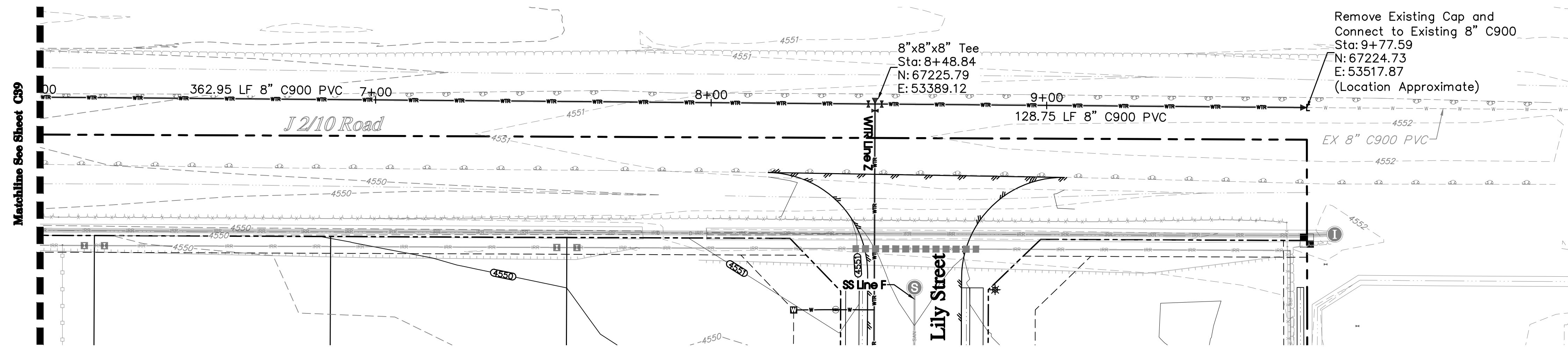
S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\04-Utility\2060-001 WTR.dwg [WTR Line U [1 of 2]] 15-Mar-23 09:18:51

PRELIMINARY

RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Grand Junction, CO 81501
 Phone: 970.241.4722 Fax: 970.241.8841
 www.rcwest.com

DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Water Line Plan & Profile
 WTR Line U (Sta. 0+00-6+00) [1 of 2] **C39**



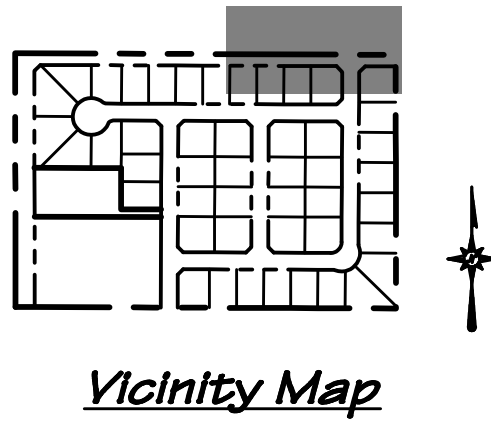
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ACCEPTANCE BLOCK
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City Development Engineer _____ Date _____

ACCEPTANCE BLOCK
 ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Ute Water District Representative _____ Date _____



UTILITY SHEETS

- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44

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 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)

0 20 40
 HORIZONTAL

VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19_Road\Design\DWG\04-Utility\2060-001 WTR.dwg [WTR Line U [2 of 2]] 15-Mar-23 09:19:00

RIVER CITY CONSULTANTS

215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm

ORIGINAL SHEET SIZE: 22 x 34

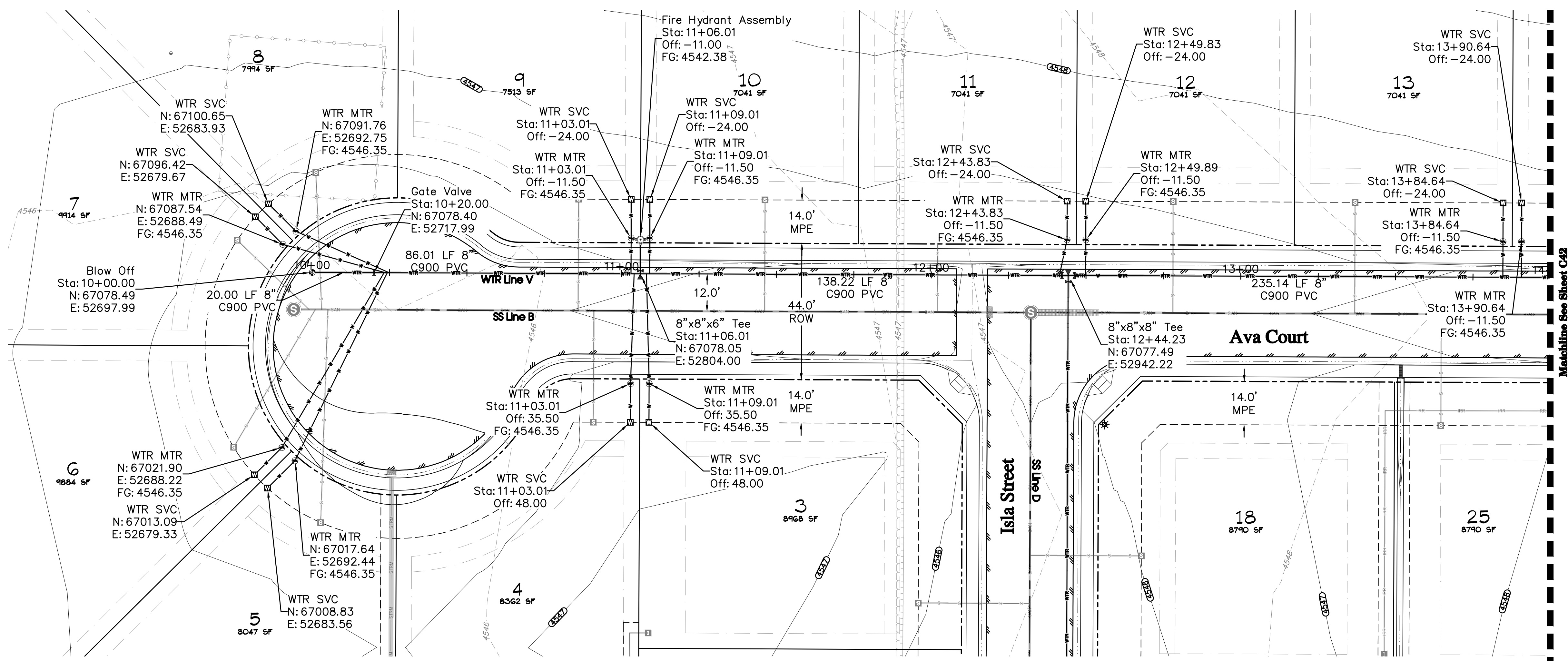
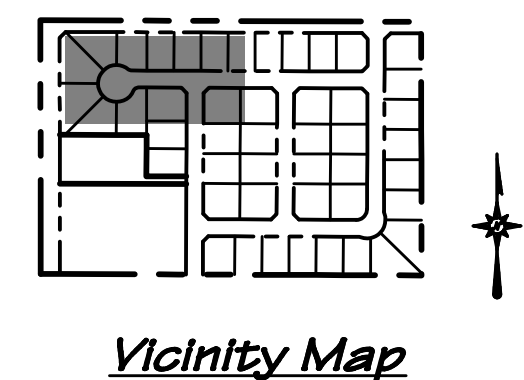
PRELIMINARY

FUTURADO DEVELOPMENT LLC

Adeles Acres Subdivision

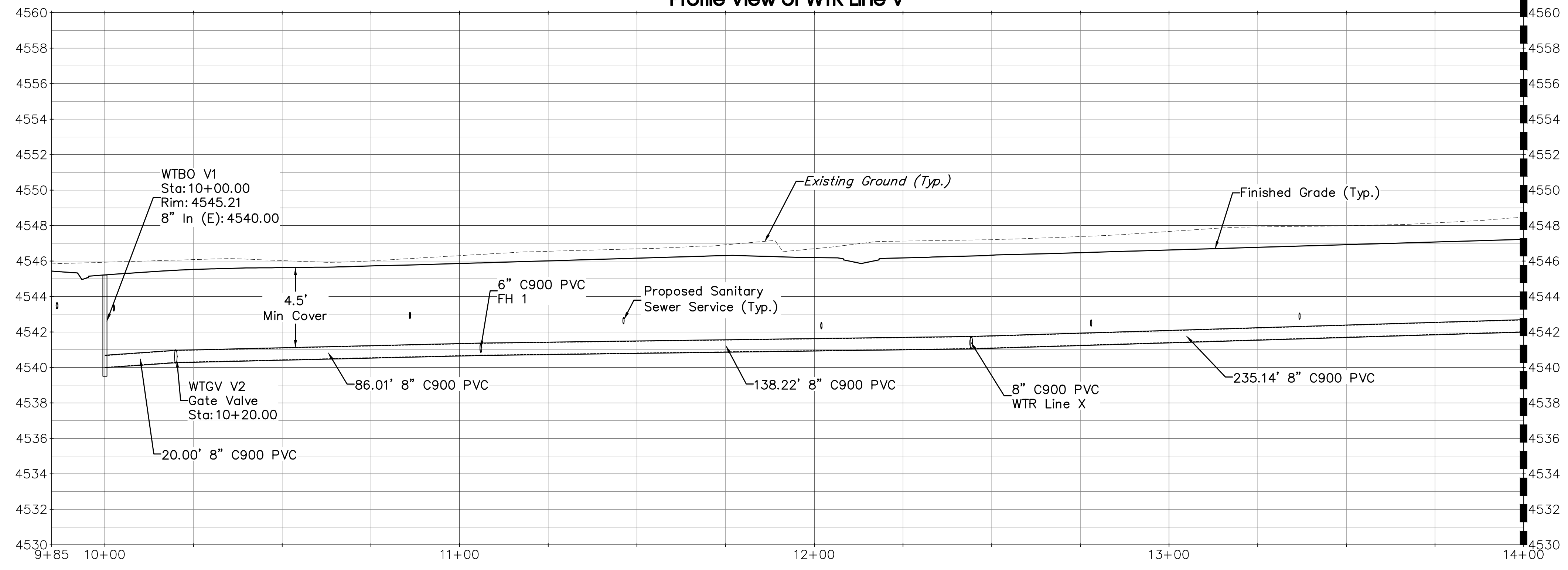
Water Line Plan & Profile
 WTR Line U (Sta. 6+00-10+00) [2 of 2]

C40



Matchline See Sheet C42

Profile View of WTR Line V



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
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- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44
- IRR Line I.....Sheet C47

Notes:

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City Development Engineer	Date
ACCEPTANCE BLOCK	
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE	
Ute Water District Representative	Date

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 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE
(FEET)

0 20 40
HORIZONTAL

VERTICAL: 1" = 4'
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary		DATE ISSUED: 08.MAR.2023	
NO.	DATE	REVISION	BY

PRELIMINARY

RIVER CITY
CONSULTANTS

215 Pitkin Avenue, Unit 201
 Grand Junction, CO 81501
 Phone: 970.241.4722
 Fax: 970.241.8841

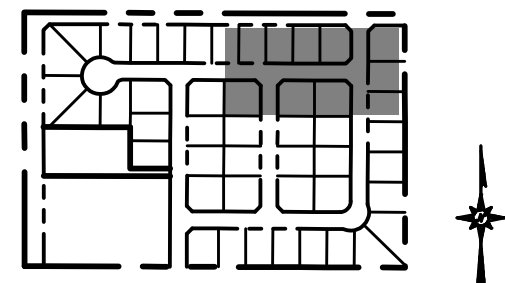
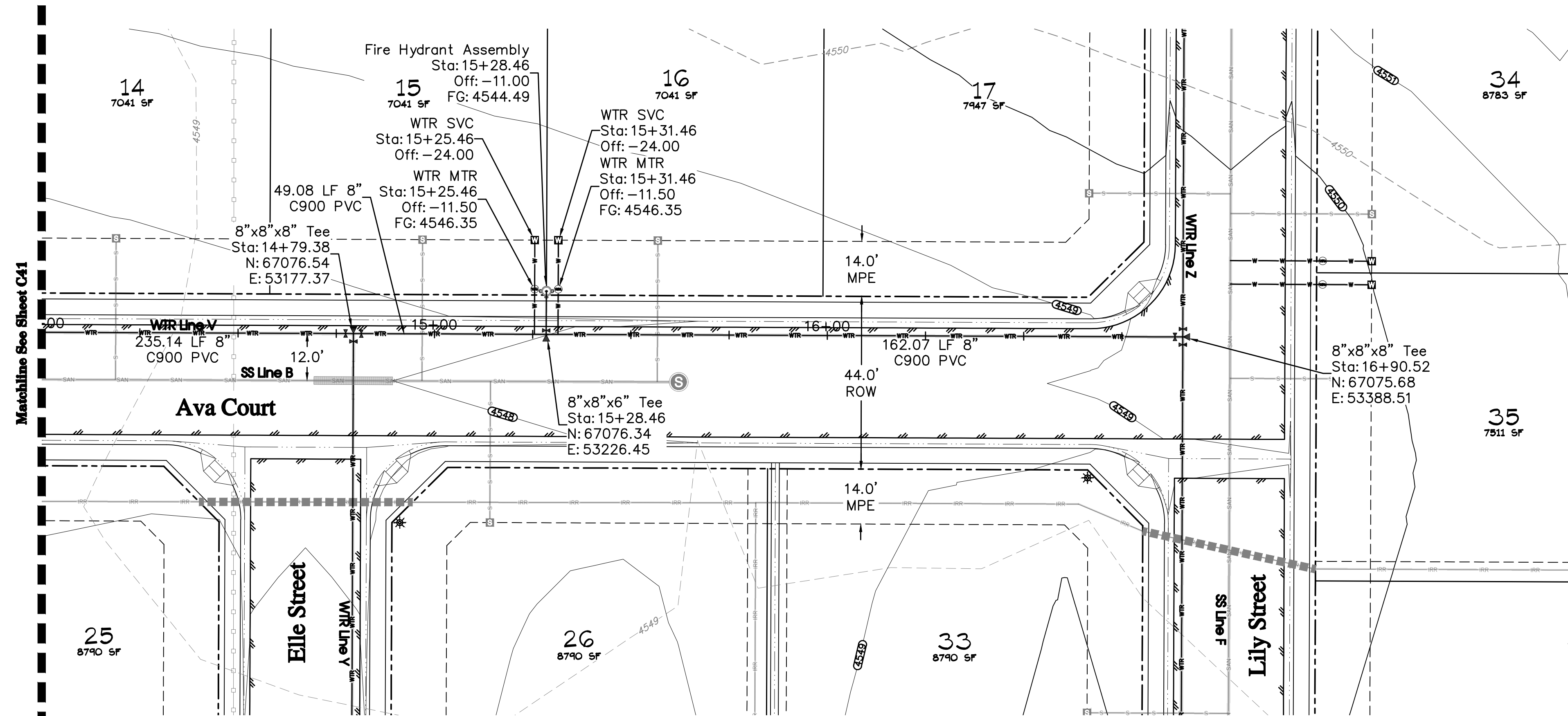
DRAWN BY: jwm PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC

Adeles Acres Subdivision

Water Line Plan & Profile
 WTR Line V (Sta. 10+00-14+00) [1 of 2]

C41



Vicinity Map

UTILITY SHEETS

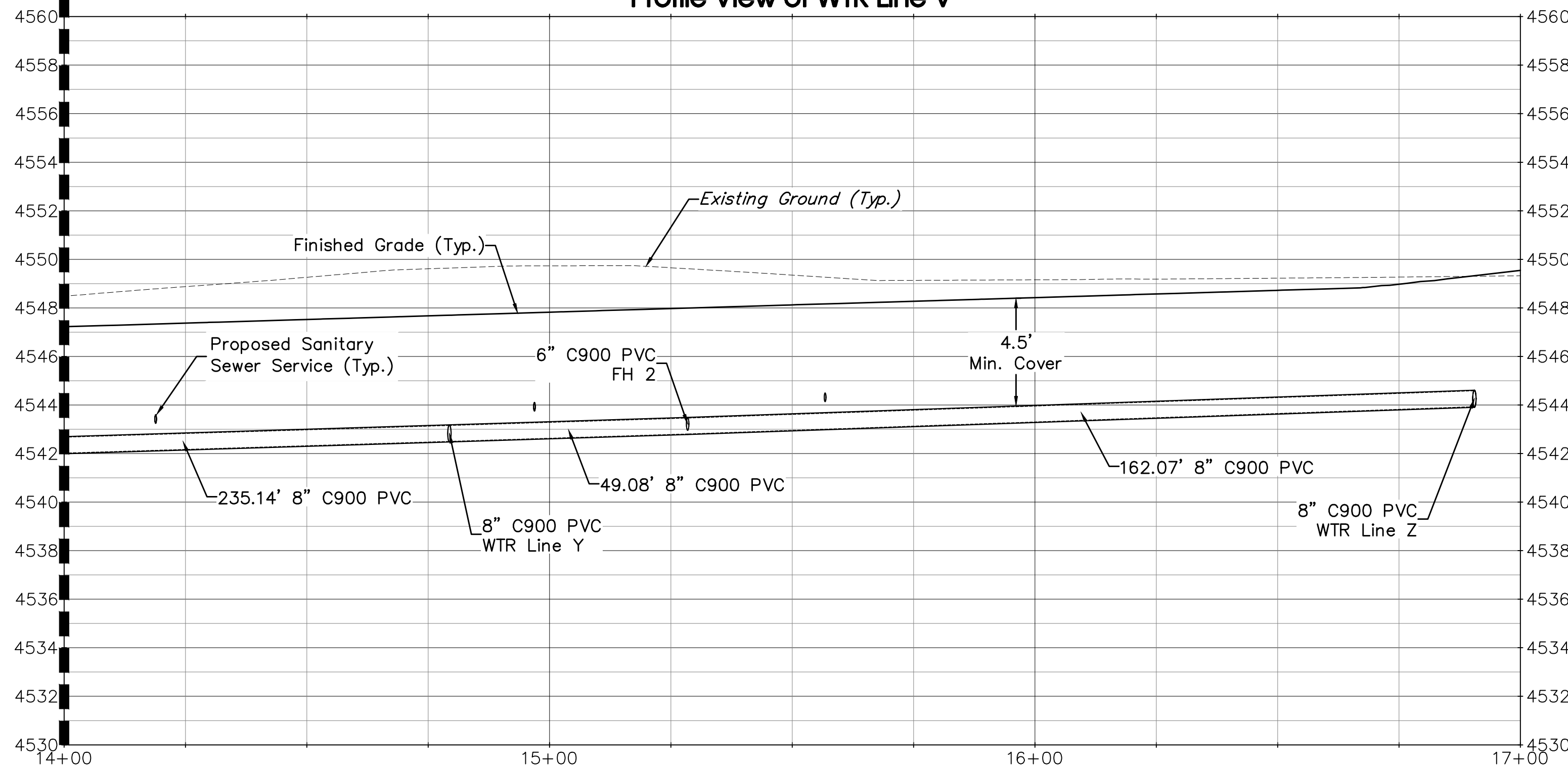
- SS Line A.....Sheet C28
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- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
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- WTR Line Z.....Sheet C44

- IRR Line I.....Sheet C47

Profile View of WTR Line V



Notes:

1. Elevations listed on fire hydrant callouts give the finished grade elevation at the back of walk adjacent to the hydrant.
2. All water services shall be installed to the Multi-Purpose Easement line, 12.50' beyond the water meter location, unless otherwise noted on plans.

ACCEPTANCE BLOCK
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City Development Engineer _____ Date _____

ACCEPTANCE BLOCK
 ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Ute Water District Representative _____ Date _____

811 UNCC
 Know what's below. Call before you dig.
 800.922.1987
 www.uncc.org
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Project Benchmark
 Found 2" Aluminum CopNE Corner Marked "DH SURVEYS INC" South of J 1/2 Road
 NORTHING: 67185.23
 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4"
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

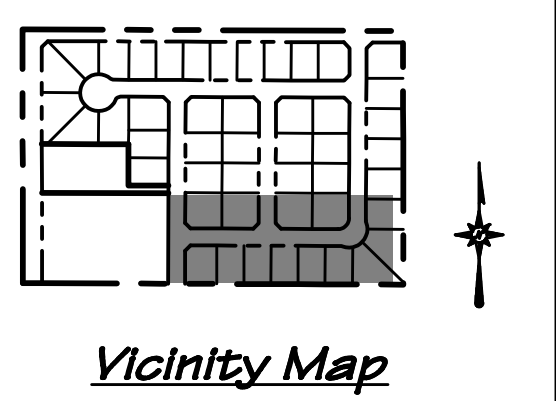
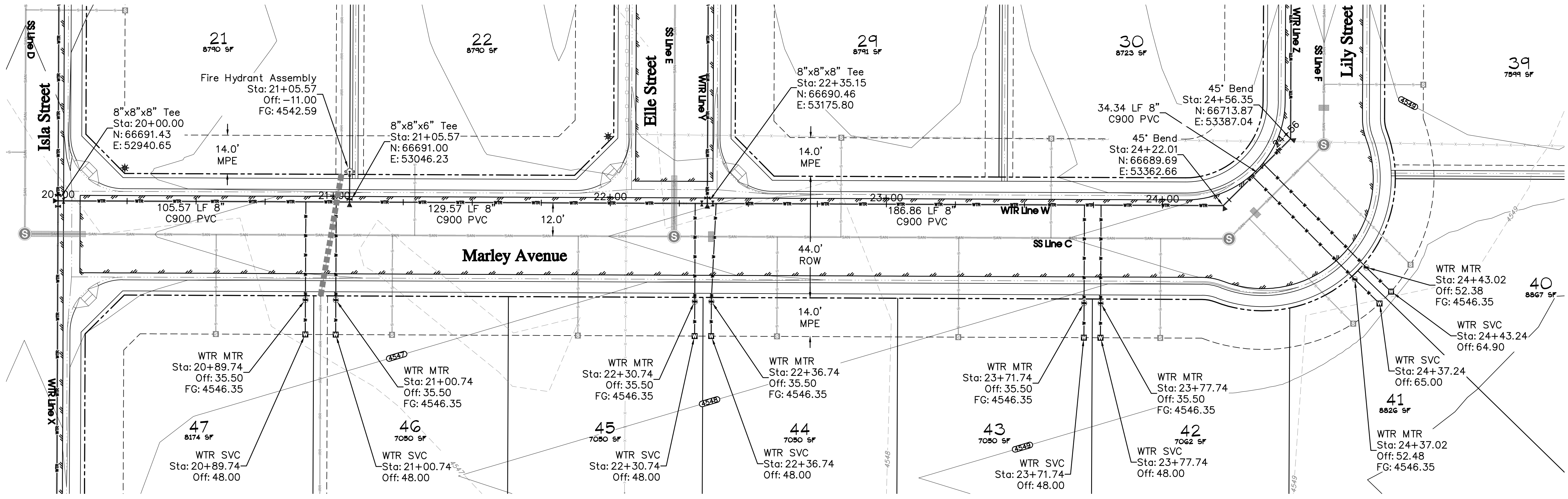
NO.	DATE	REVISION	BY

S:\PROJECTS\2060 Futurado Development LLC\001 1024 19 Road\Design\DWG\04-Utility\2060-001 WTR.dwg [WTR Line V [2 of 2]] 15-Mar-23 09:19:16

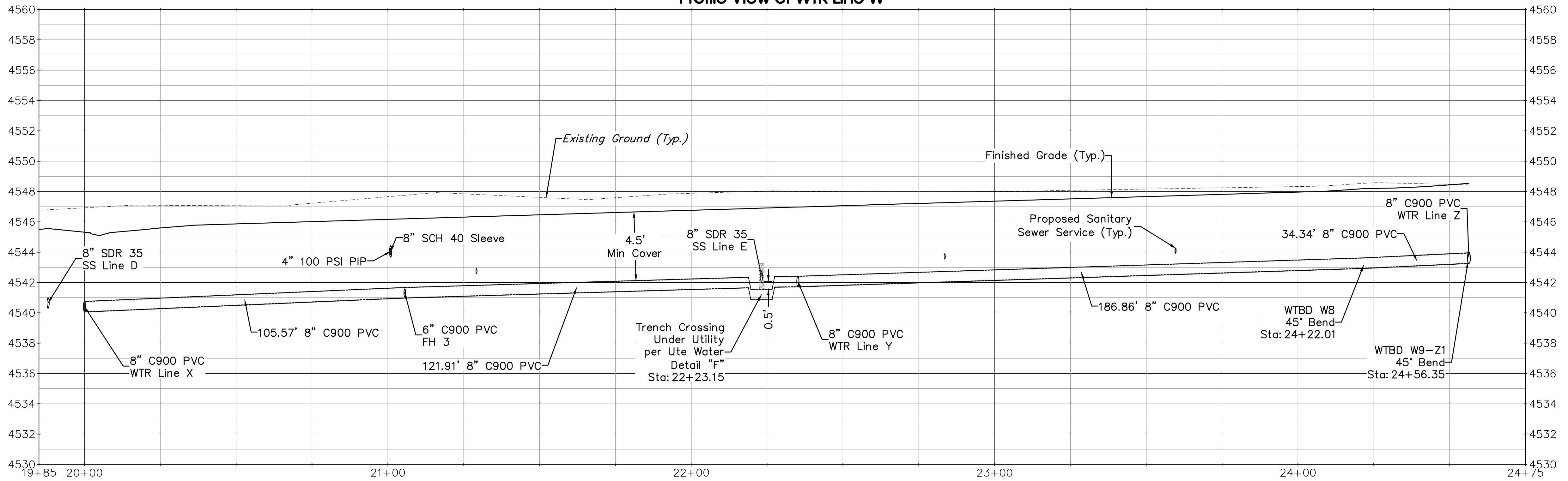
PRELIMINARY

RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841
 DRAWN BY: icf PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Water Line Plan & Profile
 WTR Line V (Sta. 14+00-17+00) [2 of 2] C42



Profile View of WTR Line W



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B..... Sheet C30
- SS Line C..... Sheet C32
- SS Line D..... Sheet C29
- SS Line E..... Sheet C31
- SS Line F..... Sheet C33
- SS Line G..... Sheet C21-C25
- SS Line H..... Sheet C26-C27

- SD Line K..... Sheet C34
- SD Line L..... Sheet C34
- SD Line M..... Sheet C35
- SD Line N..... Sheet C36-C38

- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44

- IRR Line I.....Sheet C47

Notes:
 1. Elevations listed on fire hydrant callouts give the finished grade elevation at the back of walk adjacent to the hydrant.

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ACCEPTANCE BLOCK	ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE
Ute Water District Representative	Date

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 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

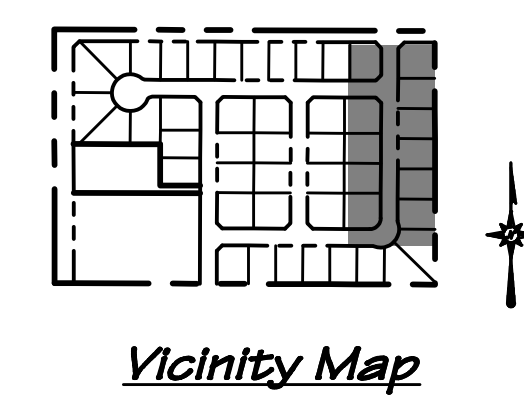
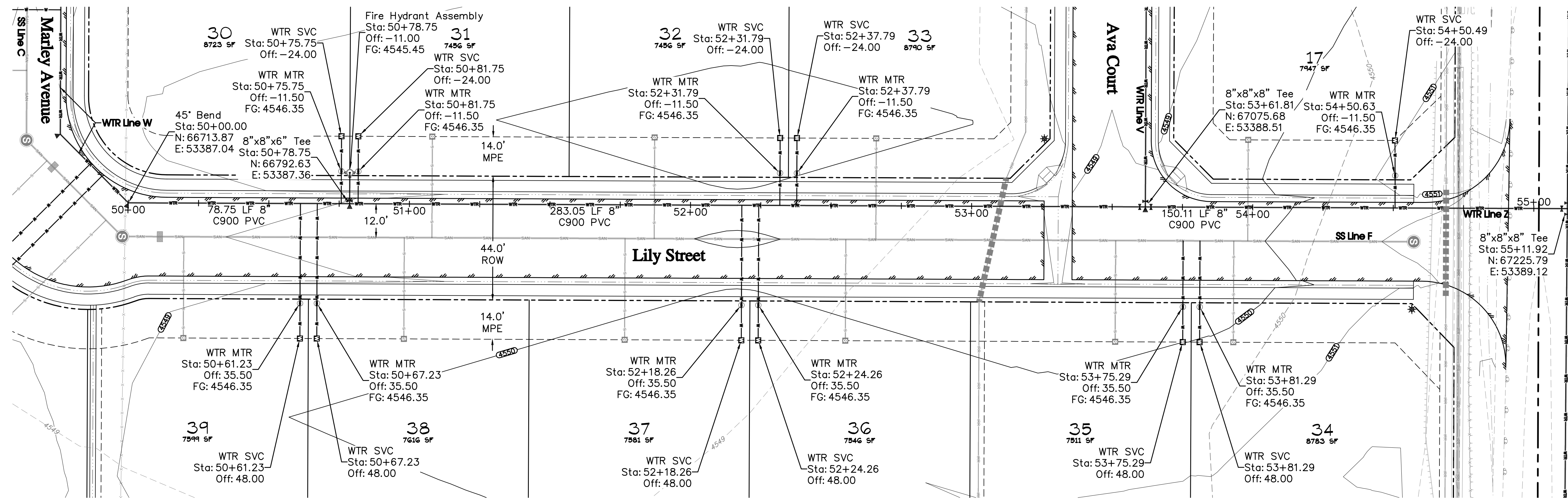
PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 Fax: 970.241.8841
 www.rcwest.com
 DRAWN BY: lcf PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Water Line Plan & Profile
 WTR Line W

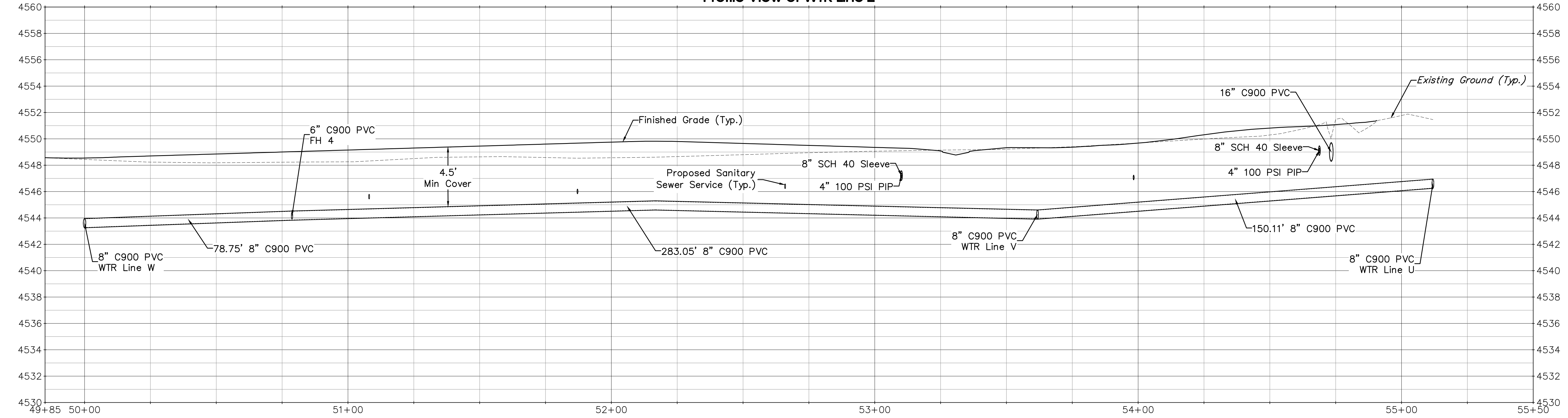
C43



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B.....Sheet C30
- SS Line C.....Sheet C32
- SS Line D.....Sheet C29
- SS Line E.....Sheet C31
- SS Line F.....Sheet C33
- SS Line G.....Sheet C21-C25
- SS Line H.....Sheet C26-C27
- SD Line K.....Sheet C34
- SD Line L.....Sheet C34
- SD Line M.....Sheet C35
- SD Line N.....Sheet C36-C38
- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44
- IRR Line I.....Sheet C47

Profile View of WTR Line Z



Notes:
 1. Elevations listed on fire hydrant callouts give the finished grade elevation at the back of walk adjacent to the hydrant.

<p>ACCEPTANCE BLOCK The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.</p>	<p>ACCEPTANCE BLOCK ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE</p>
City Development Engineer _____ Date _____	Ute Water District Representative _____ Date _____

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SCALE (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

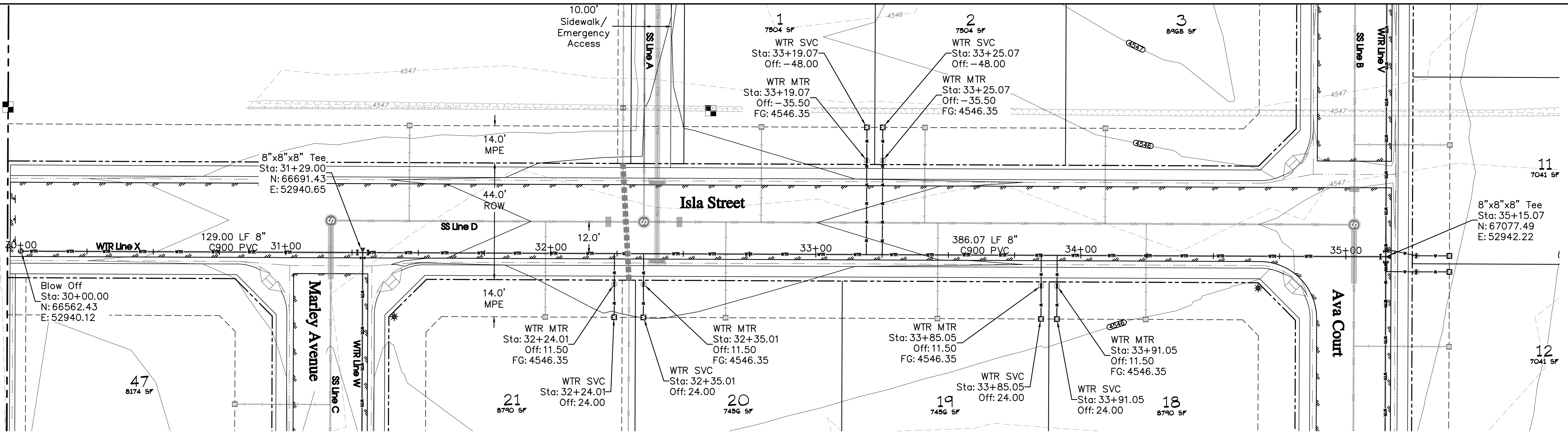
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RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841

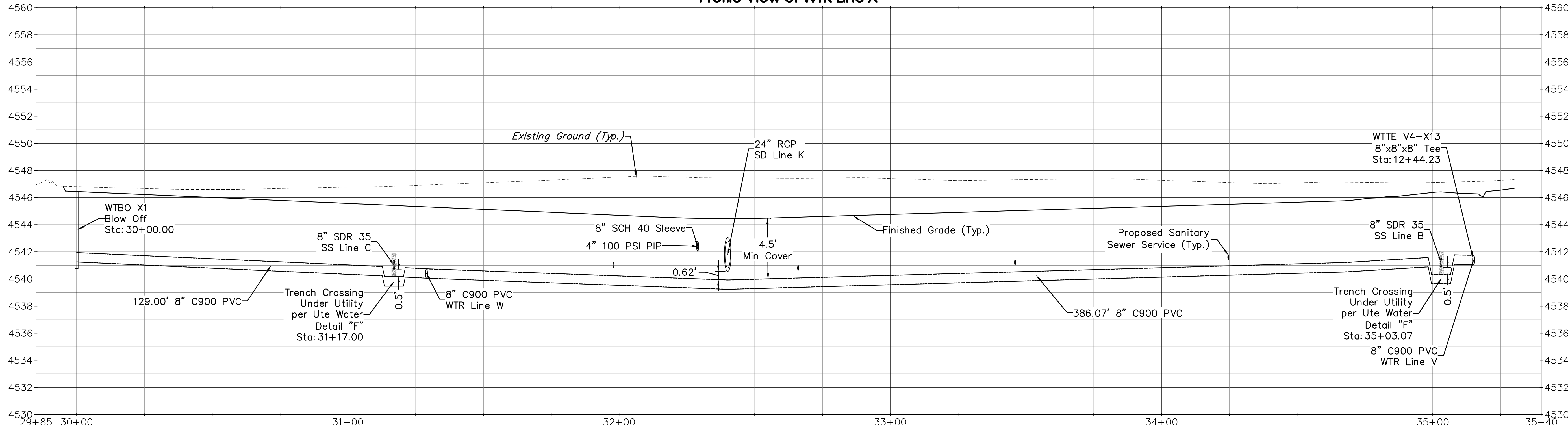
DRAWN BY: lcf PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Water Line Plan & Profile
 WTR Line Z

C44



Profile View of WTR Line X



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B.....Sheet C30
- SS Line C.....Sheet C32
- SS Line D.....Sheet C29
- SS Line E.....Sheet C31
- SS Line F.....Sheet C33
- SS Line G.....Sheet C21-C25
- SS Line H.....Sheet C26-C27
- SD Line K.....Sheet C34
- SD Line L.....Sheet C34
- SD Line M.....Sheet C35
- SD Line N.....Sheet C36-C38
- WTR Line U.....Sheet C39-C40
- WTR Line V.....Sheet C41-C42
- WTR Line W.....Sheet C43
- WTR Line X.....Sheet C45
- WTR Line Y.....Sheet C46
- WTR Line Z.....Sheet C44
- IRR Line I.....Sheet C47

ACCEPTANCE BLOCK
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City Development Engineer _____ Date _____
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 ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE
 Ute Water District Representative _____ Date _____

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 UNCC
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 www.uncc.org
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SCALE
 (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary		DATE ISSUED: 08.MAR.2023	
NO.	DATE	REVISION	BY

PR. L. I. M. I. N. A. R. Y

215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 Fax: 970.241.8841
 www.rcwest.com

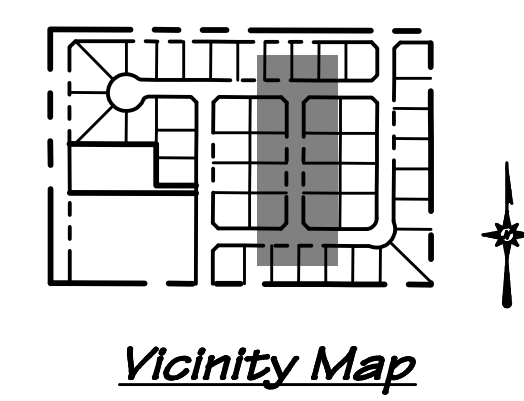
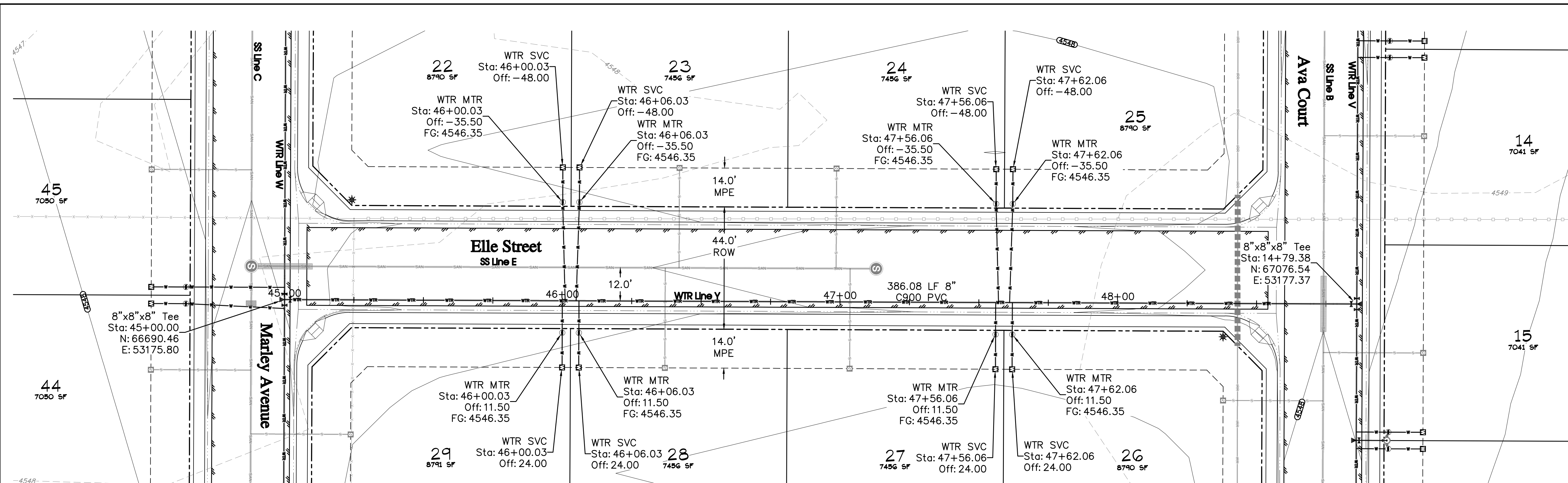
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 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC

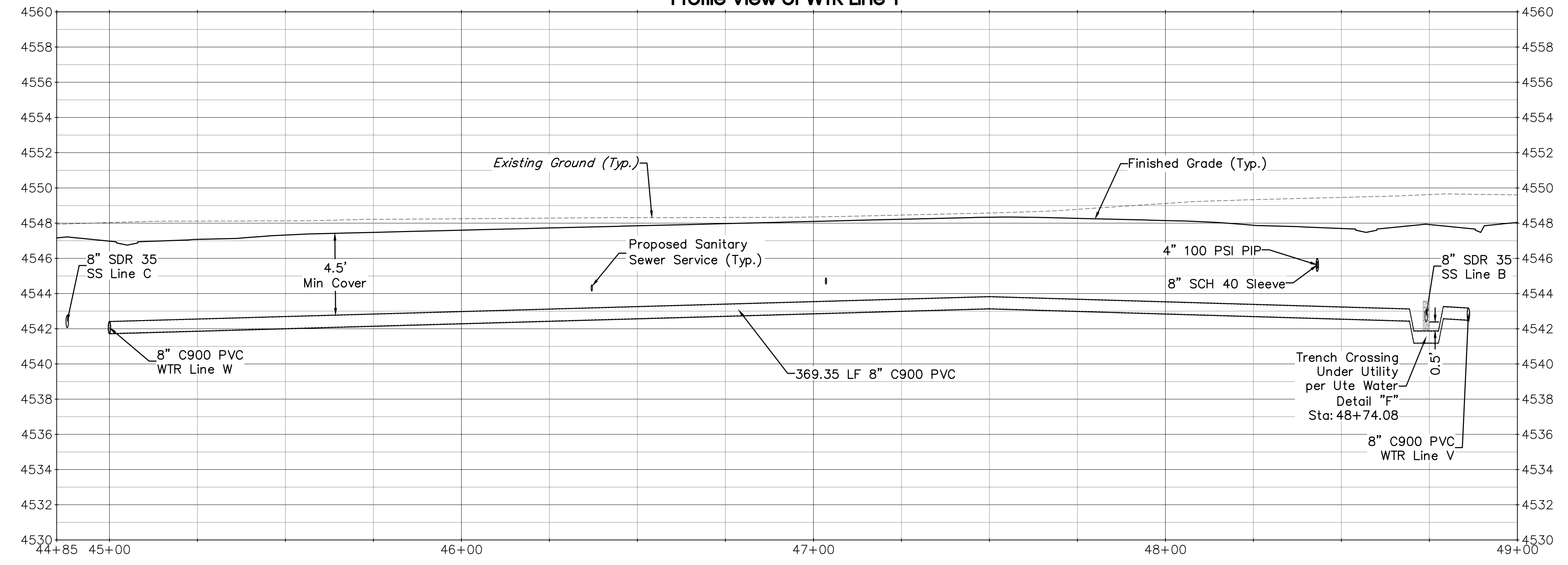
Adeles Acres Subdivision

Water Line Plan & Profile
 WTR Line X

C45



Profile View of WTR Line Y



UTILITY SHEETS

- SS Line A.....Sheet C28
- SS Line B.....Sheet C30
- SS Line C.....Sheet C32
- SS Line D.....Sheet C29
- SS Line E.....Sheet C31
- SS Line F.....Sheet C33
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- IRR Line I.....Sheet C47

- Notes:
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ACCEPTANCE BLOCK

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SCALE
(FEET)
0 20 40
HORIZONTAL
VERTICAL: 1" = 4'
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

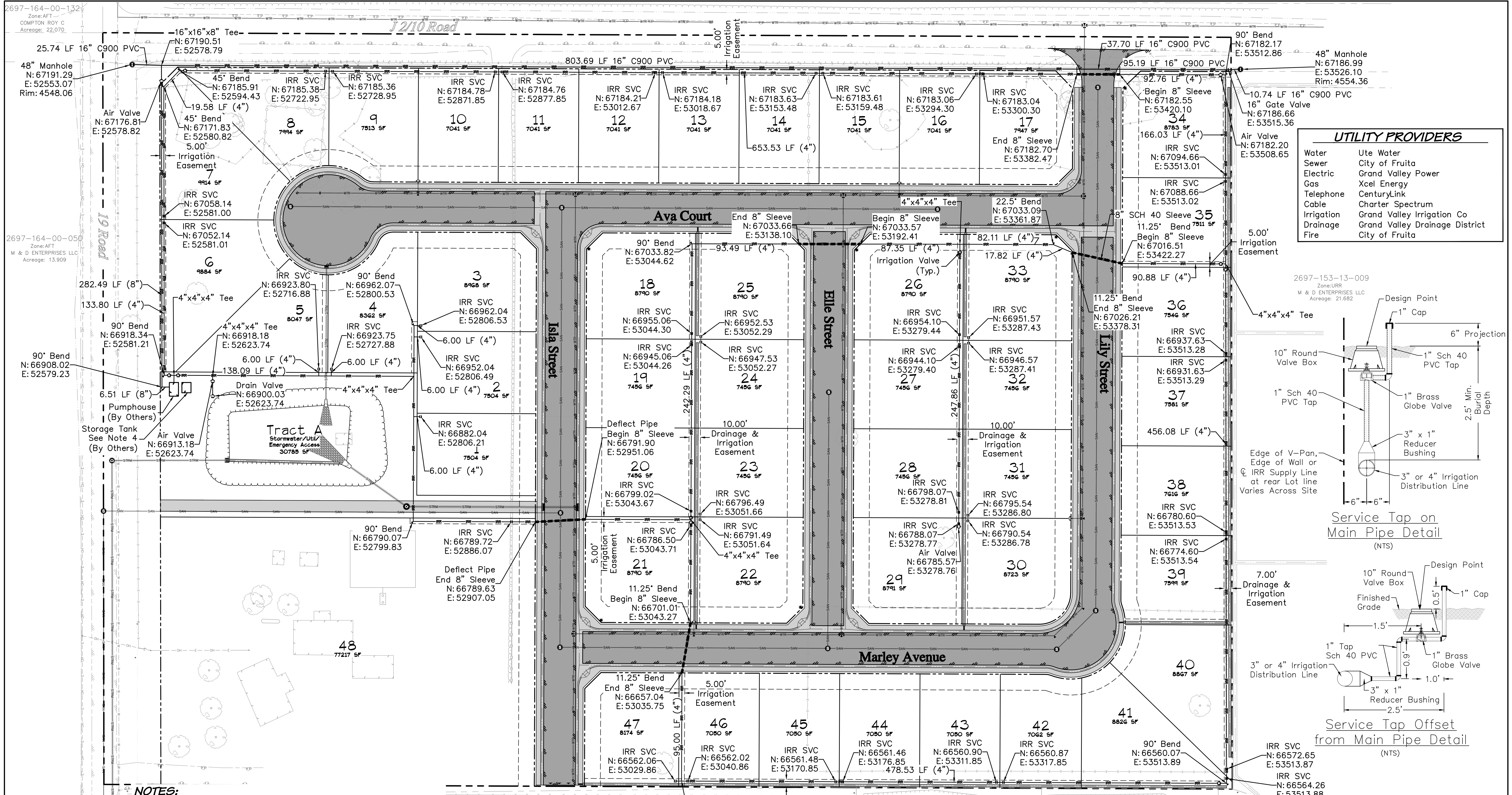
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RIVER CITY CONSULTANTS
215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
Grand Junction, CO 81501 Fax: 970.241.8841
www.rcwest.com

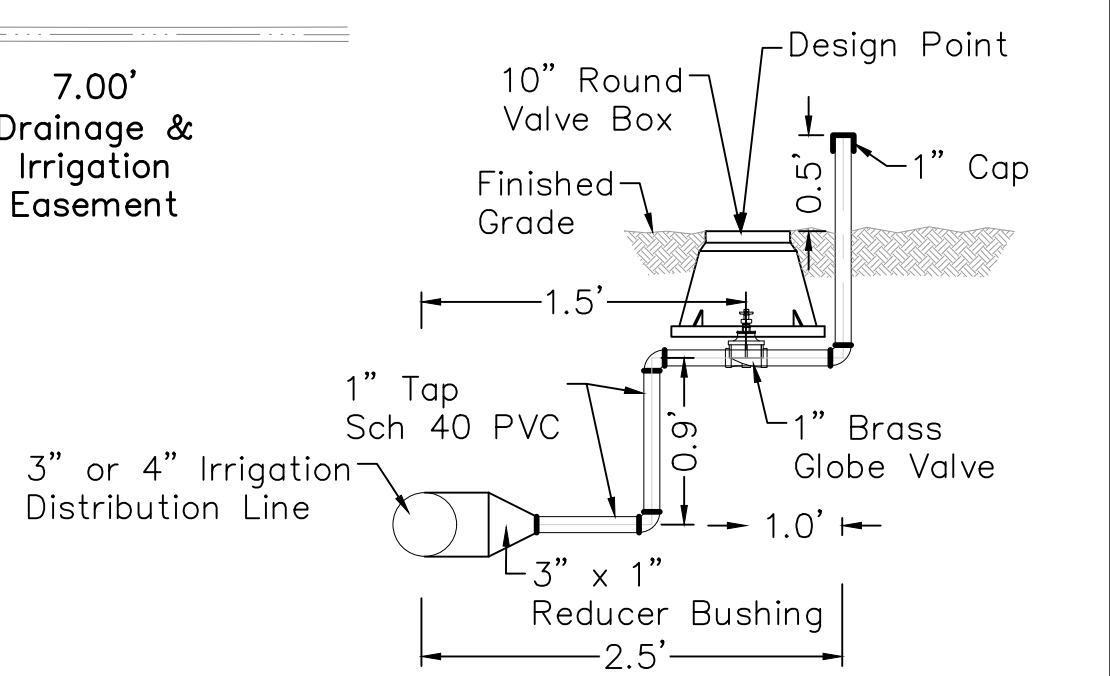
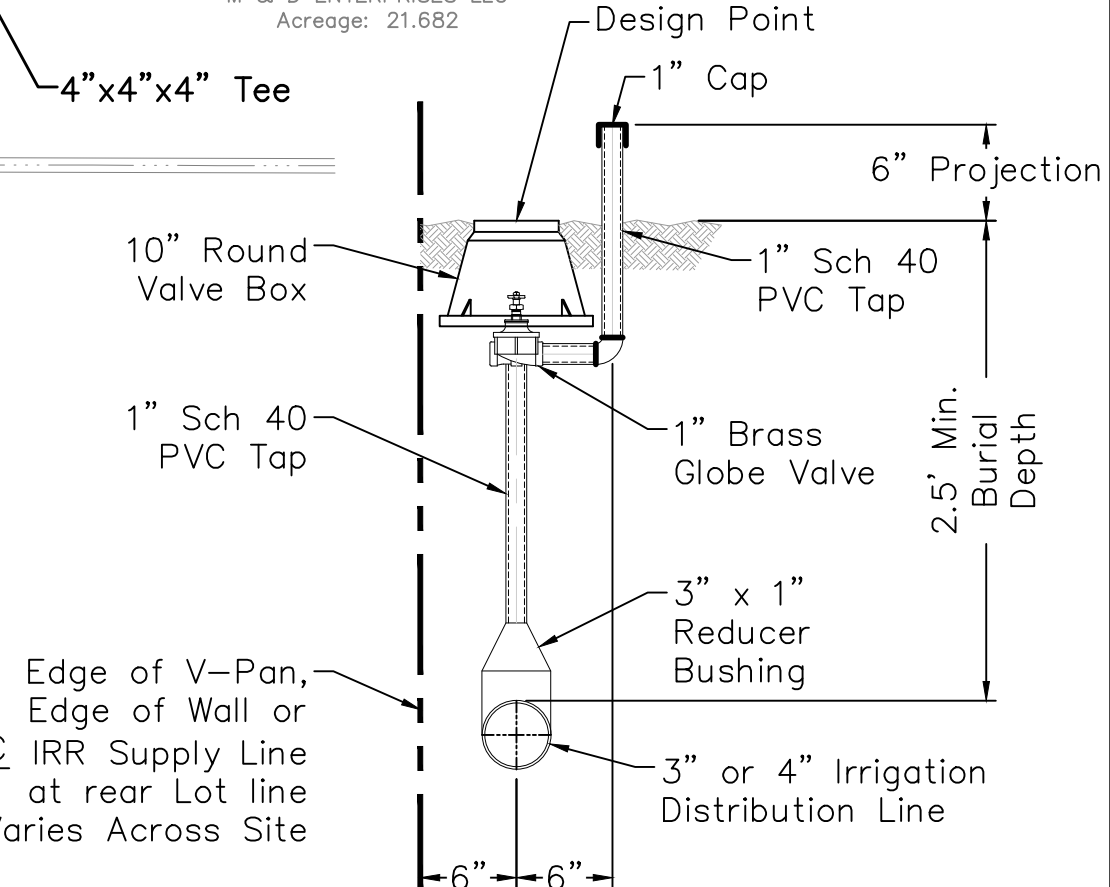
DRAWN BY: icf PROJECT: 2060-001
CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Water Line Plan & Profile
WTR Line Y

C46

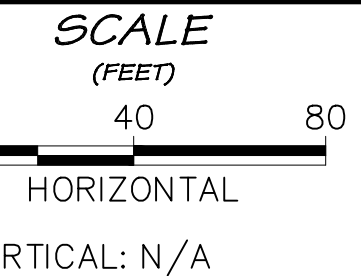


UTILITY PROVIDERS	
Water	Ute Water
Sewer	City of Fruita
Electric	Grand Valley Power
Gas	Xcel Energy
Telephone	CenturyLink
Cable	Charter Spectrum
Irrigation	Grand Valley Irrigation Co
Drainage	Grand Valley Drainage District
Fire	City of Fruita



NOTES:

1. Adjacent parcel lines are taken from the Mesa County GIS Website and are shown for reference only.
2. All IRR pipe shall be Class 100 PSI PIP unless noted otherwise.
3. Sleeves for all 4" irrigation lines shall be 8" SCH 40.
4. Storage Tank shall consist of minimum 7,000 gallons of storage. In case of emergency storage tank shall be constructed where overflow will be directed into the stormwater pond.



PROJECT PHASE: Preliminary		DATE ISSUED: 08.MAR.2023	
NO.	DATE	REVISION	BY

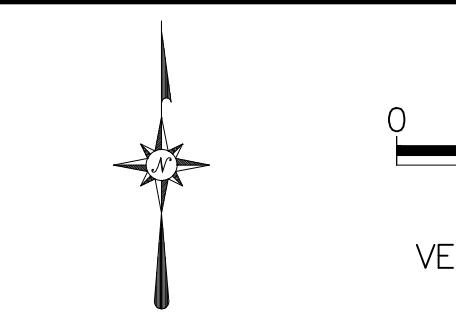
P.R.E.L.I.M.I.N.A.R.Y

RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841
 DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

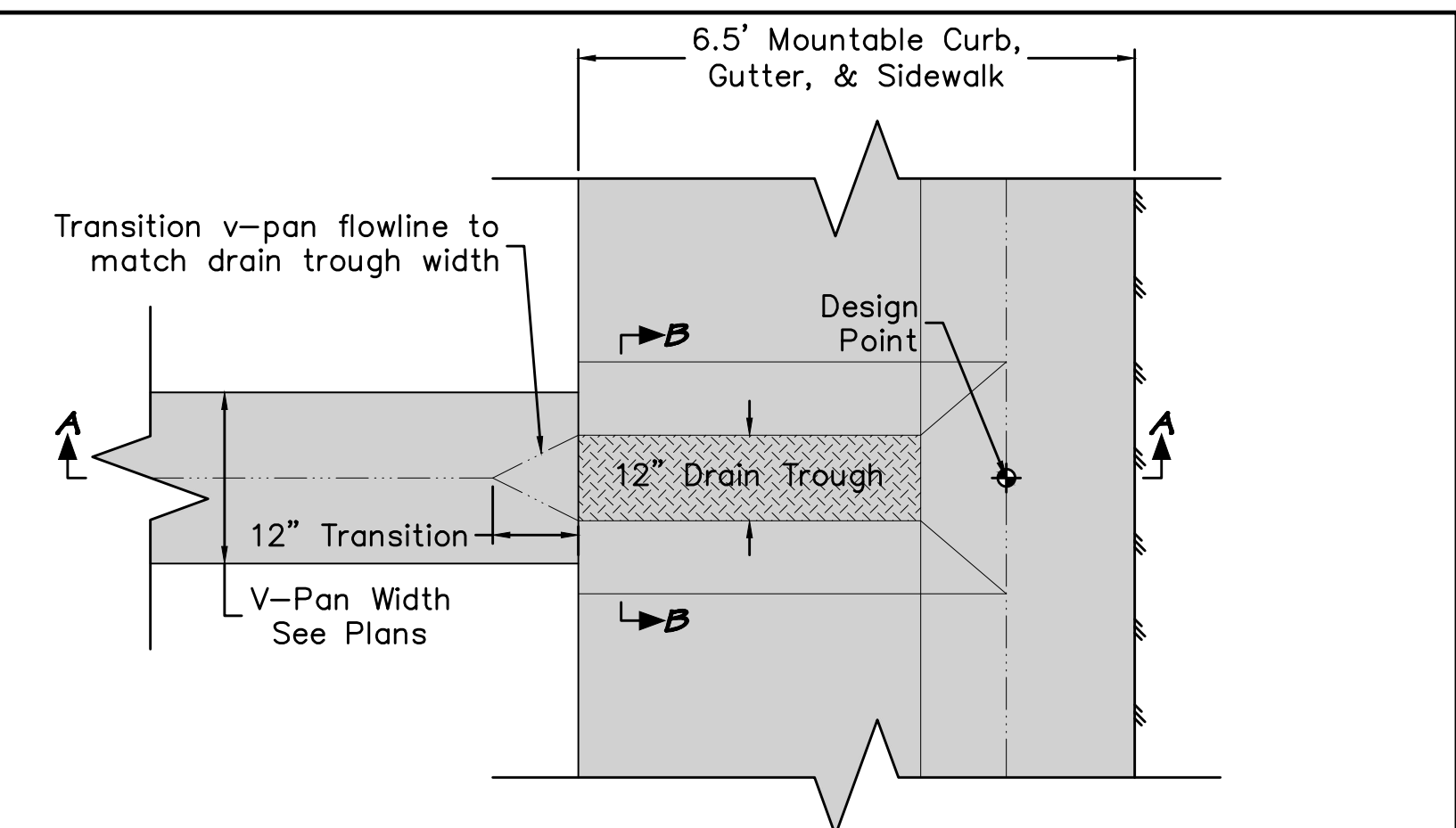
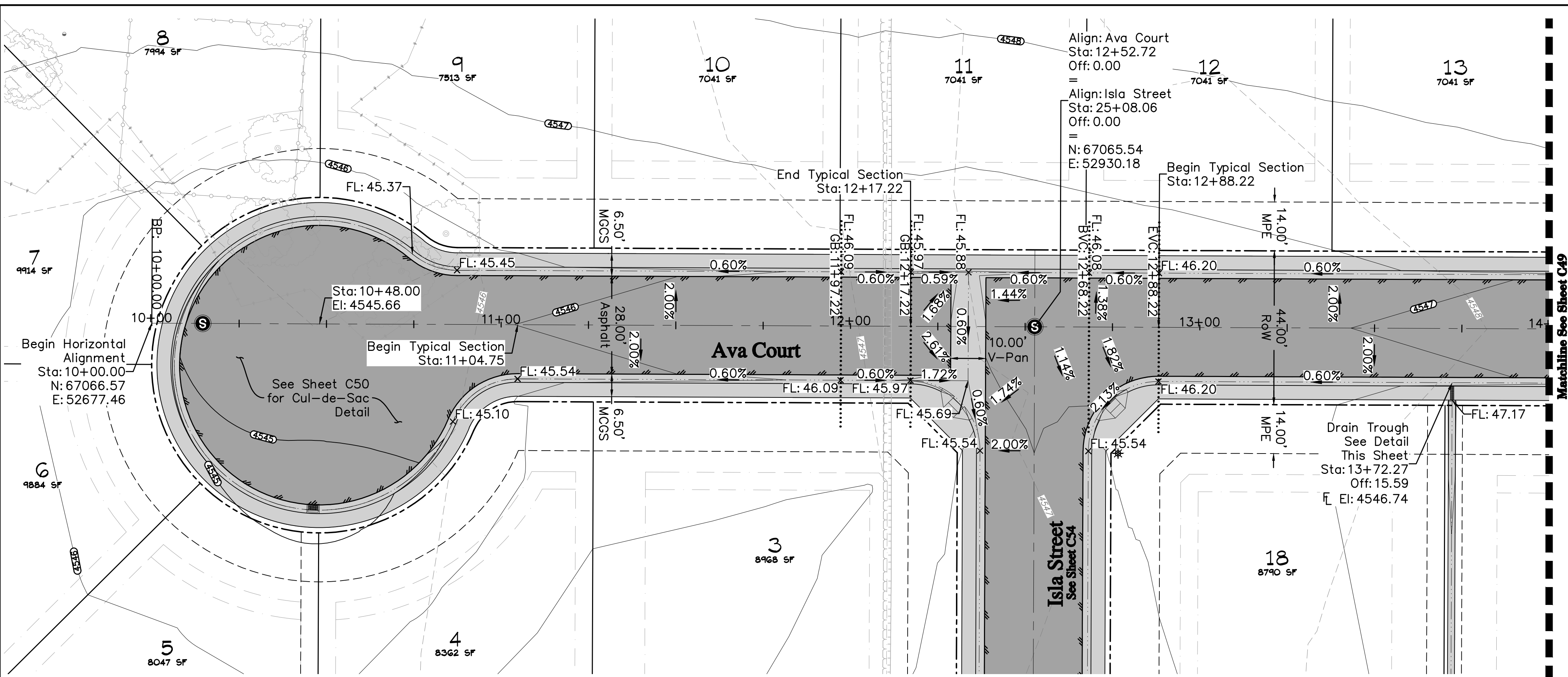
FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Irrigation Plan
 C47

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 800.922.1987
 www.uncc.org
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

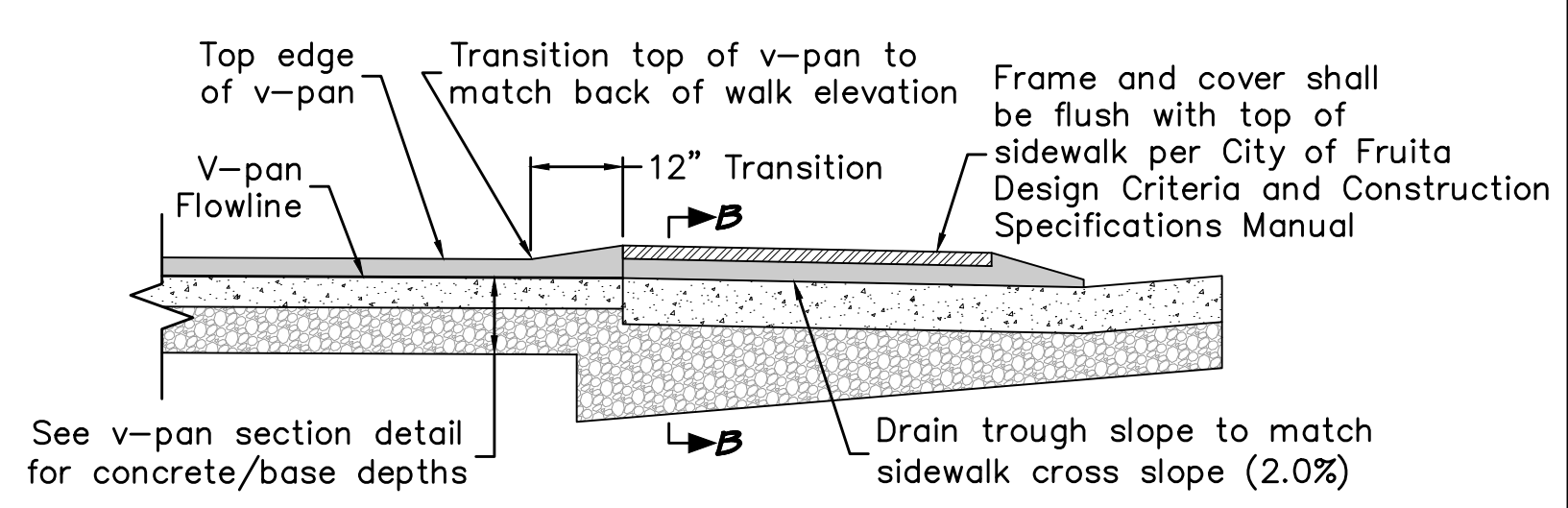
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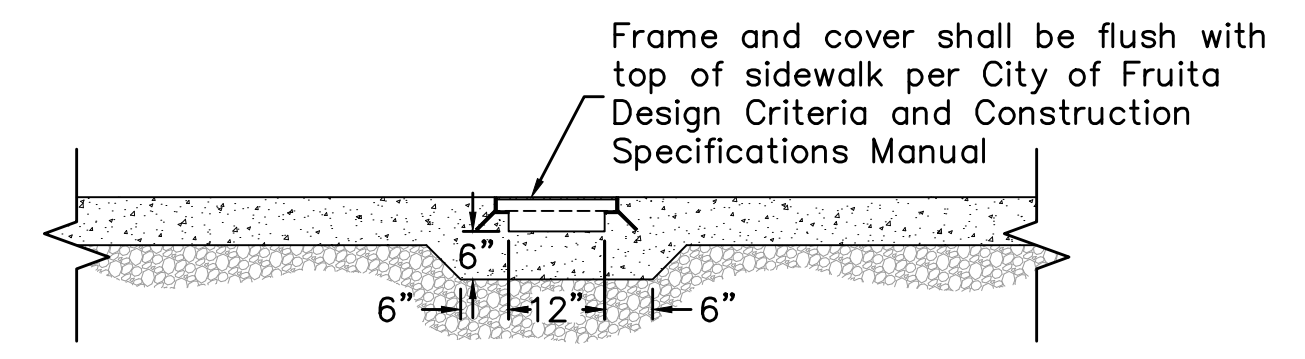
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Plan View



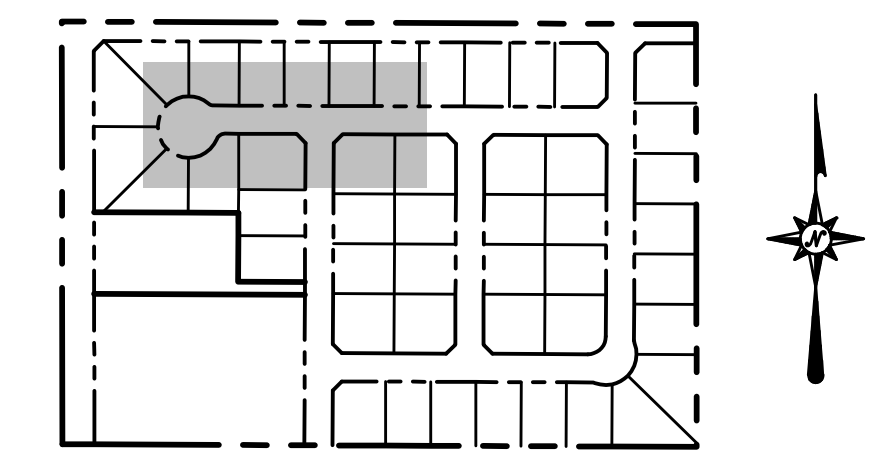
Section A-A



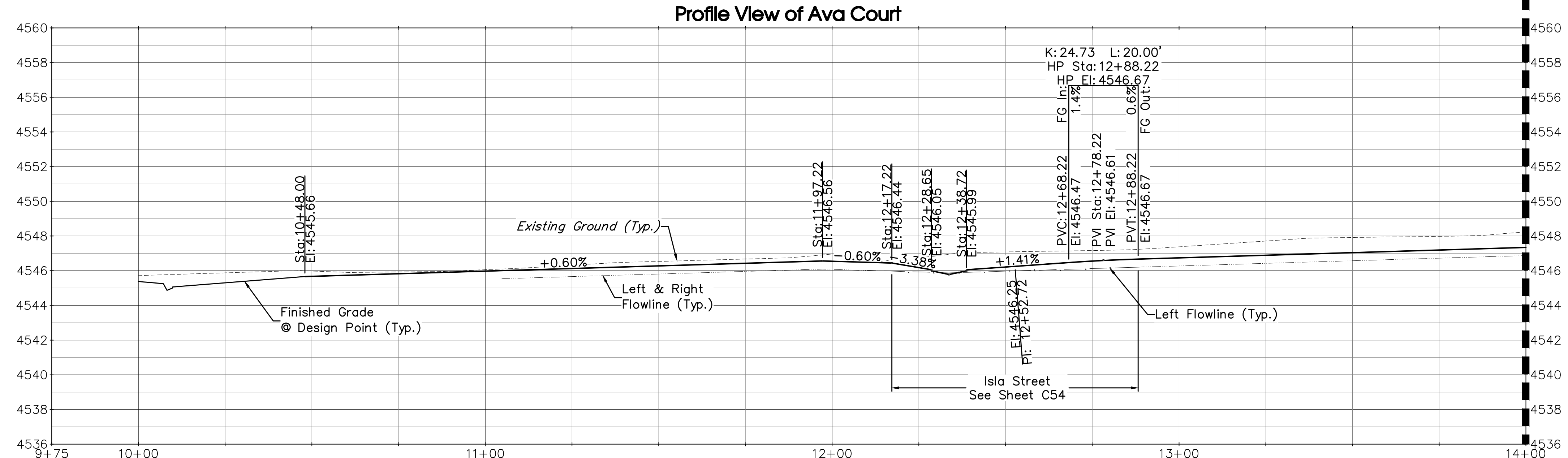
Section B-B

NOTES:

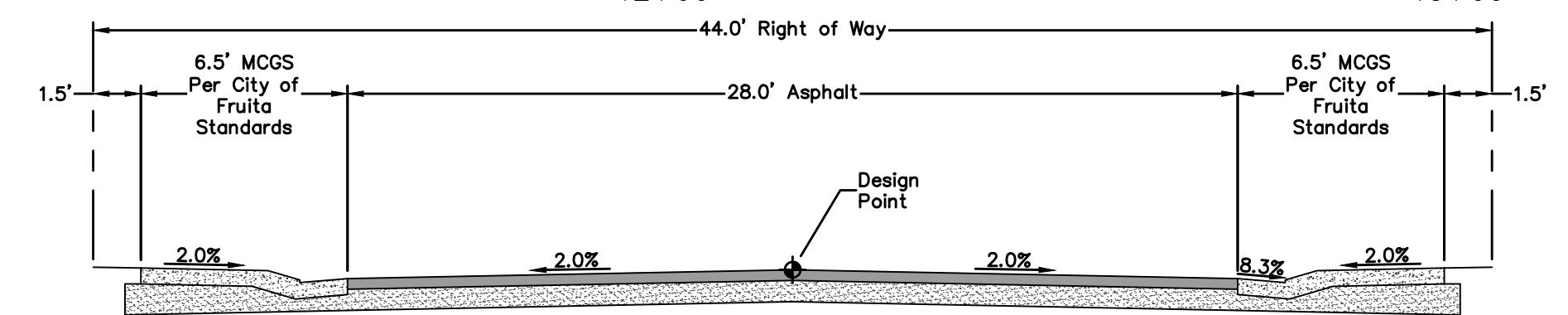
1. Adjoining parcel lines are taken from the Mesa County GIS website and are shown for reference only.
2. Adjust all manhole rims and valve covers to finished grade.
3. Typical Pavement Sections are provided on Sheet C2.
4. Elevation labels represent flowline unless noted otherwise.
5. All curb, gutter, and sidewalk shall conform to city of Fruita Standards as detailed in the City's Design Criteria and Construction Specifications Manual, latest addition.



Vicinity Map



Profile View of Ava Court



Typical Road Section (N78)

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HORIZONTAL
VERTICAL: 1" = 4'
CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary		DATE ISSUED: 08.MAR.2023	
NO.	DATE	REVISION	BY

P R E L I M I N A R Y

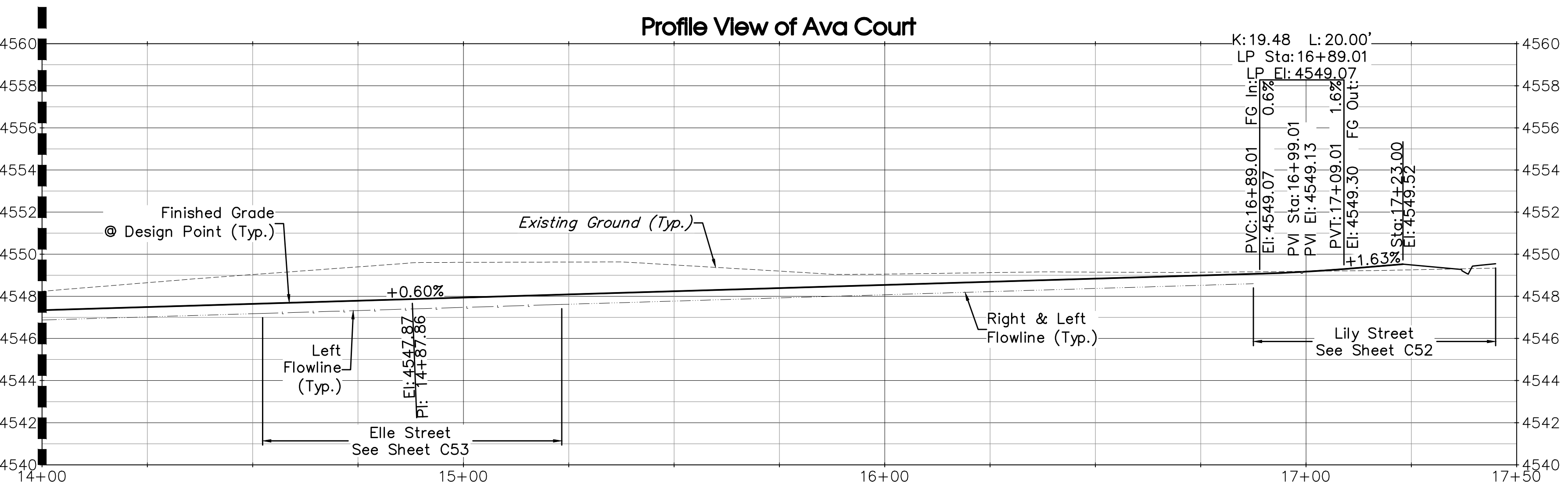
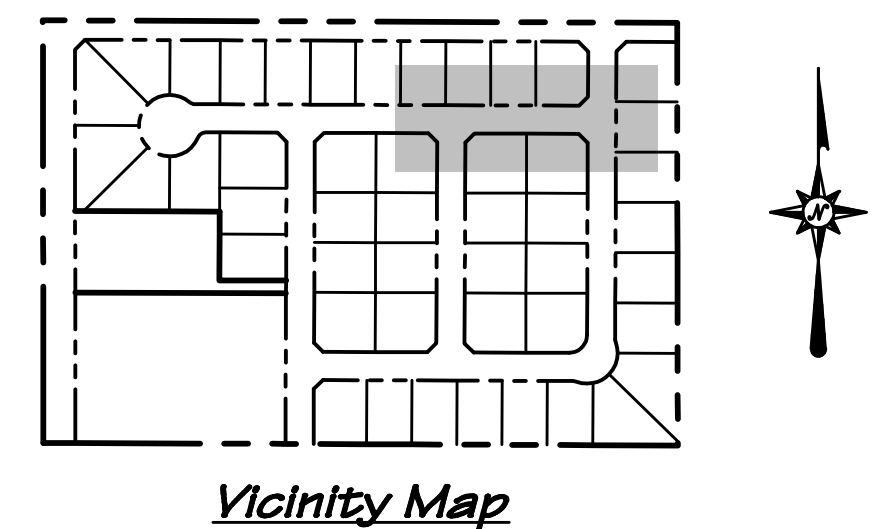
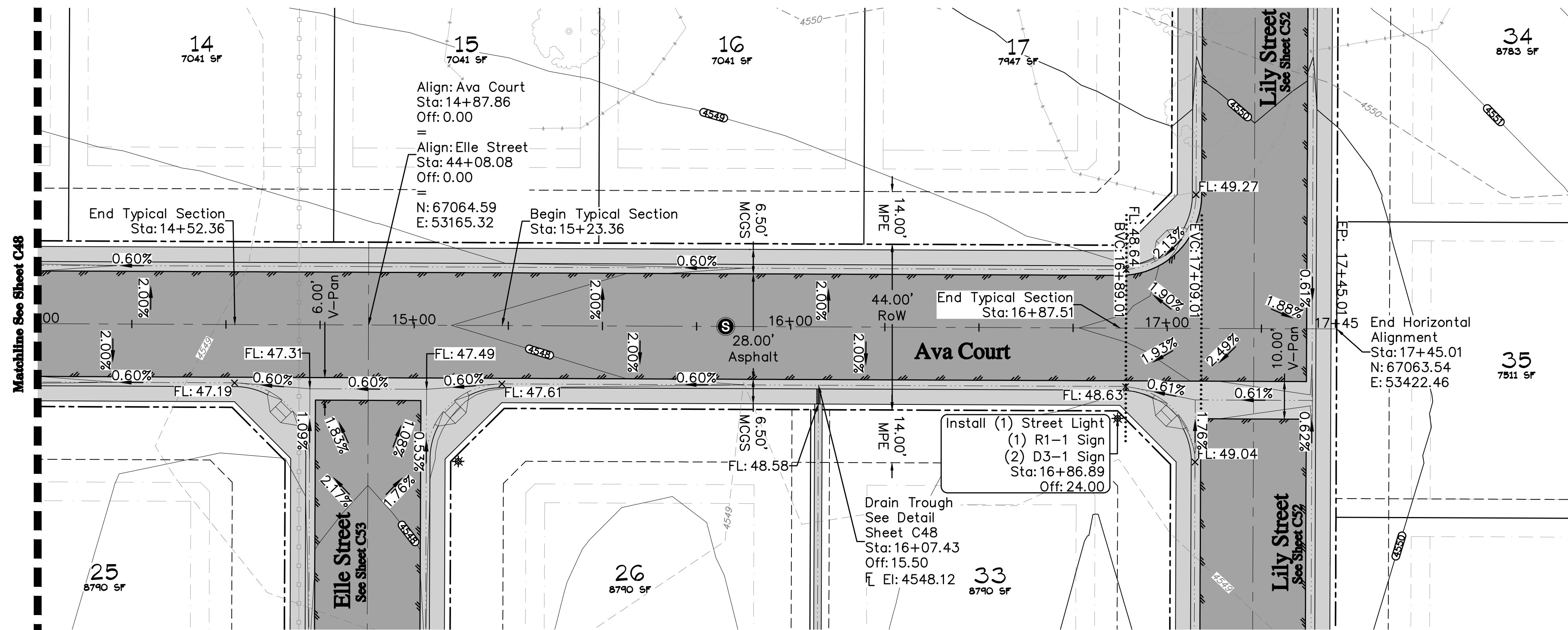
RIVER CITY CONSULTANTS
215 Pitkin Avenue, Unit 201
Grand Junction, CO 81501
www.rcwest.com
Phone: 970.241.4722
Fax: 970.241.8844

DRAWN BY: lcf PROJECT: 2060-001
CHECKED BY: jwm
ORIGINAL SHEET SIZE: 22 x 34

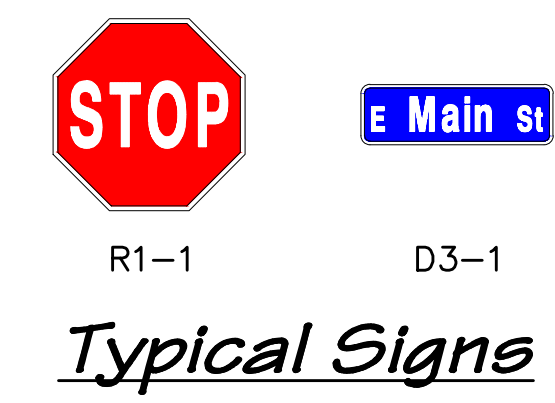
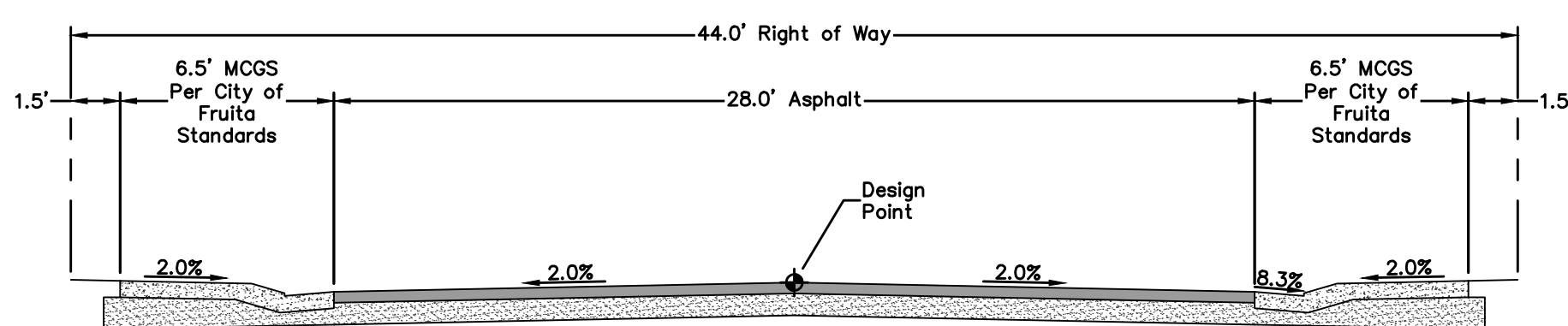
FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
Road Plan & Profile
Ava Court (Sta. 10+00-14+00) [1 of 2]

City Development Engineer _____ Date _____

C48



- NOTES:**
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SCALE (FEET)
 HORIZONTAL: 1" = 40'
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

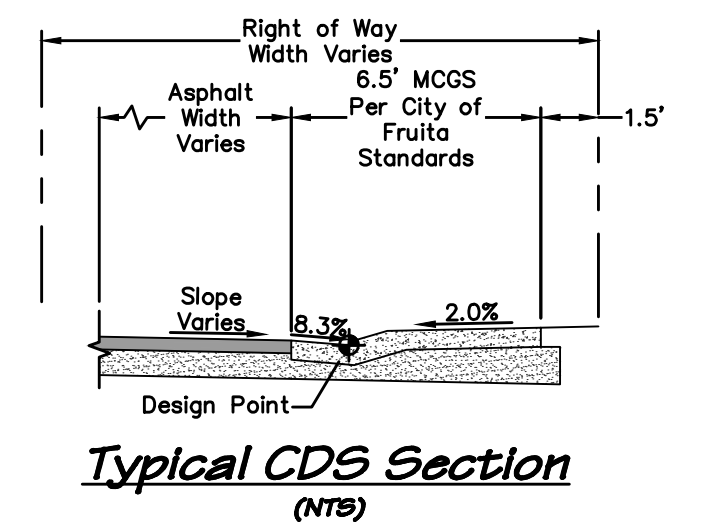
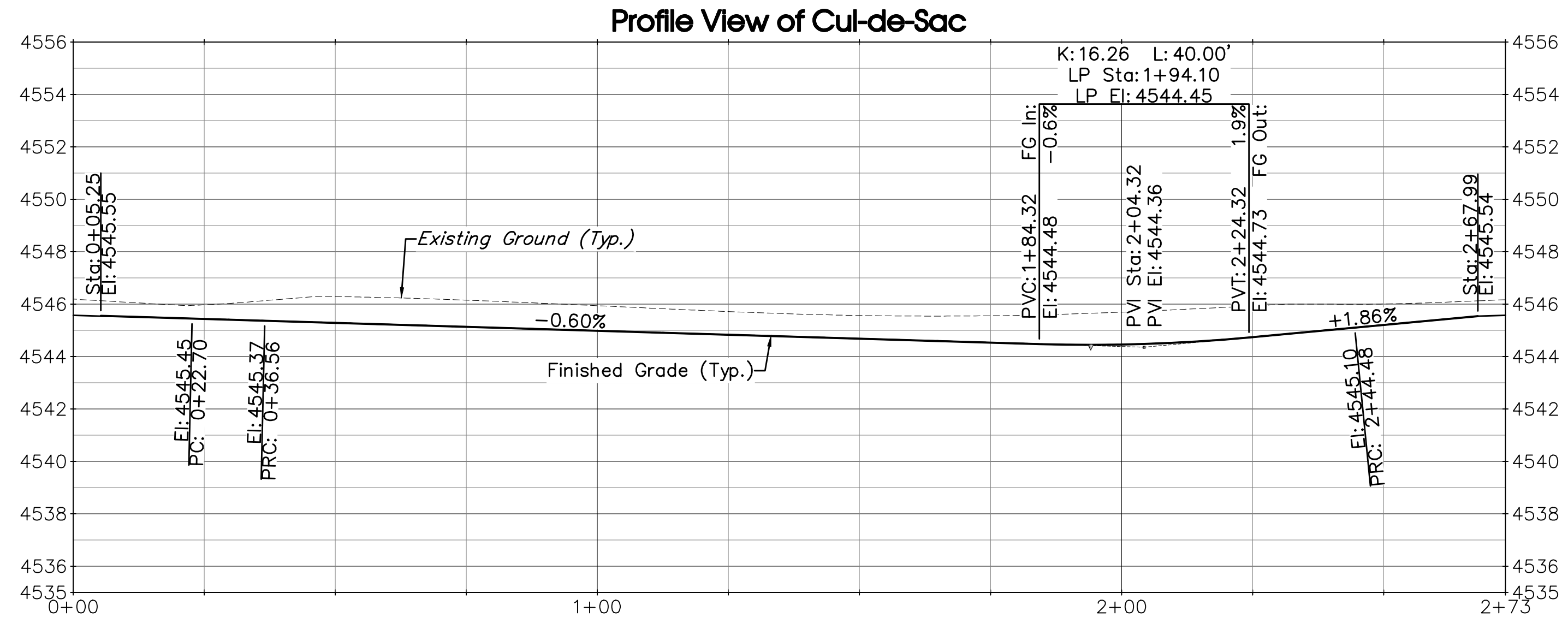
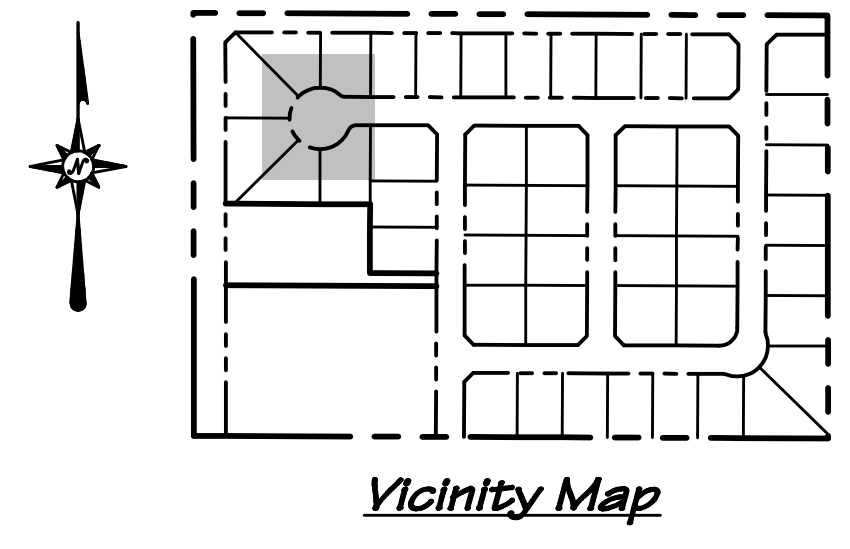
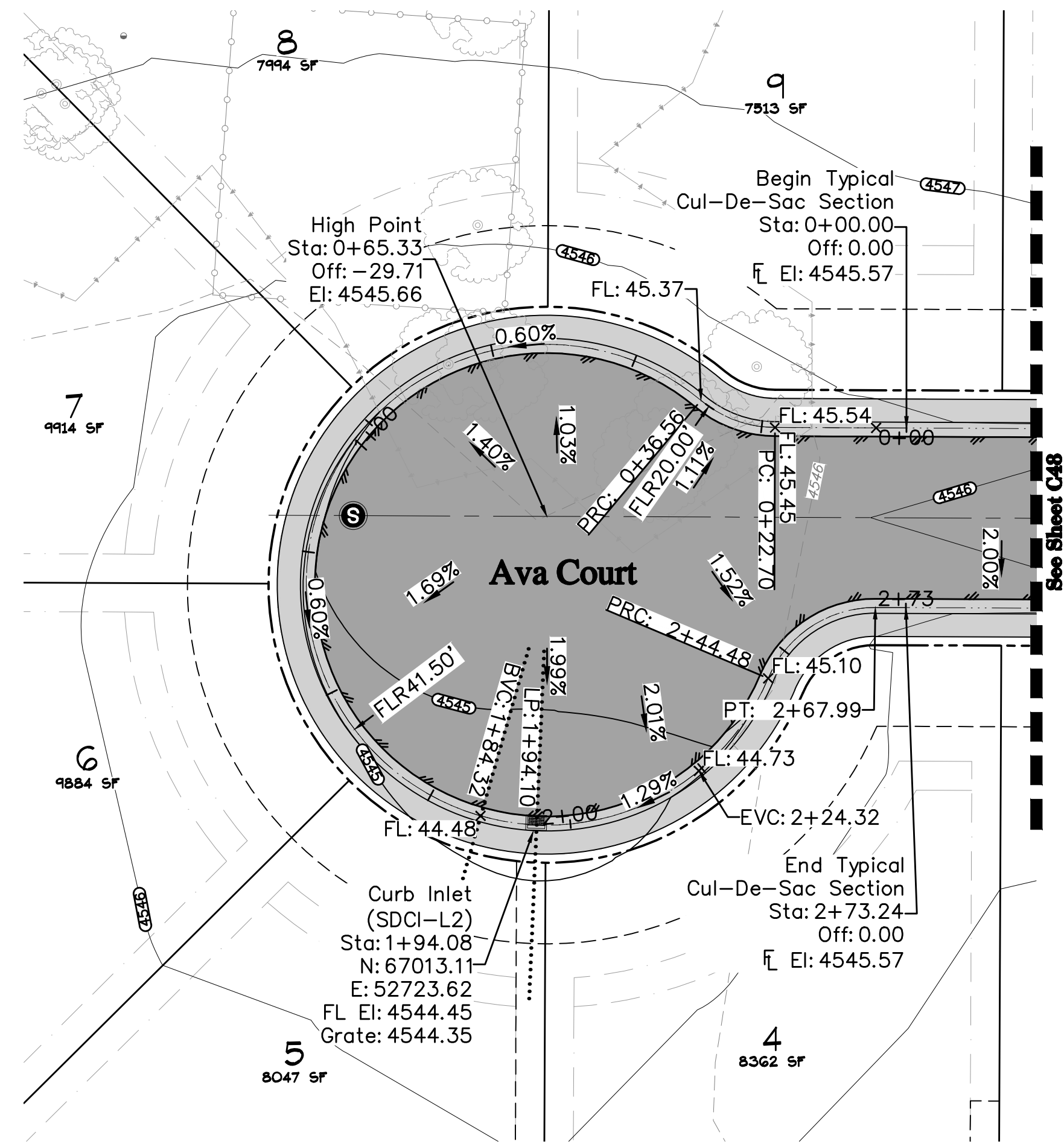
NO.	DATE	REVISION	BY

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 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Road Plan & Profile
 Ava Court (Sta. 14+00-17+45) [2 of 2] C49



- NOTES:**
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Project Benchmark
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 Marked "DH SURVEYS INC"
 South of J 1/2 Road
 NORTHING: 67185.23
 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)

SCALE
 (FEET)
 0 20 40
 HORIZONTAL
 VERTICAL: 1" = 4'
 CONTOUR INTERVAL: 1 FT

PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

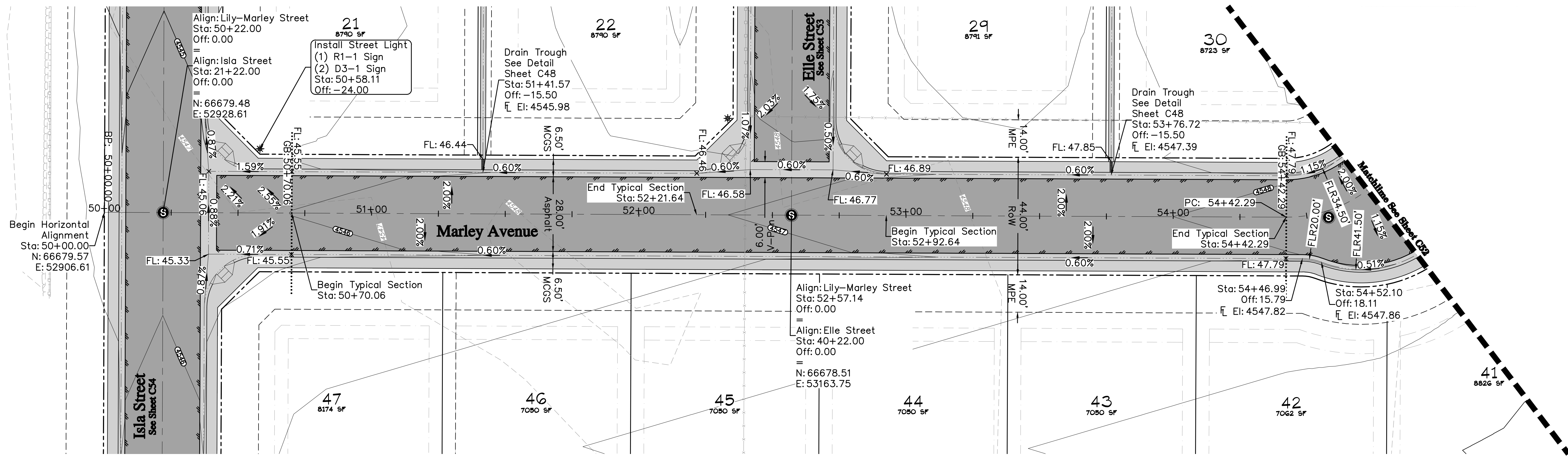
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 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
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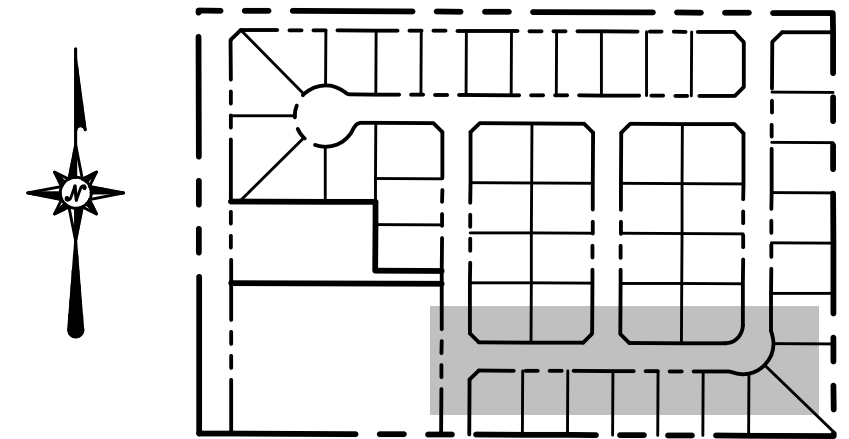
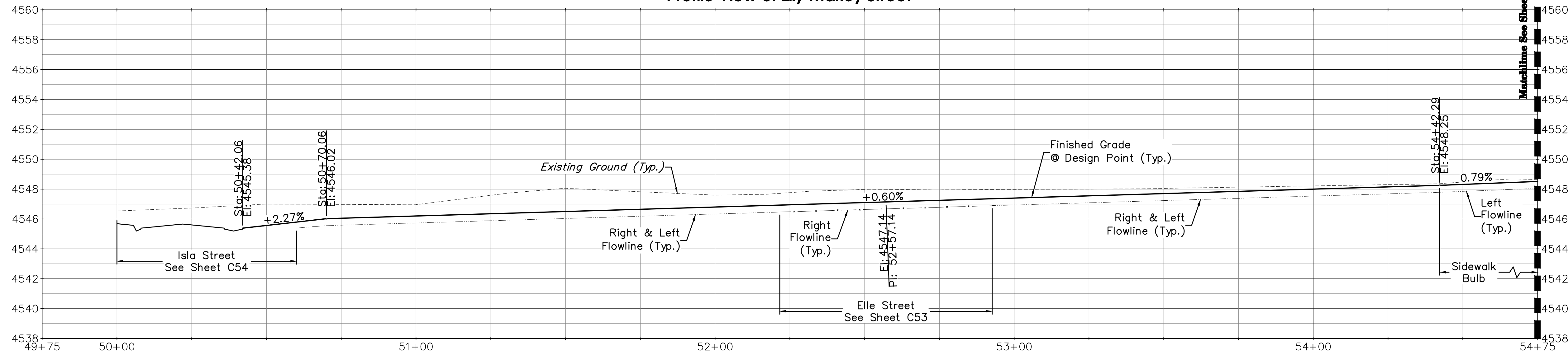
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FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Road Plan & Profile
 Ava Court Cul-de-Sac Flowline

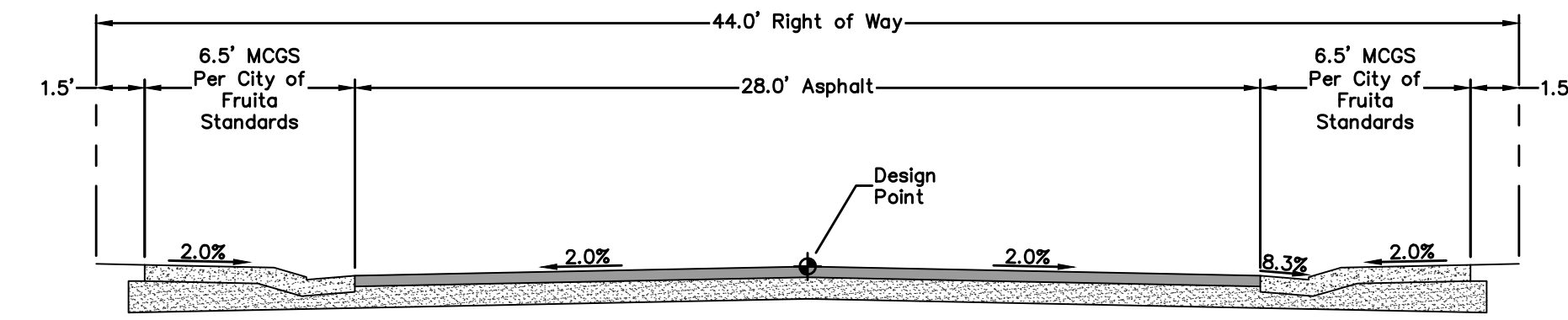
C50



Profile View of Lily-Marley Street



Vicinity Map



Typical Road Section (NTS)

NOTES:

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R1-1



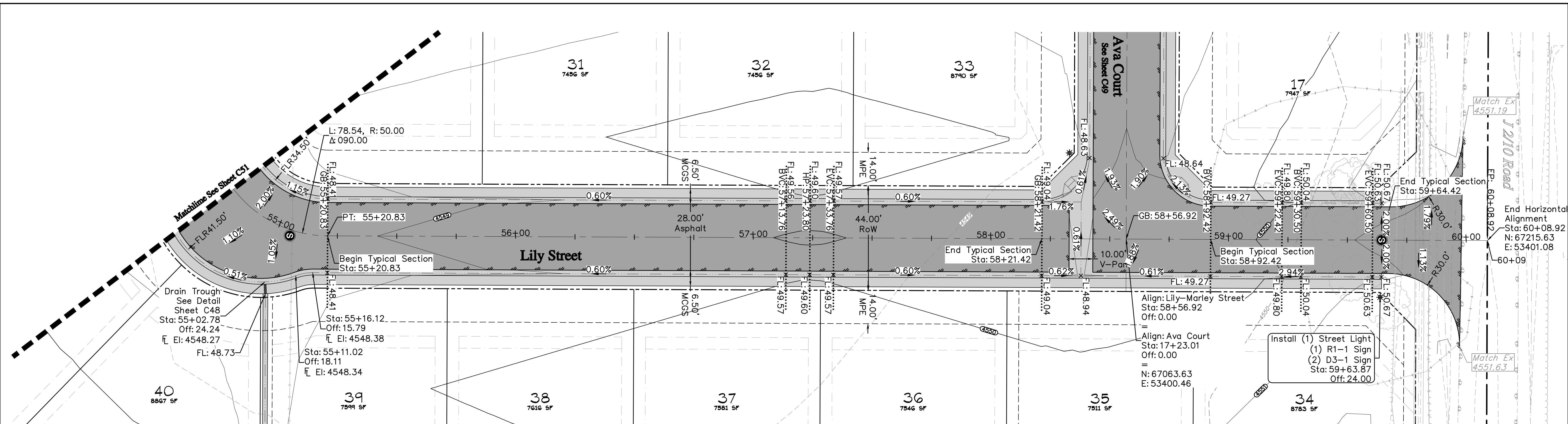
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Typical Signs

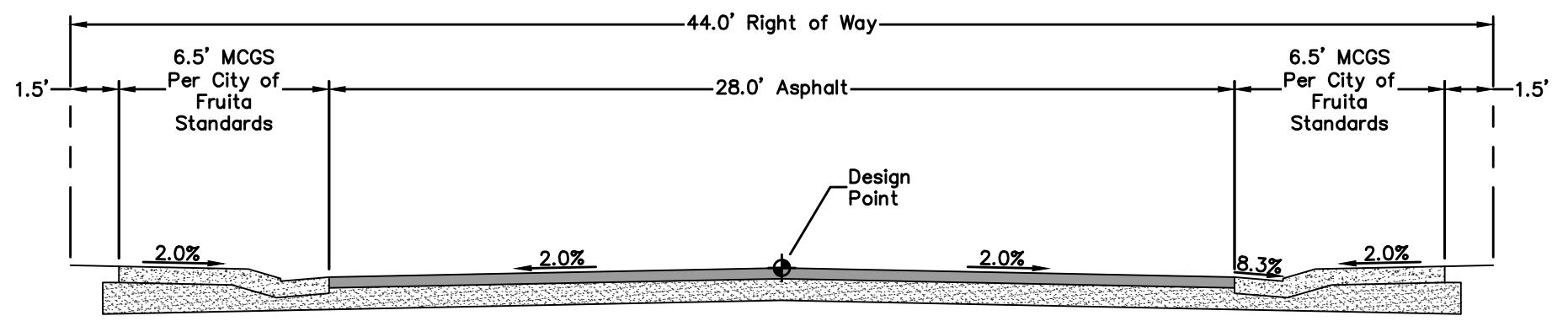
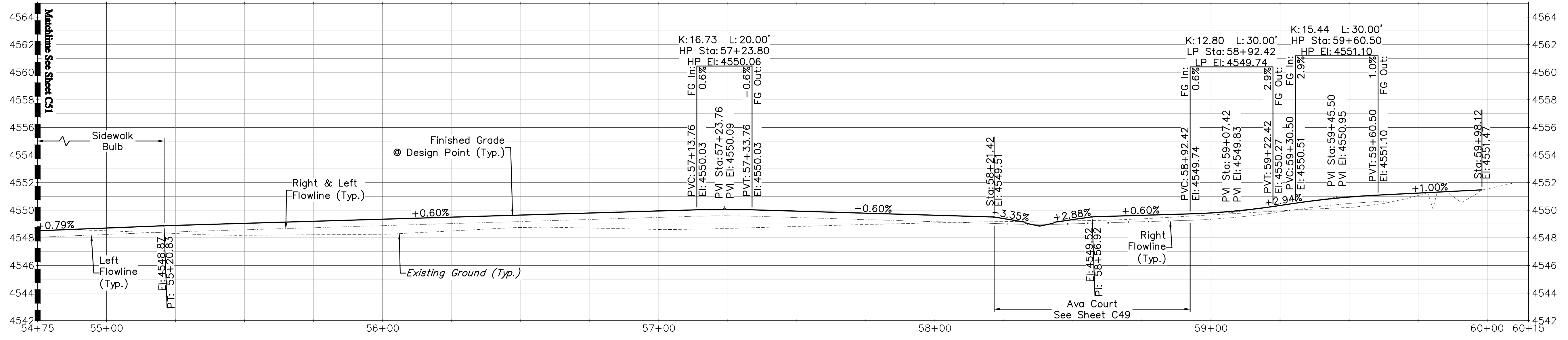
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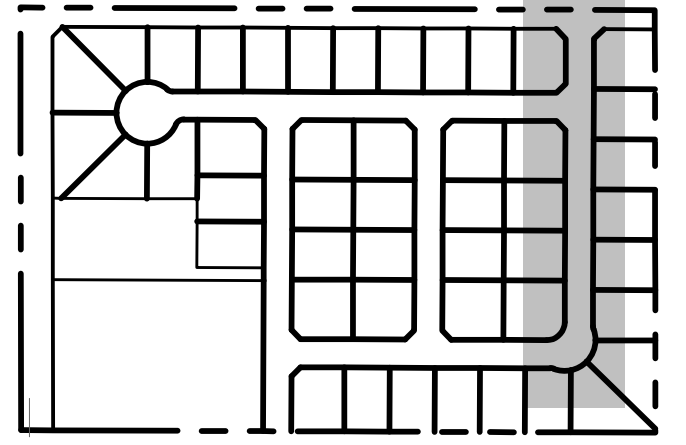
<p>811 Know what's below. Call before you dig. www.uncc.org CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.</p>	<p>Project Benchmark Found 2" Aluminum Cap/NE Corner Marked "DH SURVEYS INC" South of J 1/2 Road NORTHING: 67185.23 EASTING: 53517.93 ELEVATION: 4551.66 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)</p>	<p>SCALE (FEET) 0 20 40 HORIZONTAL VERTICAL: 1" = 4' CONTOUR INTERVAL: 1 FT</p>	PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023		<p>RIVER CITY CONSULTANTS 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841</p>	<p>FUTURADO DEVELOPMENT LLC Adeles Acres Subdivision Road Plan & Profile Marley Avenue</p>												
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Profile View of Lily-Marley Street

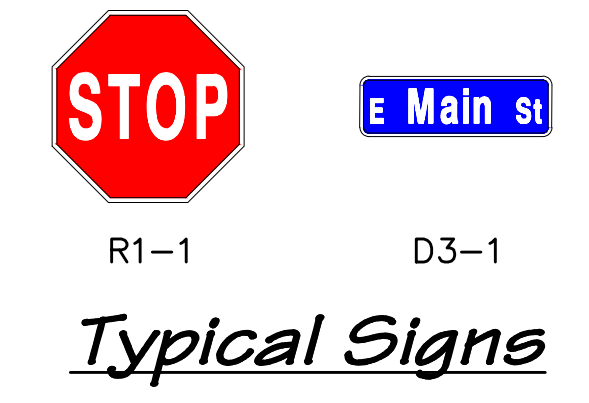


Typical Road Section (NRS)



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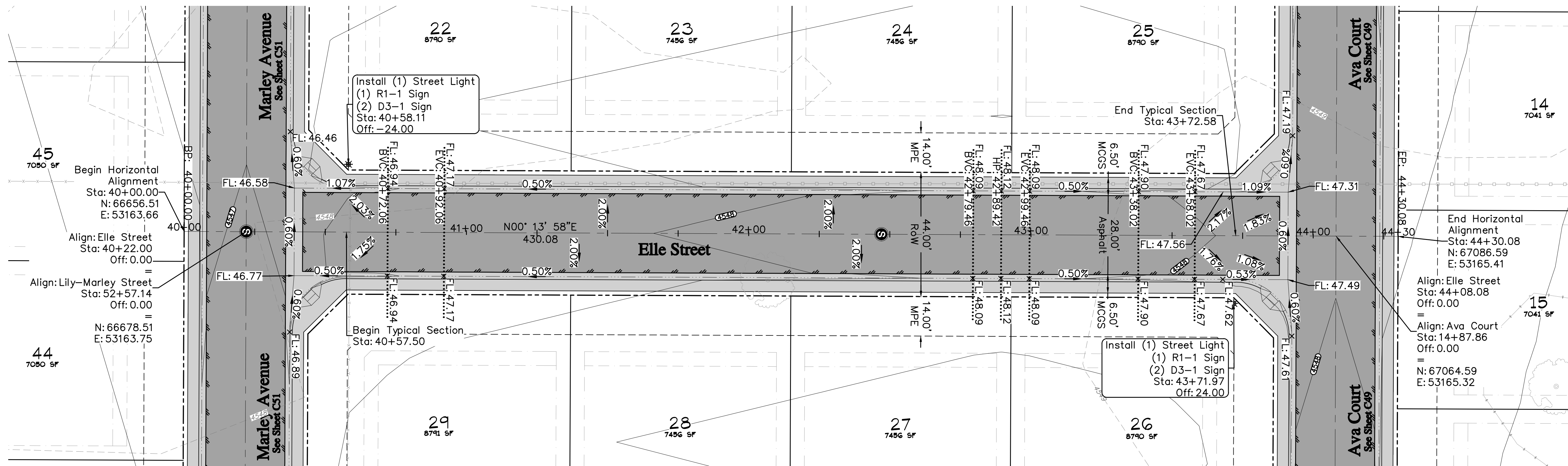
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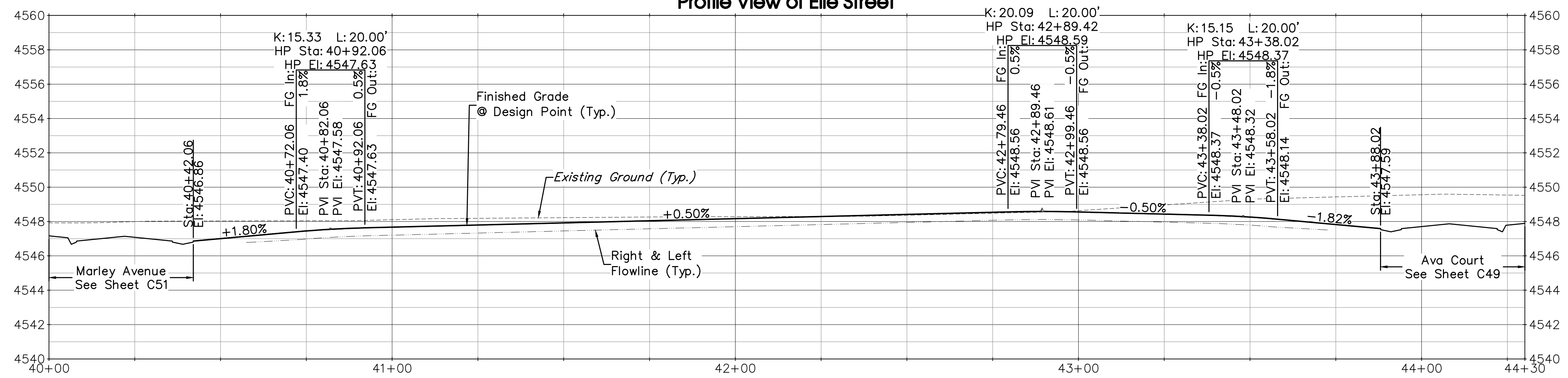
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 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Road Plan & Profile
 Lily Street

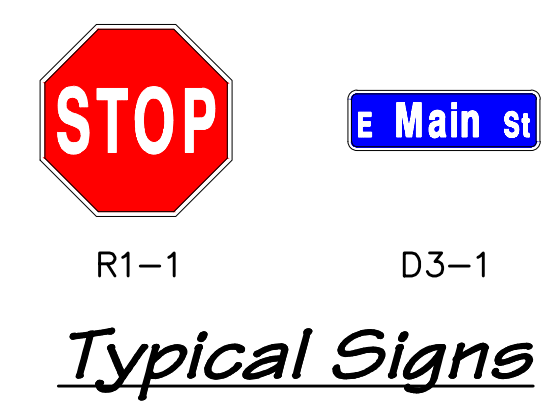
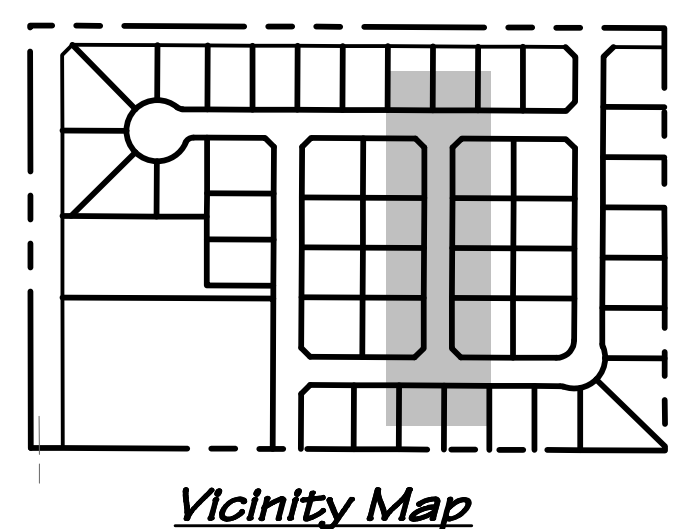
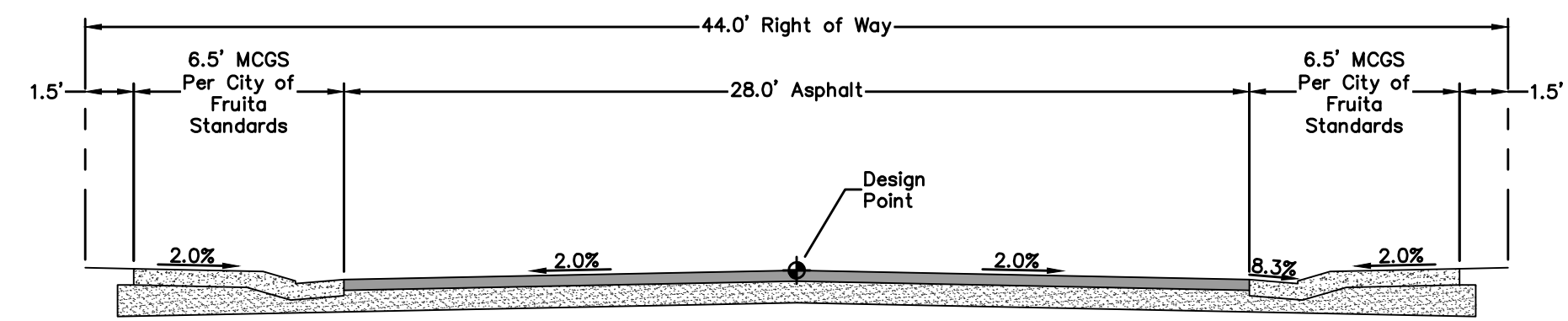
City Development Engineer _____ Date _____



Profile View of Elle Street



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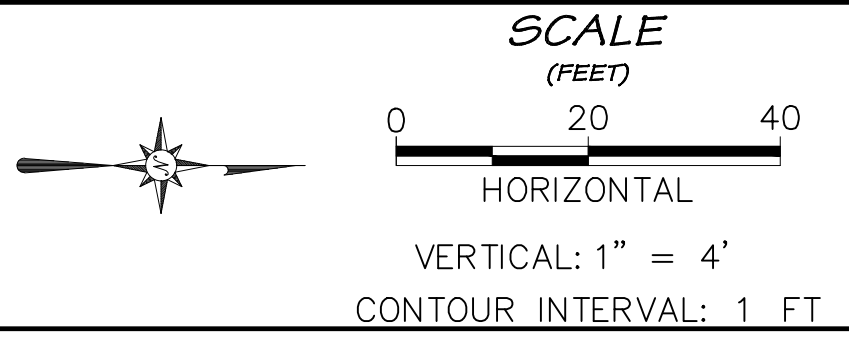


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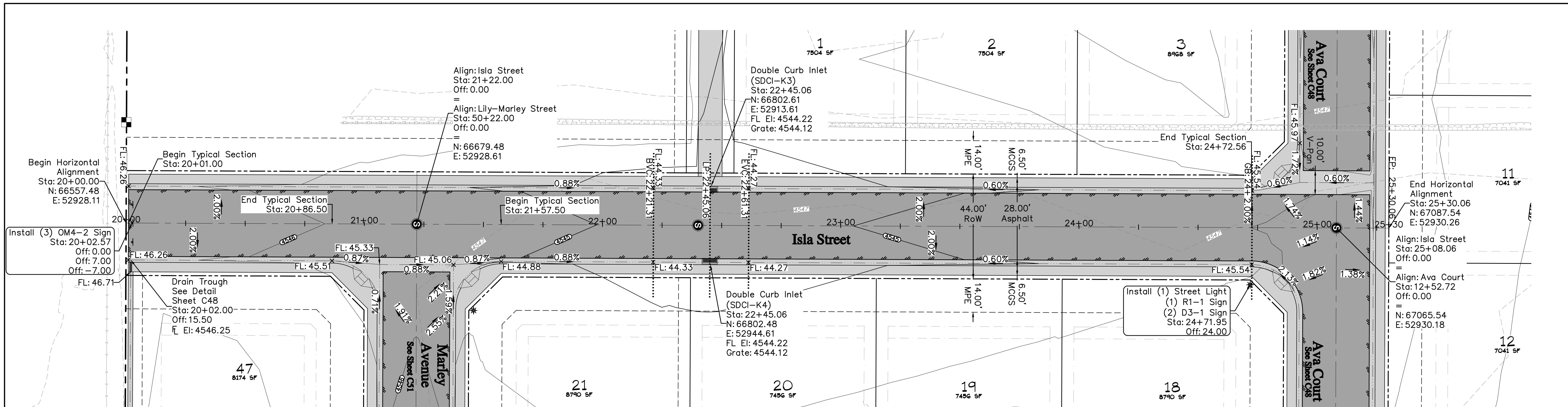
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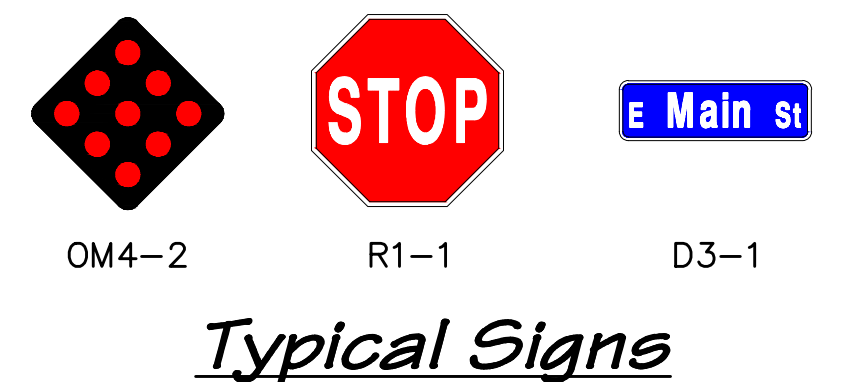
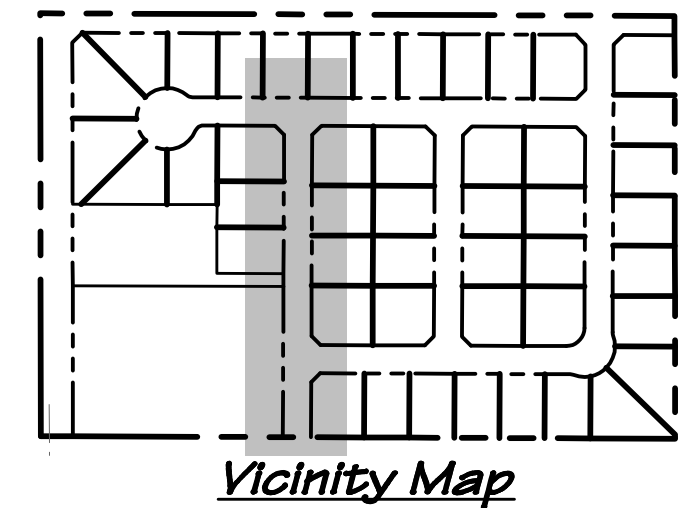
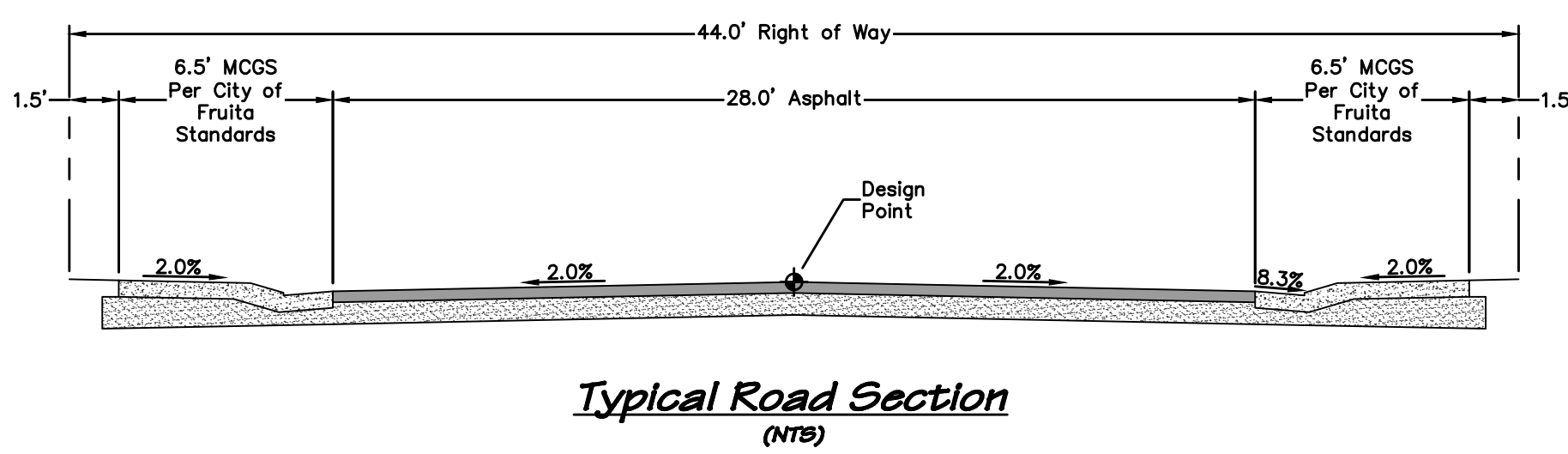
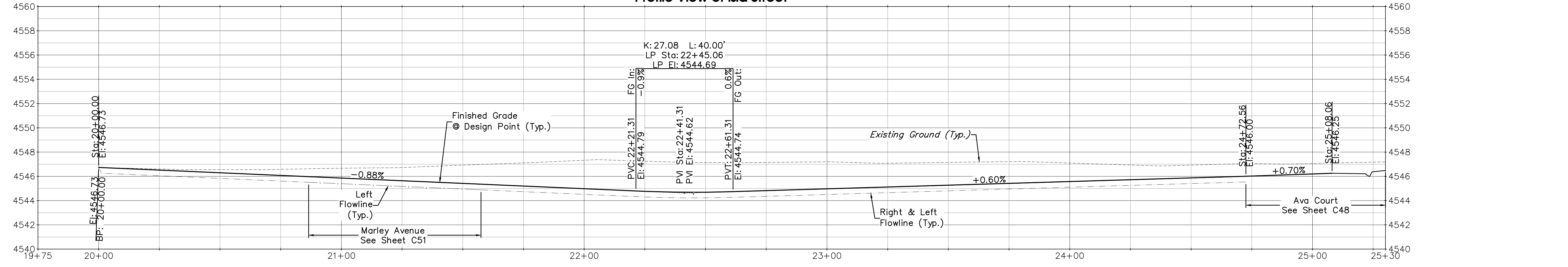
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 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Road Plan & Profile
 Elle Street
 C53



Profile View of Isla Street



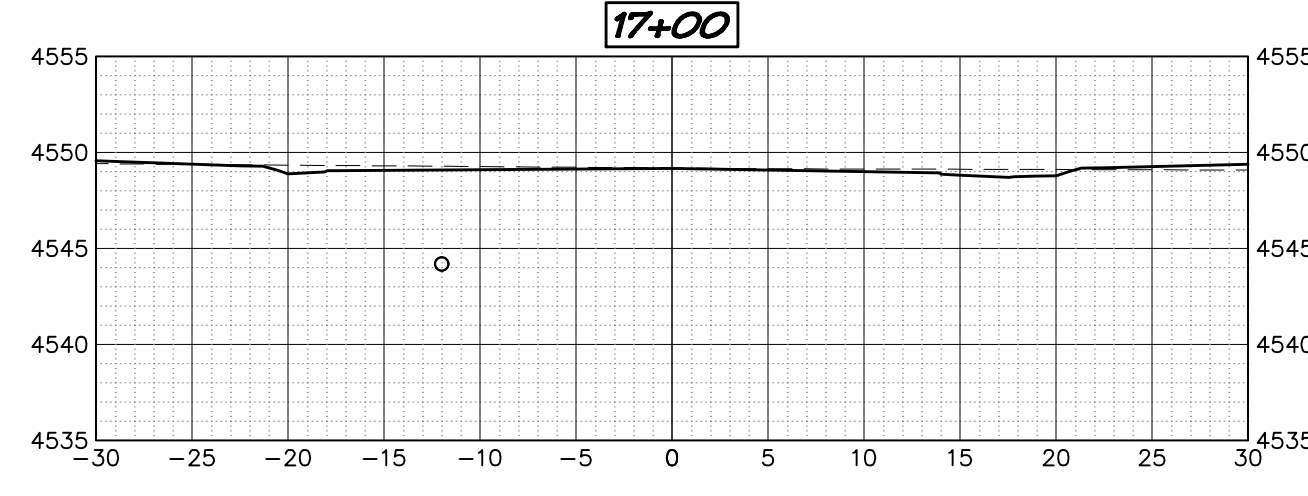
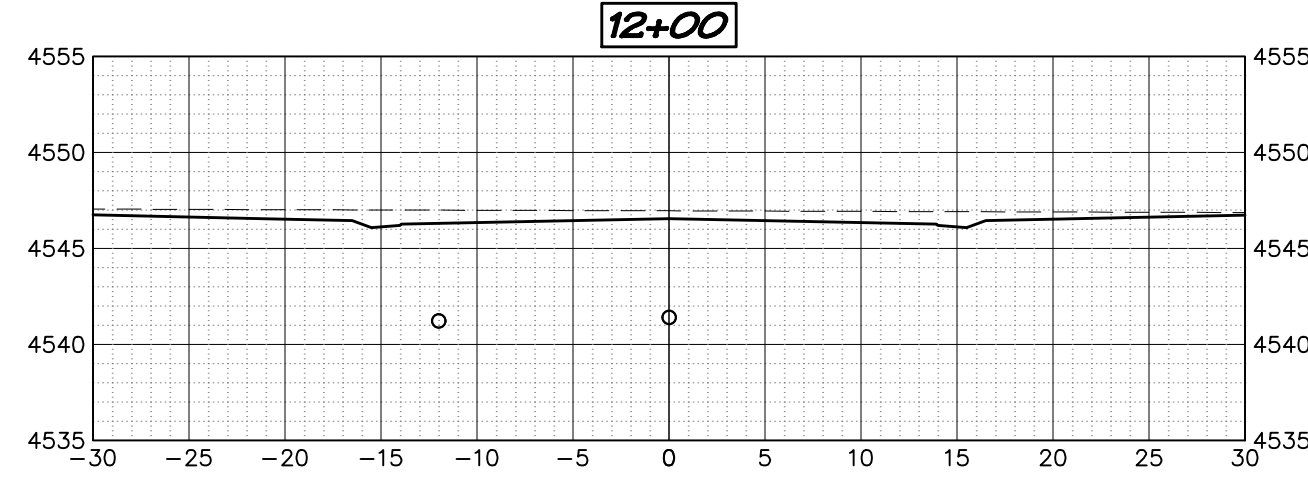
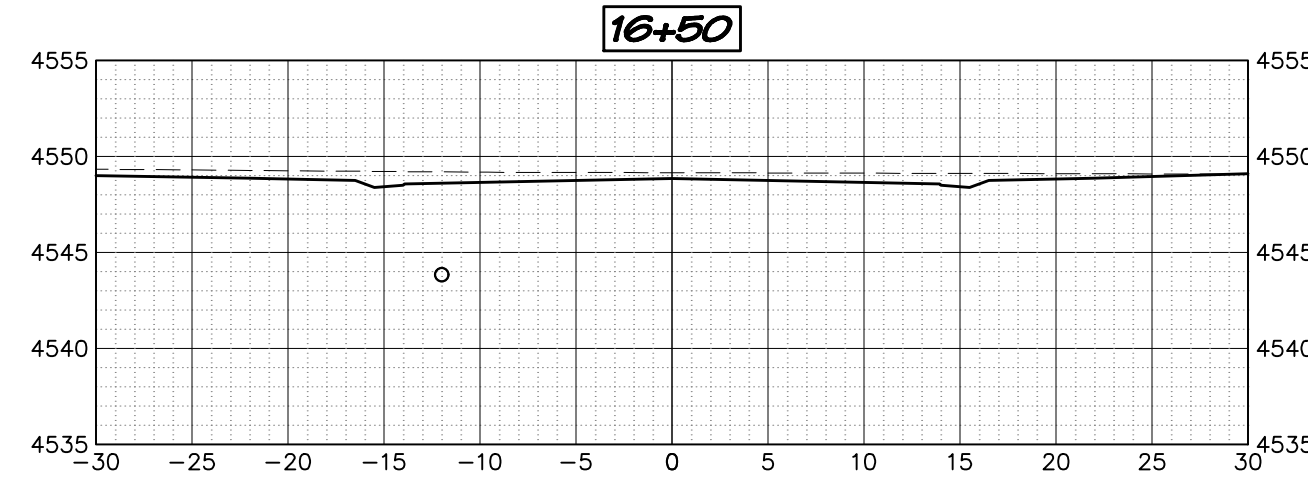
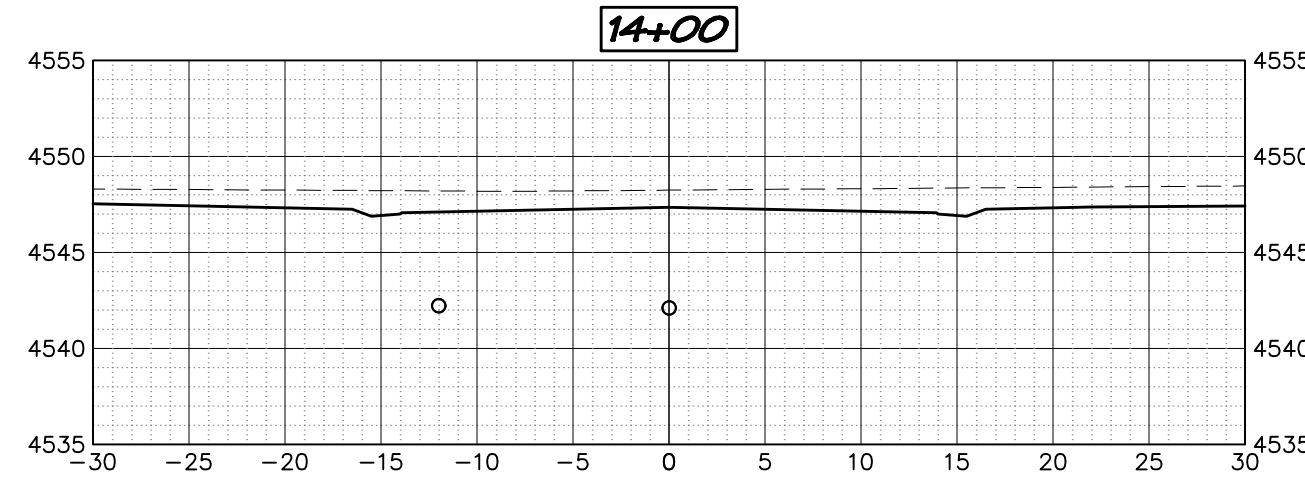
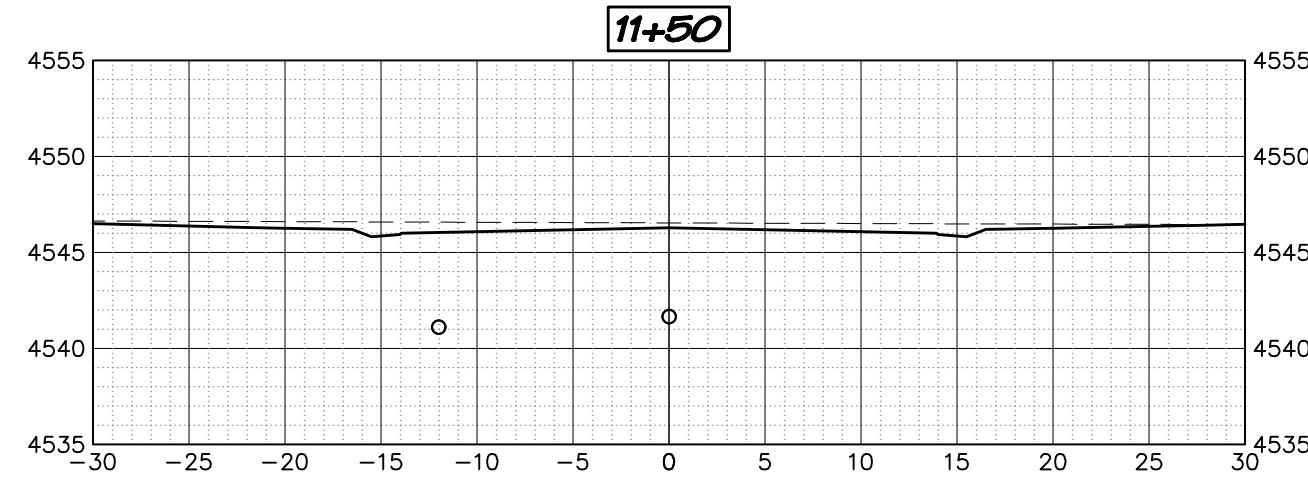
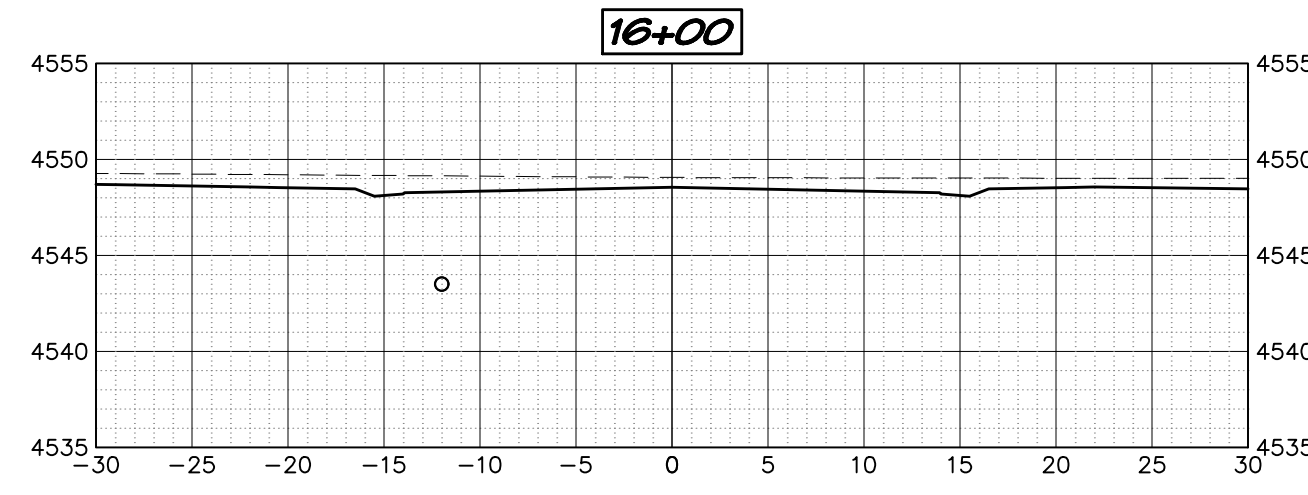
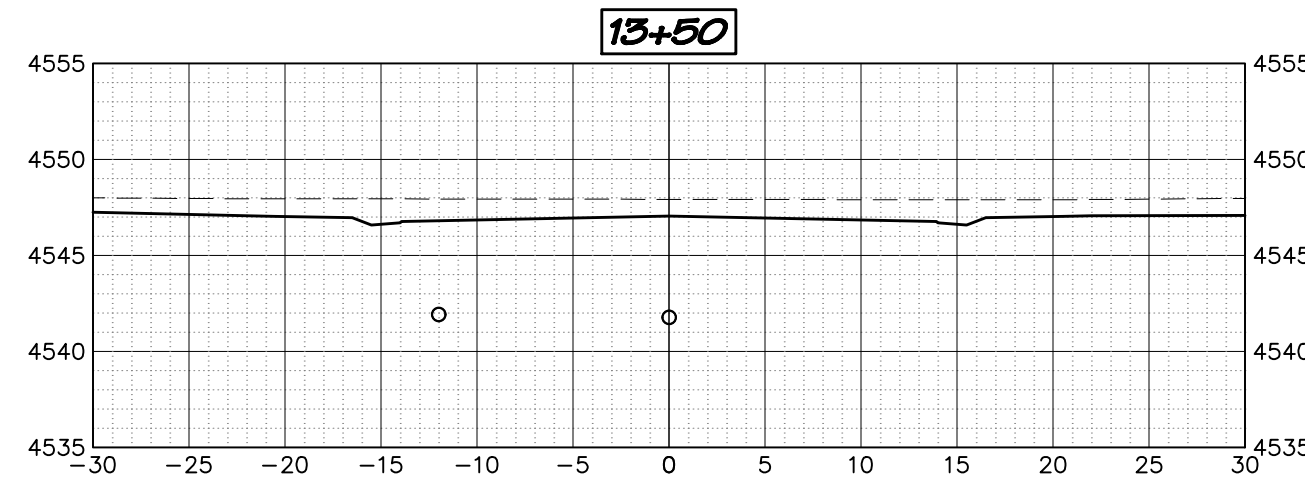
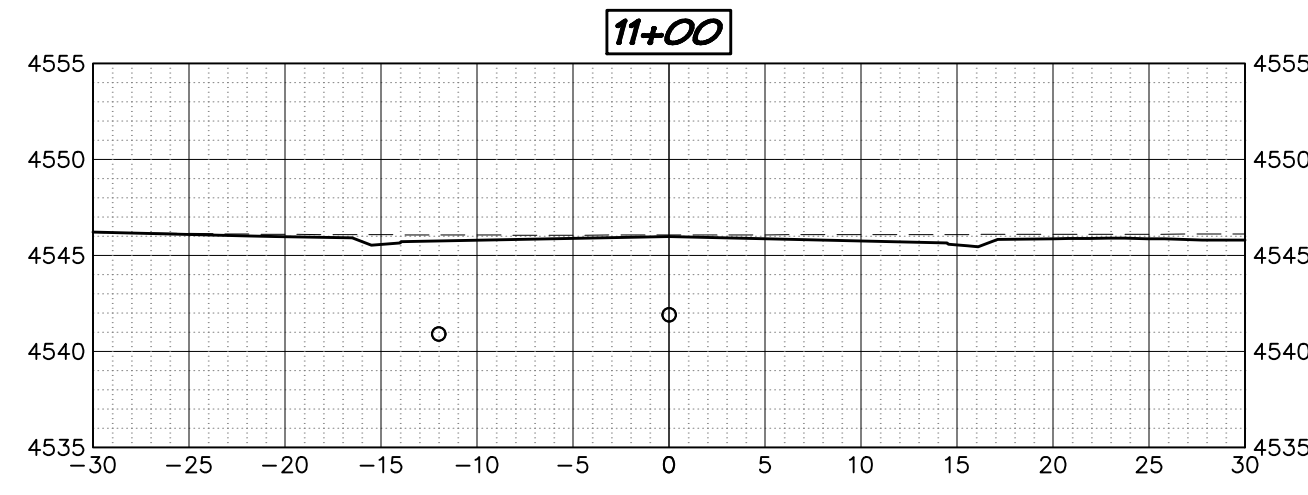
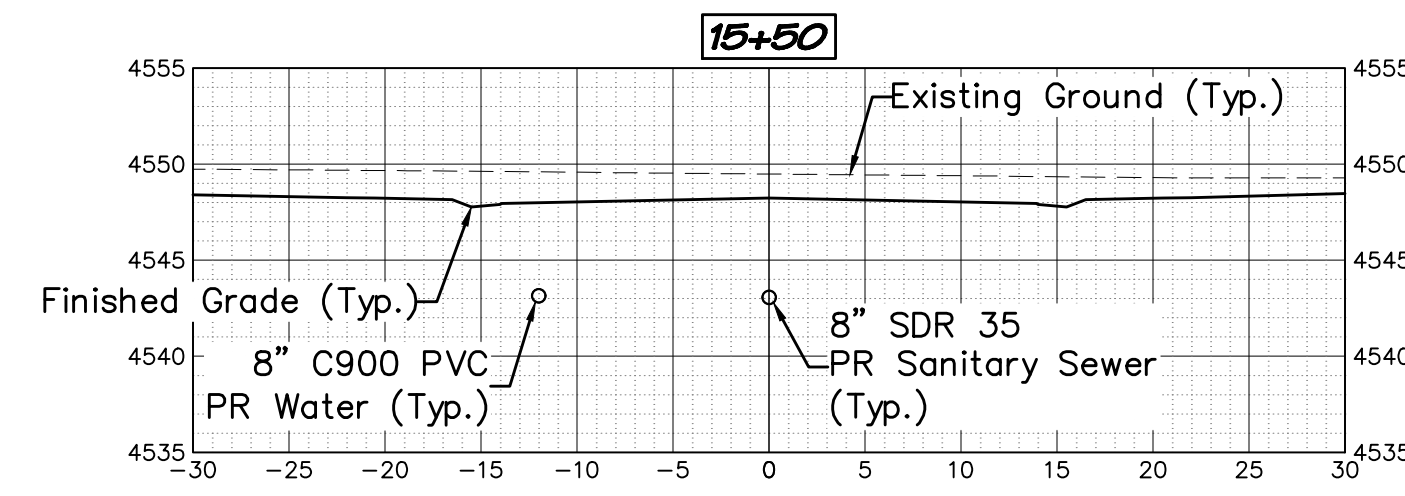
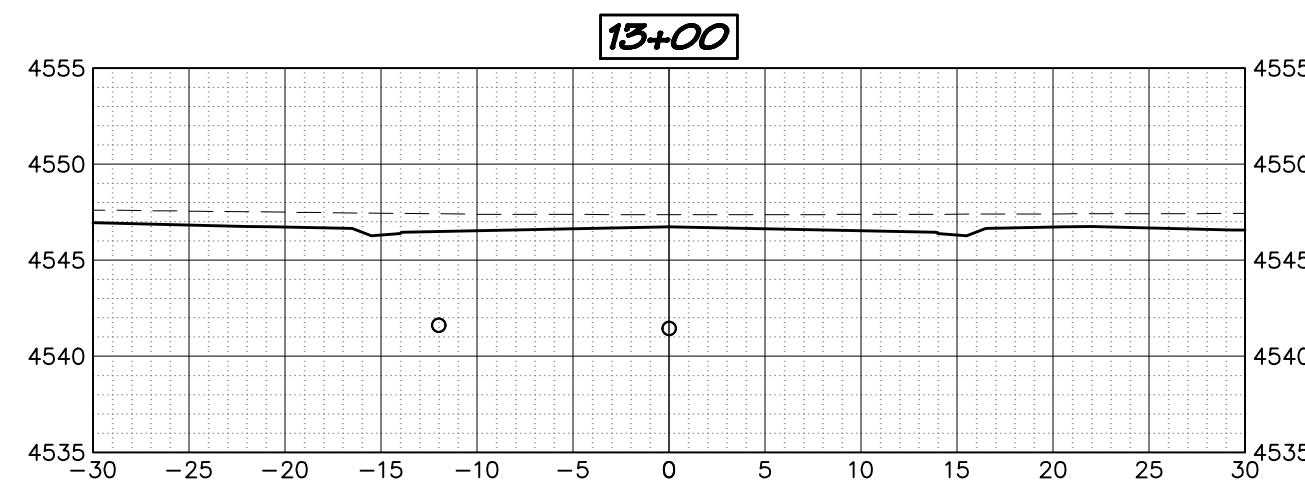
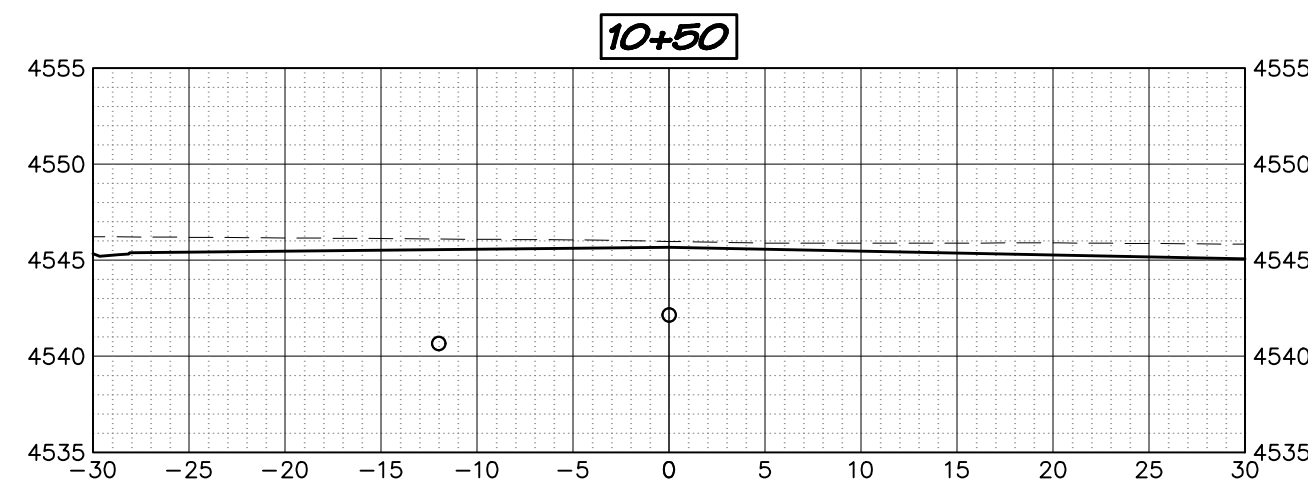
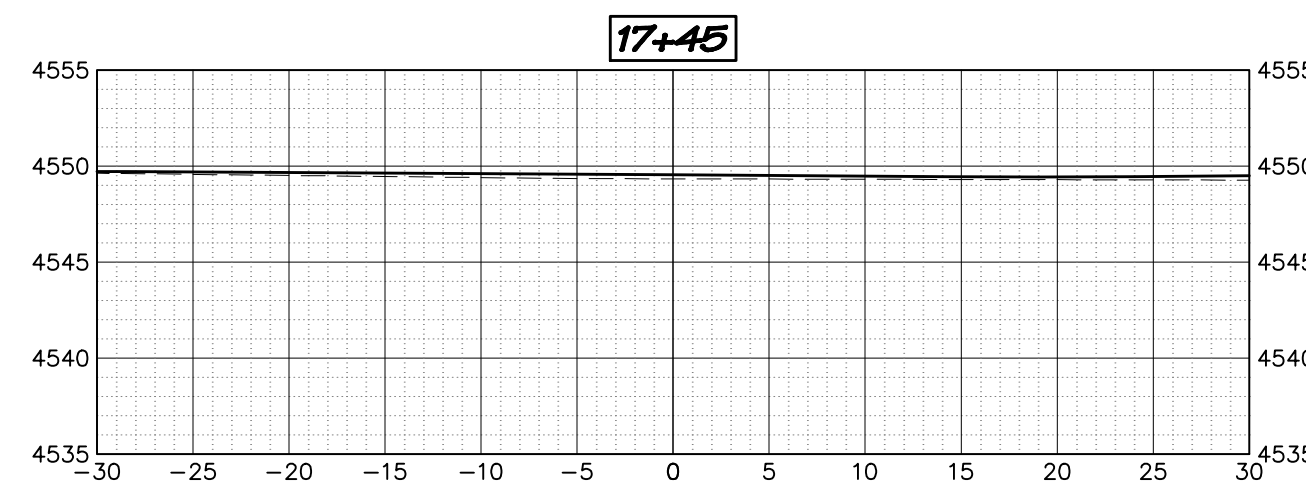
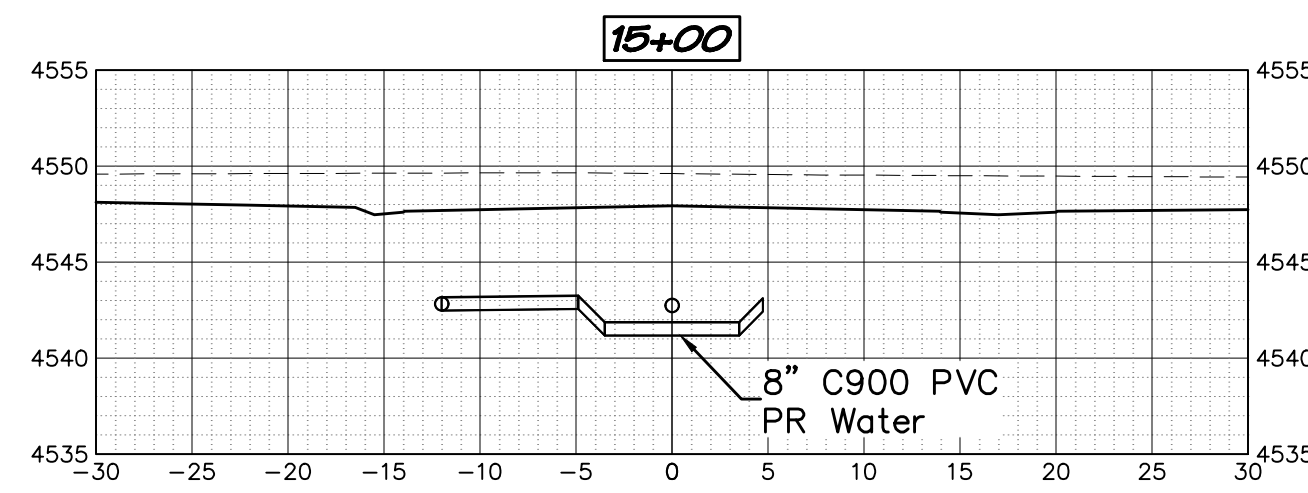
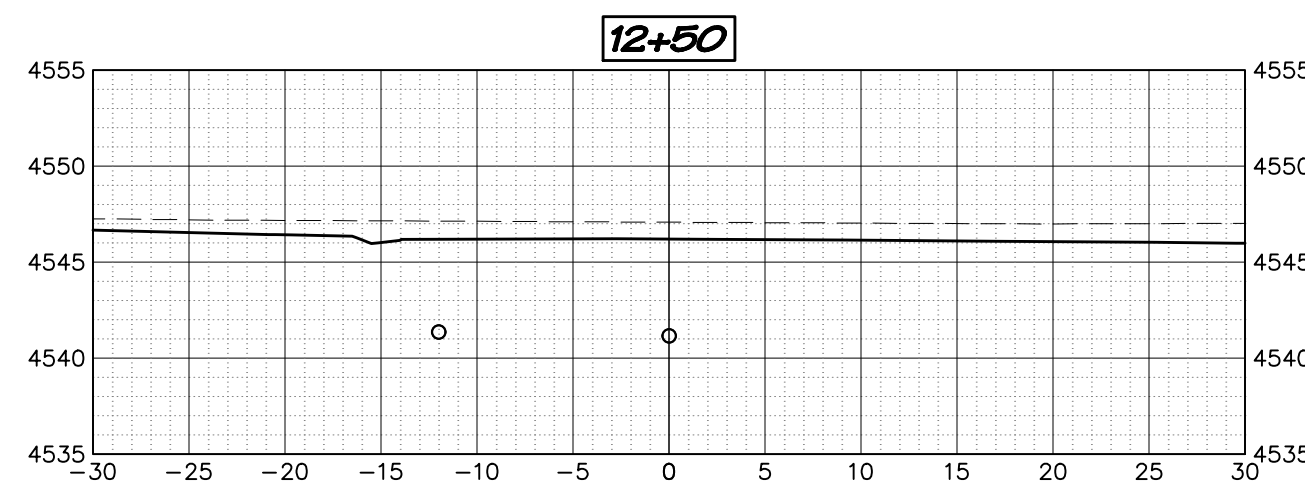
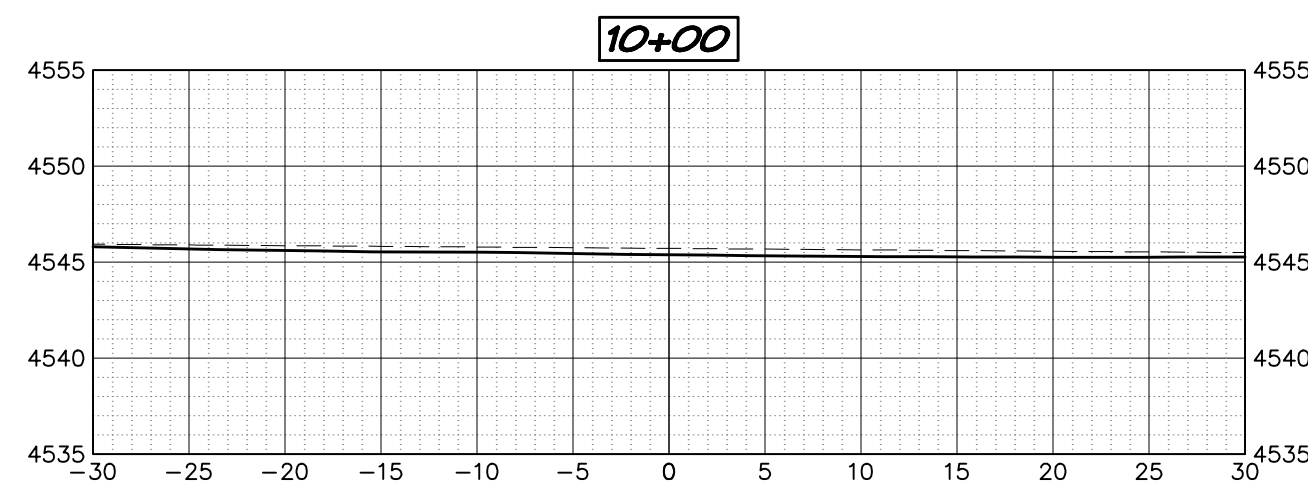
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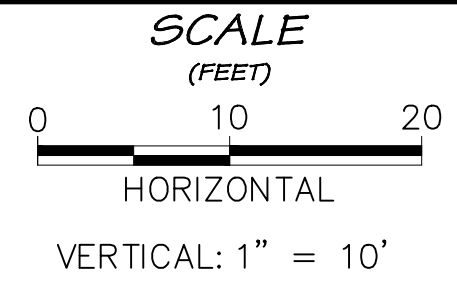


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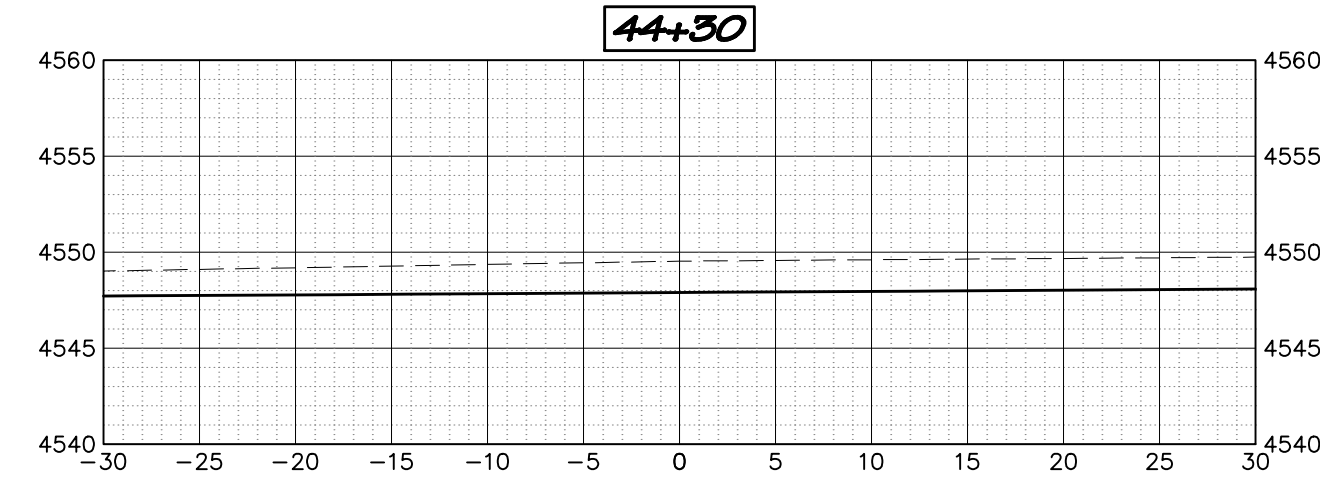
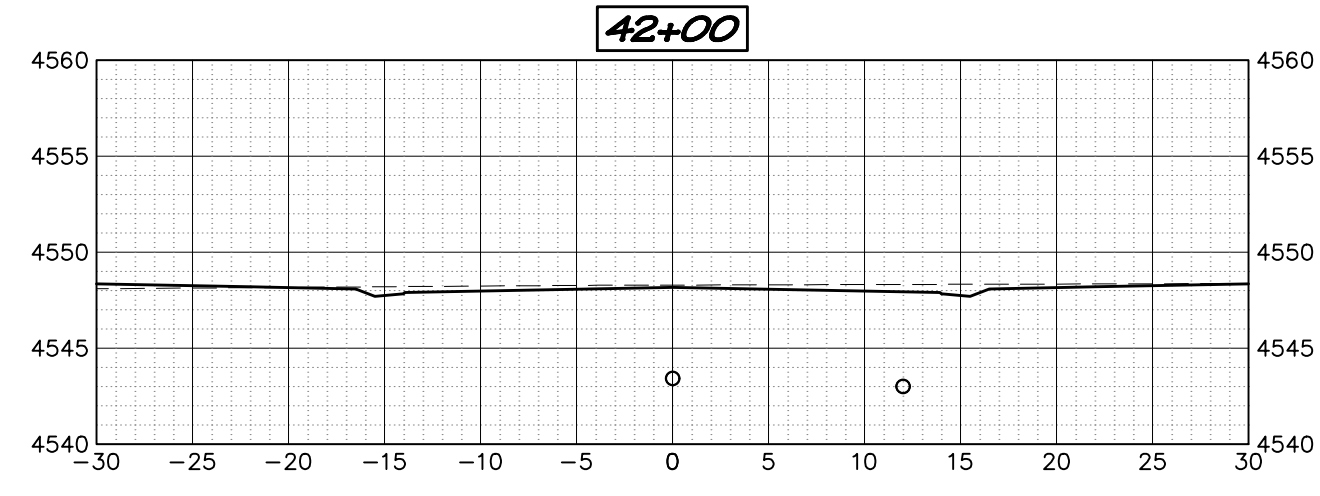
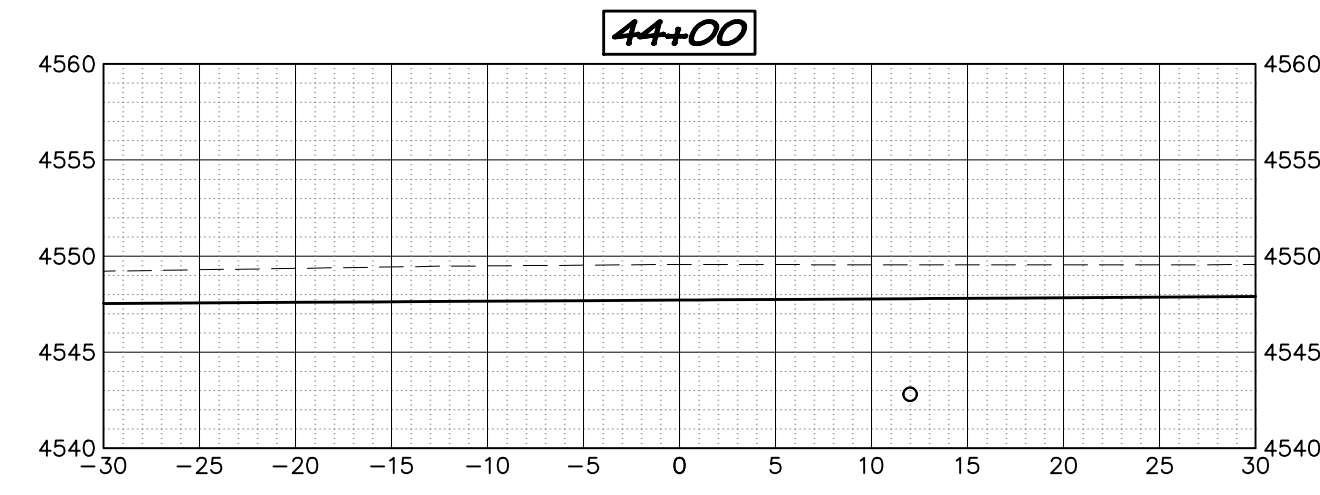
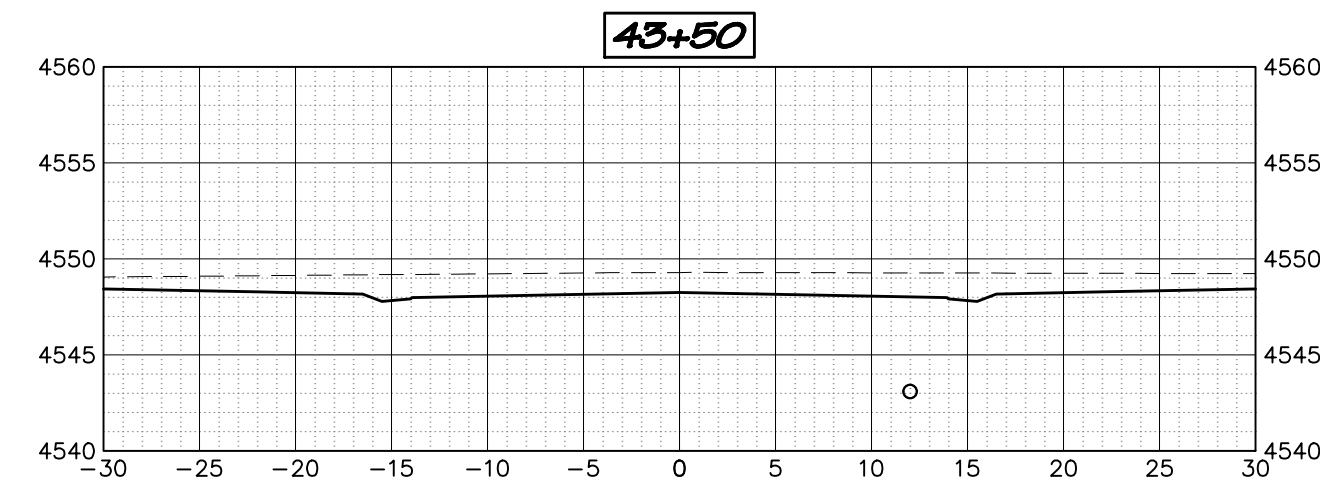
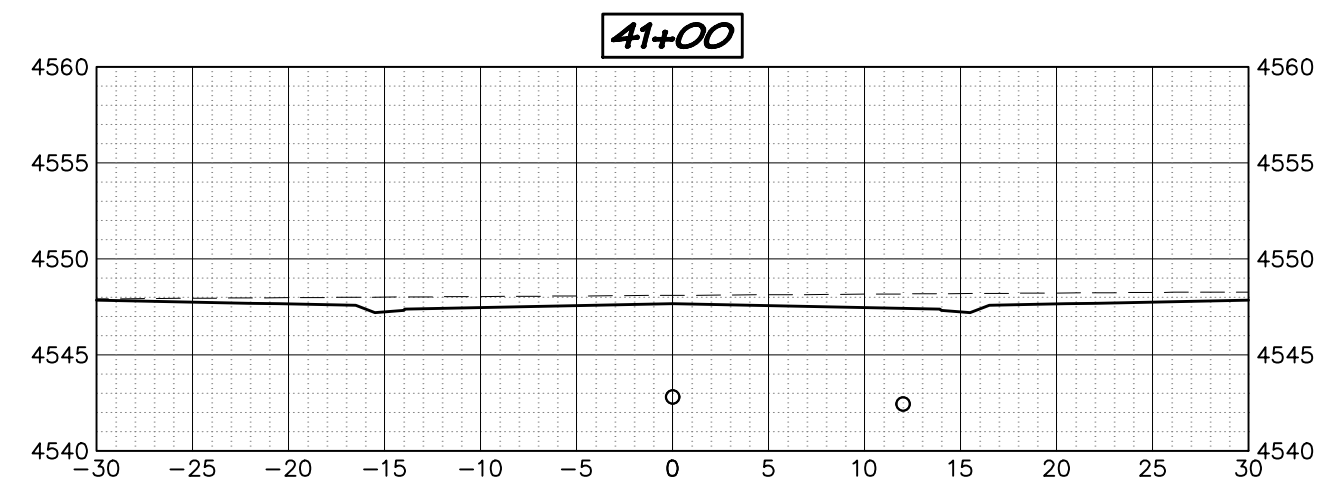
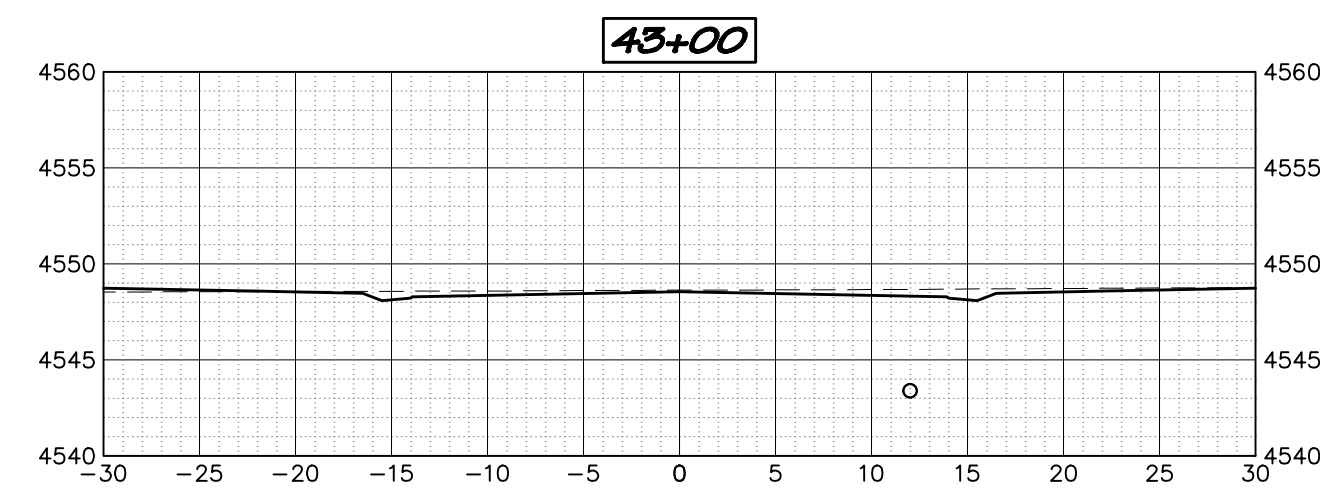
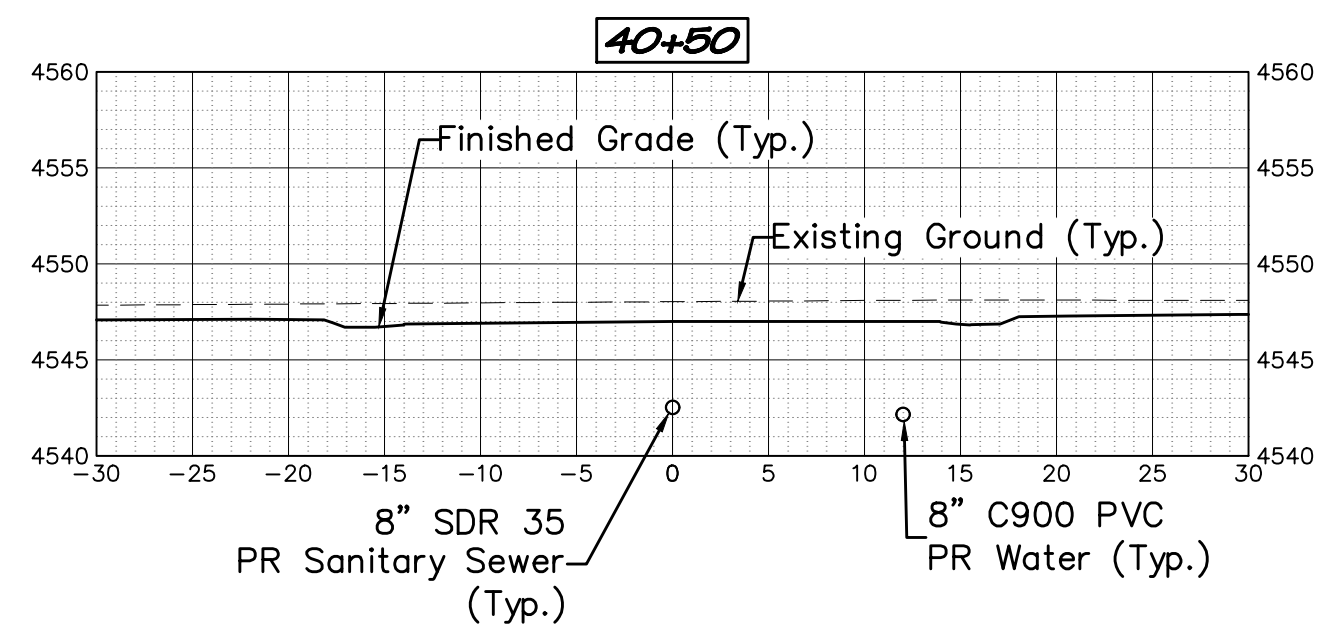
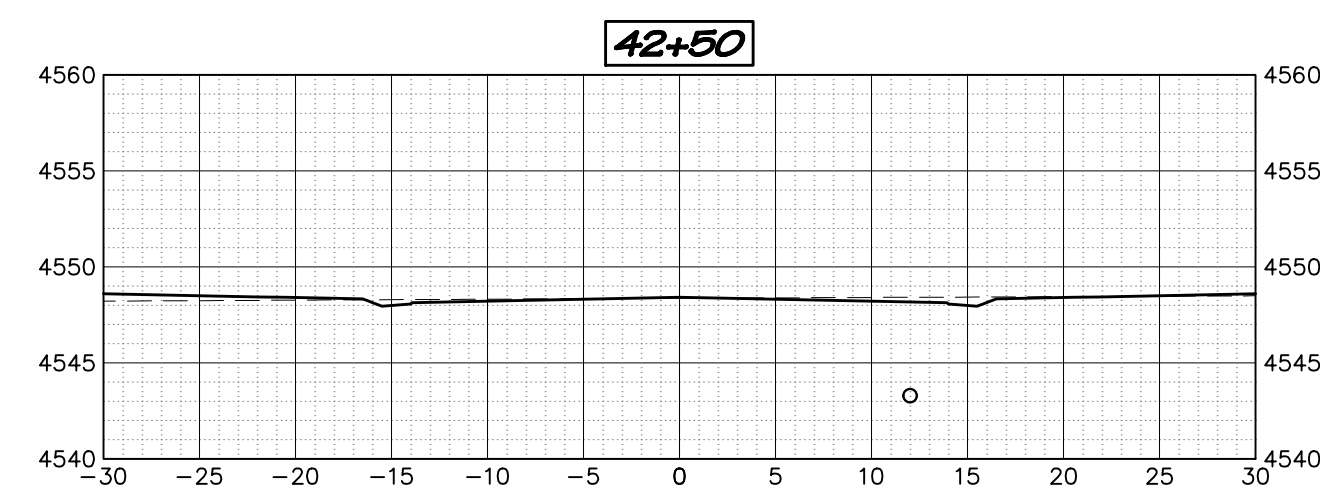
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FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Road Cross Section Views
 Ava Court

C55



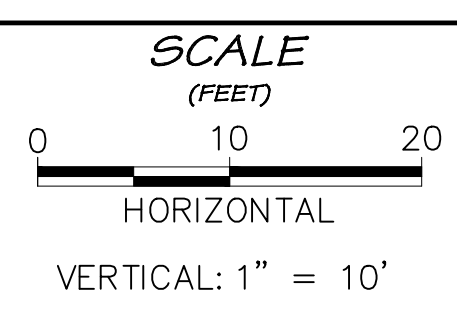
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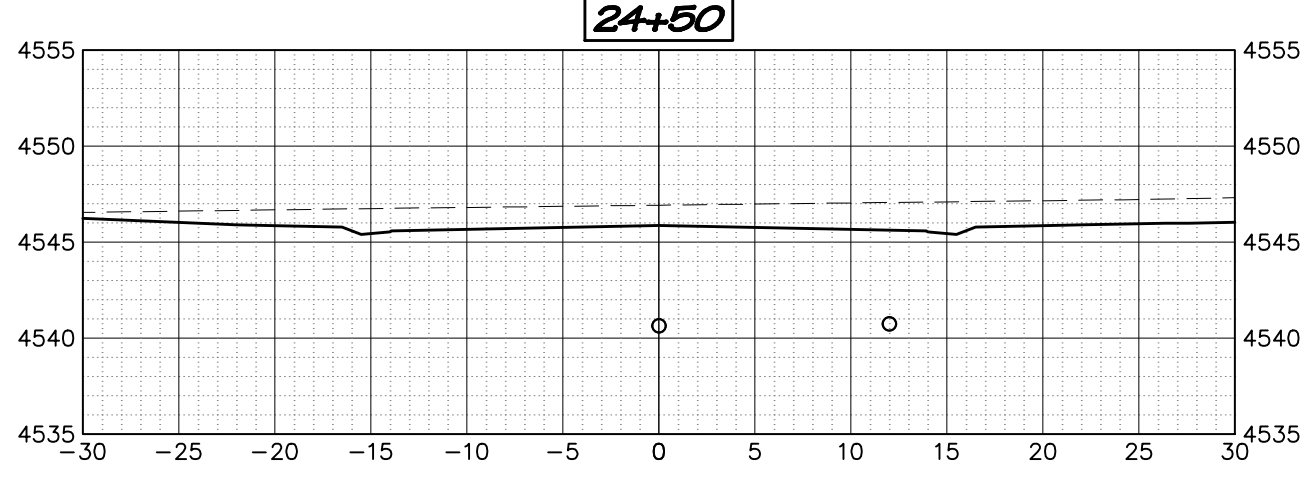
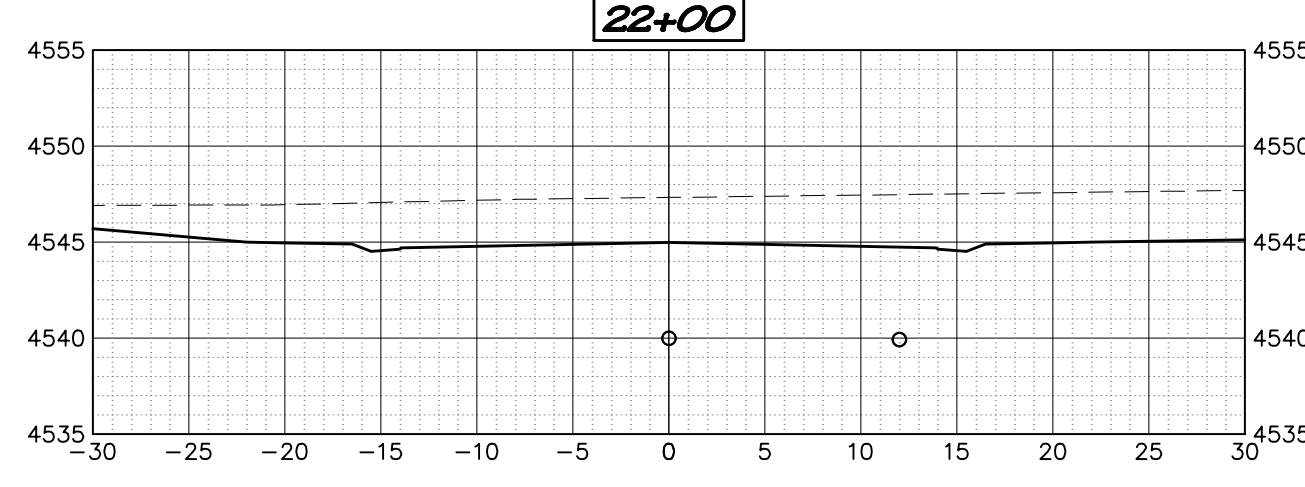
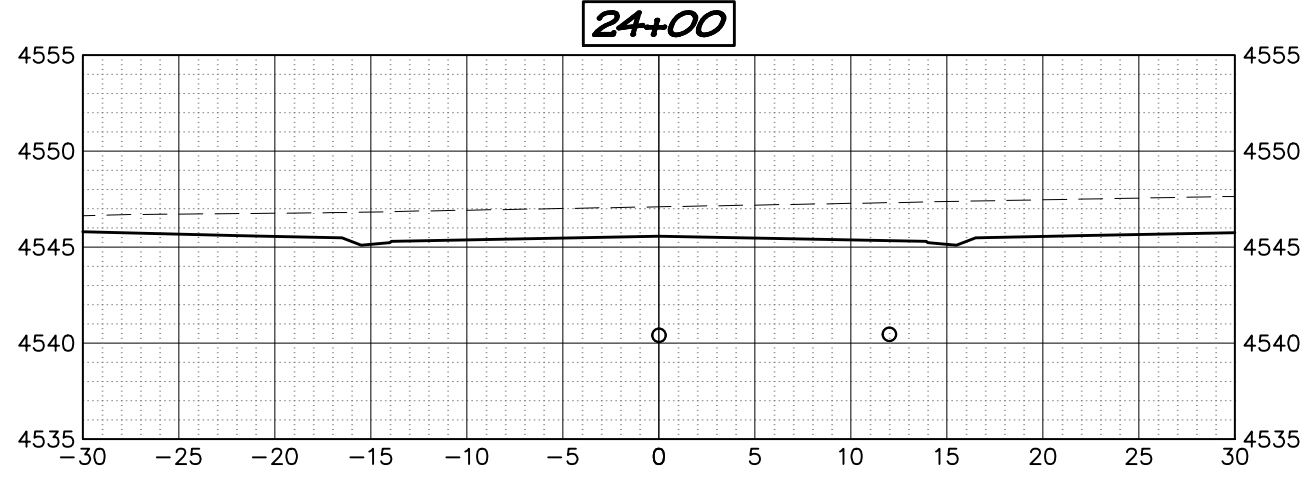
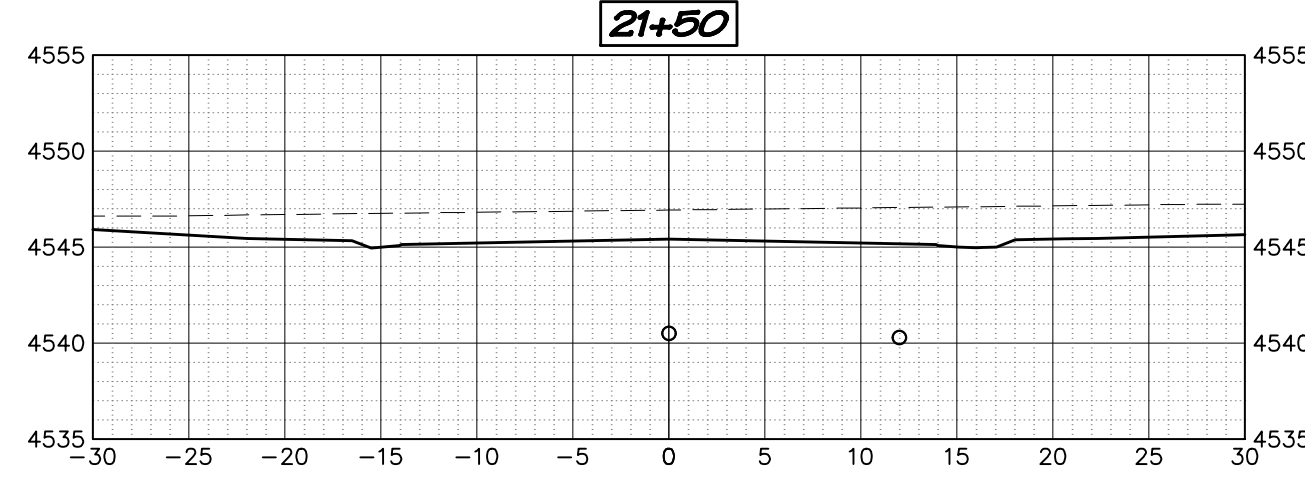
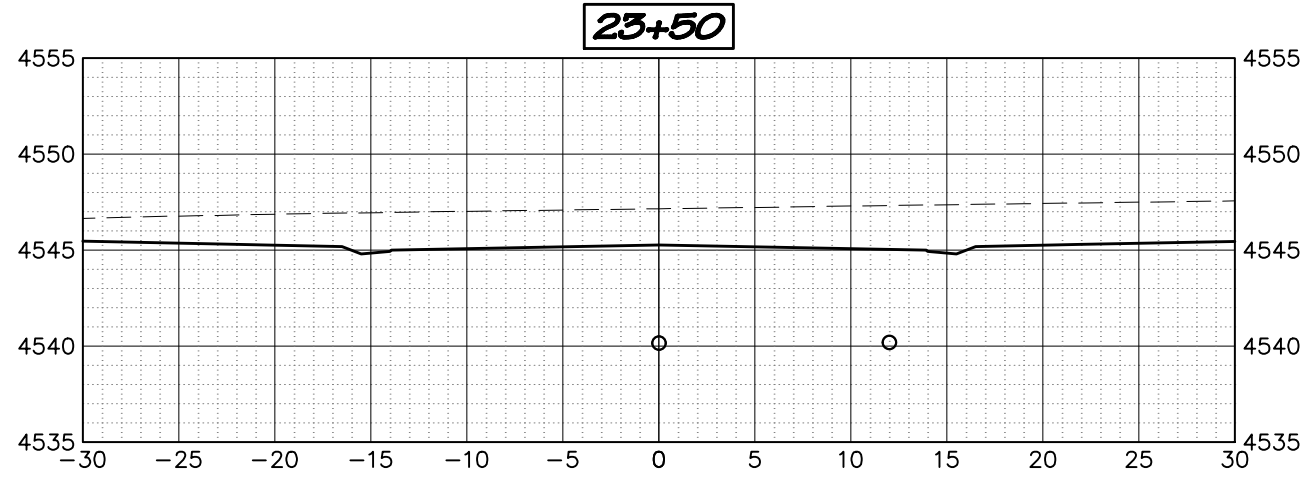
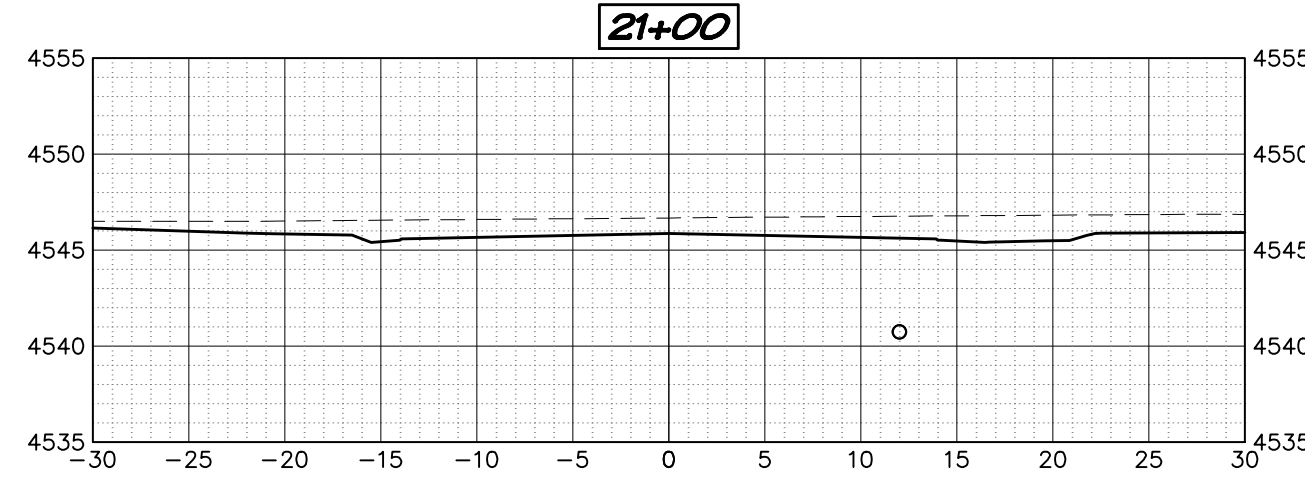
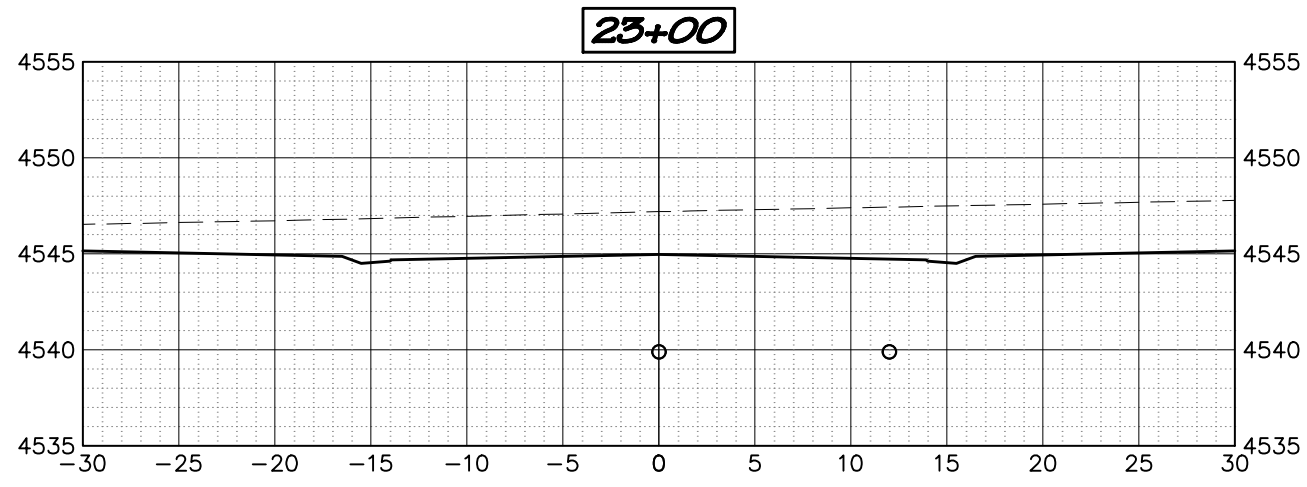
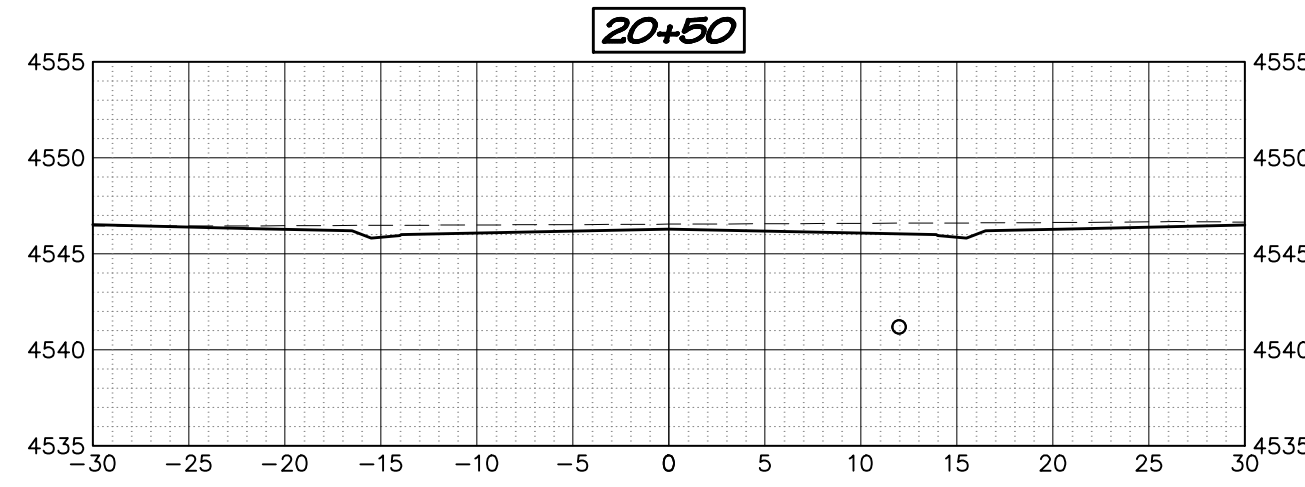
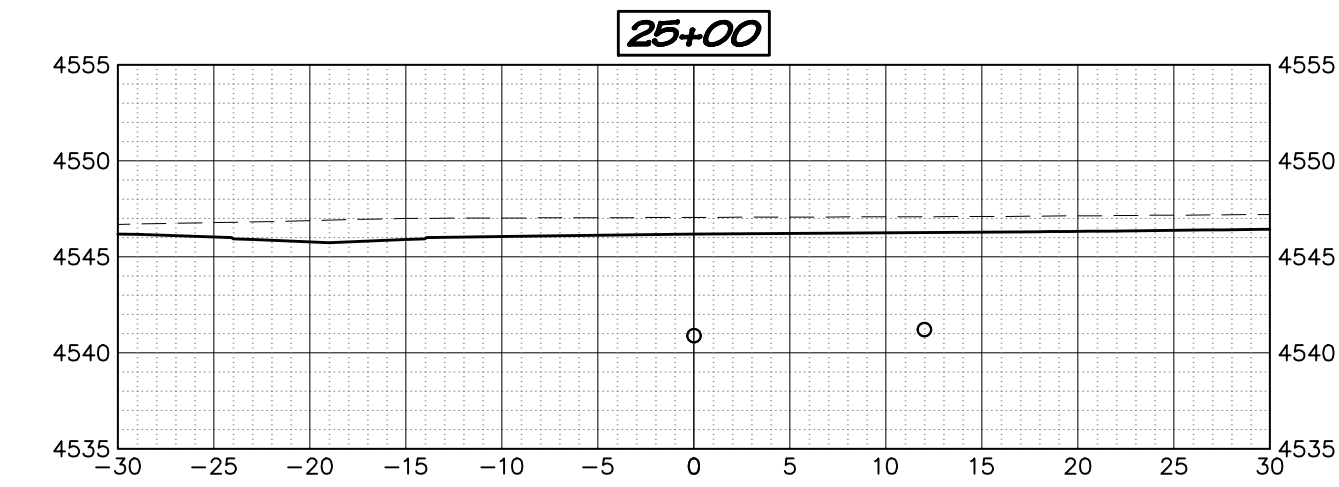
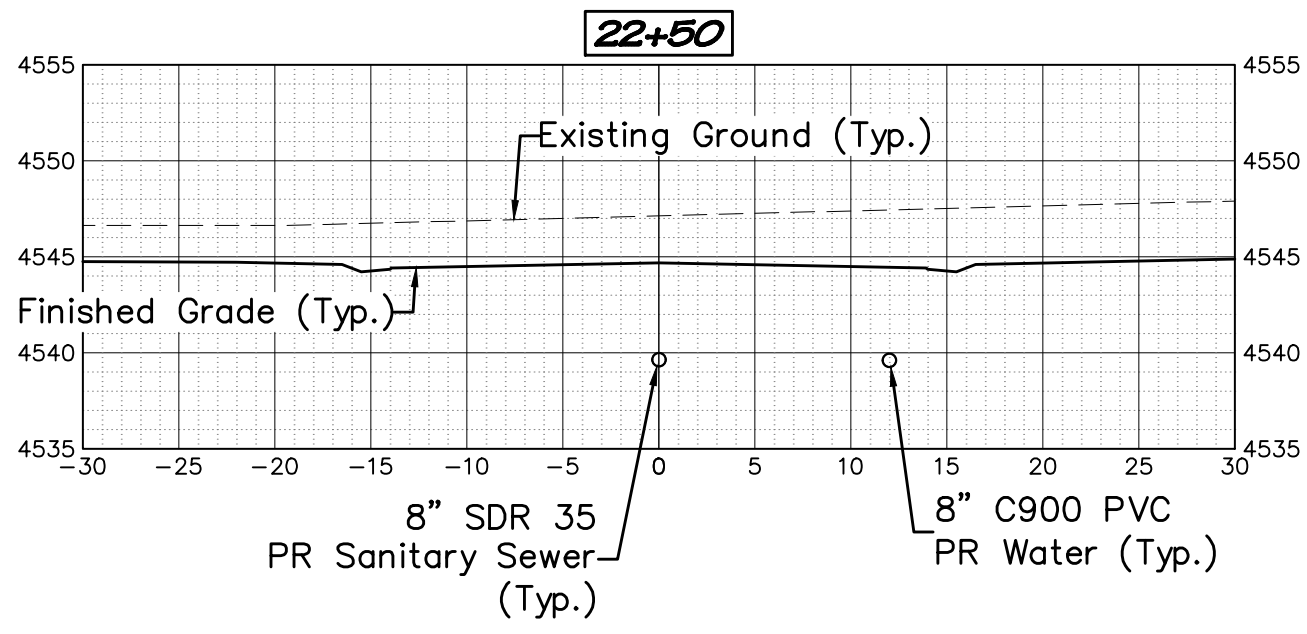
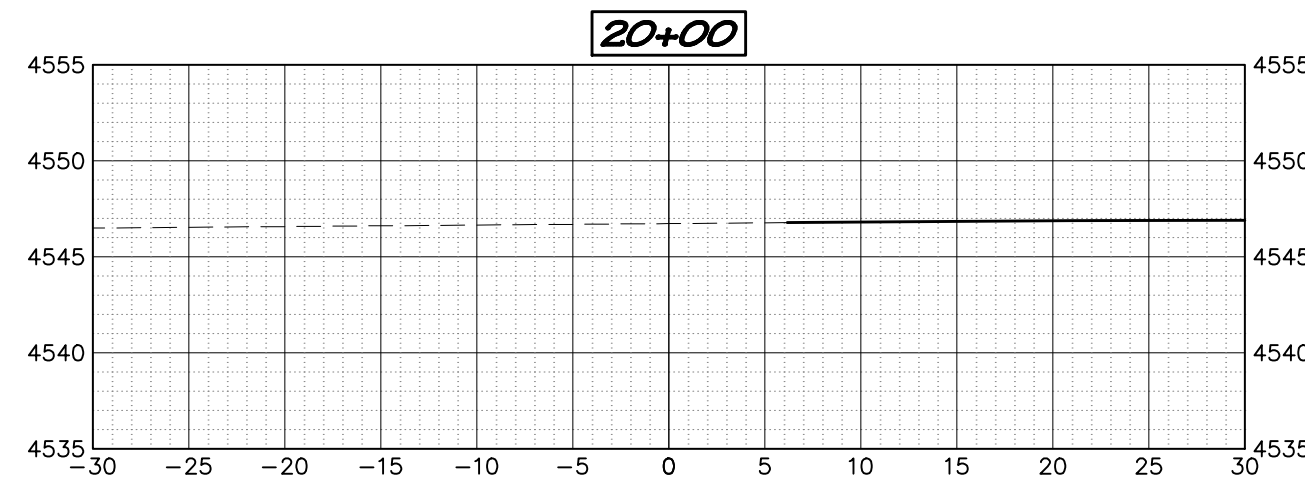
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FUTURADO DEVELOPMENT LLC

Adeles Acres Subdivision

Road Cross Section Views
 Elle Street

C56

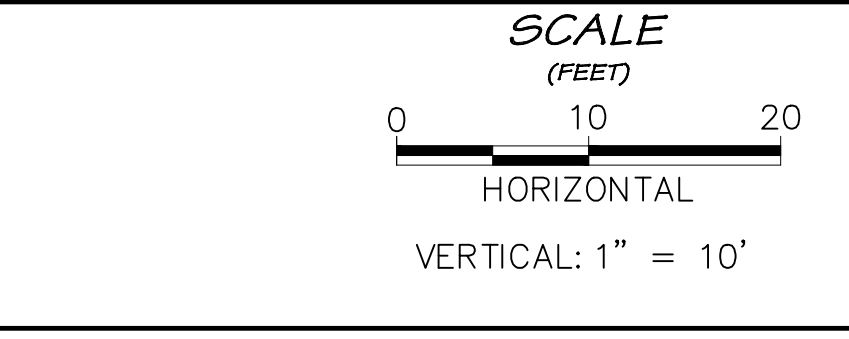


ACCEPTANCE BLOCK
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City Development Engineer _____ Date _____

UNCC
 800.922.1987
 www.uncc.org
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Project Benchmark
 Found 2" Aluminum CopNE Corner
 Marked "DH SURVEYS INC"
 South of J 1/2 Road
 NORTHING: 67185.23
 EASTING: 53517.93
 ELEVATION: 4551.66
 DATUM SOURCE: MCLCS Zone "GVA" (NAVD 88)



PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

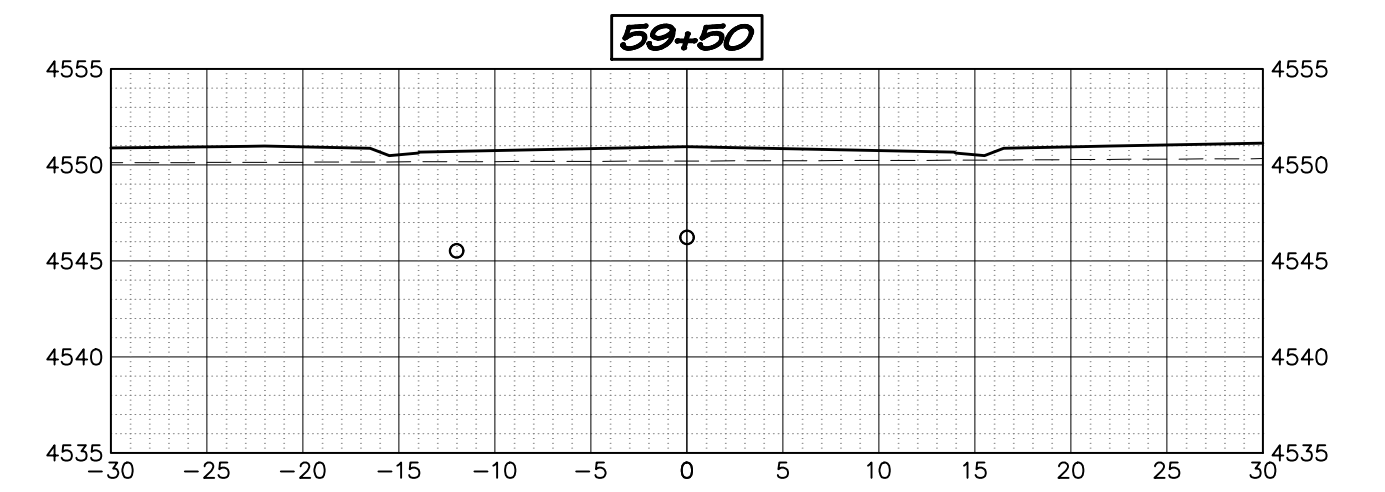
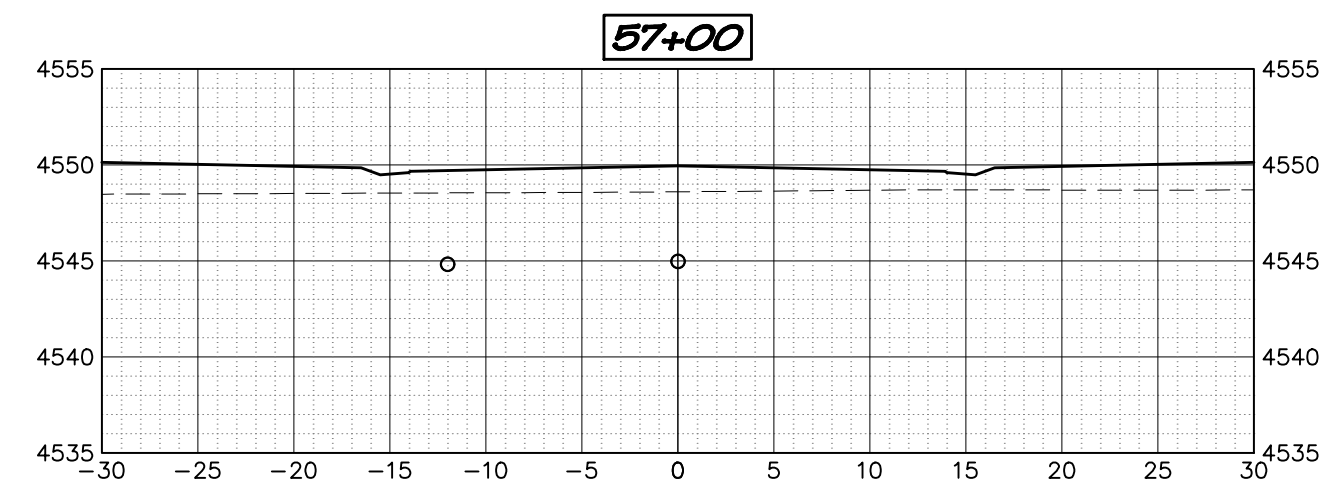
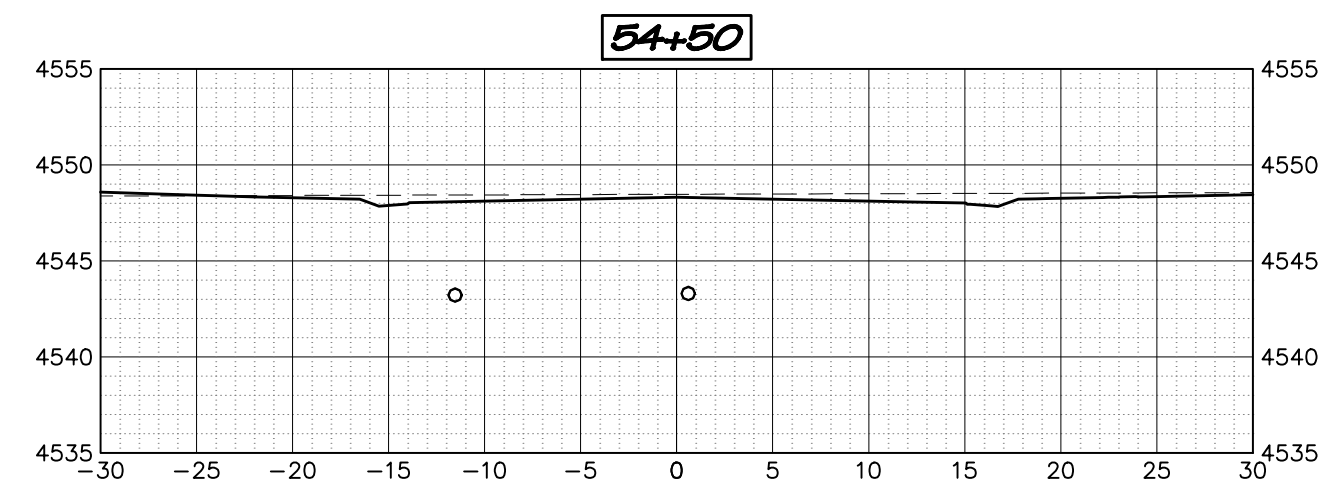
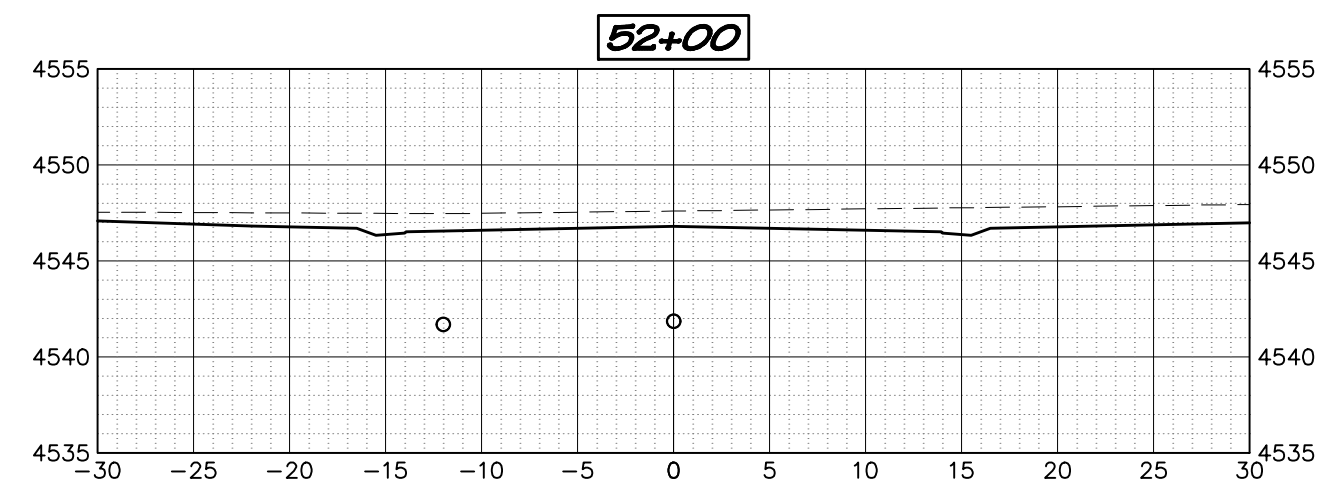
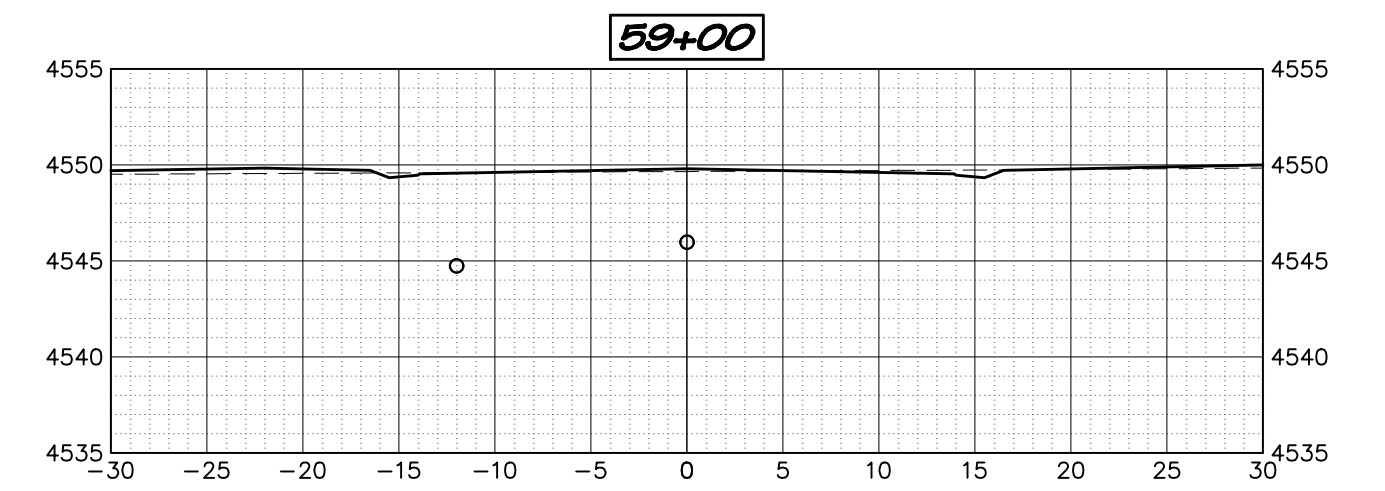
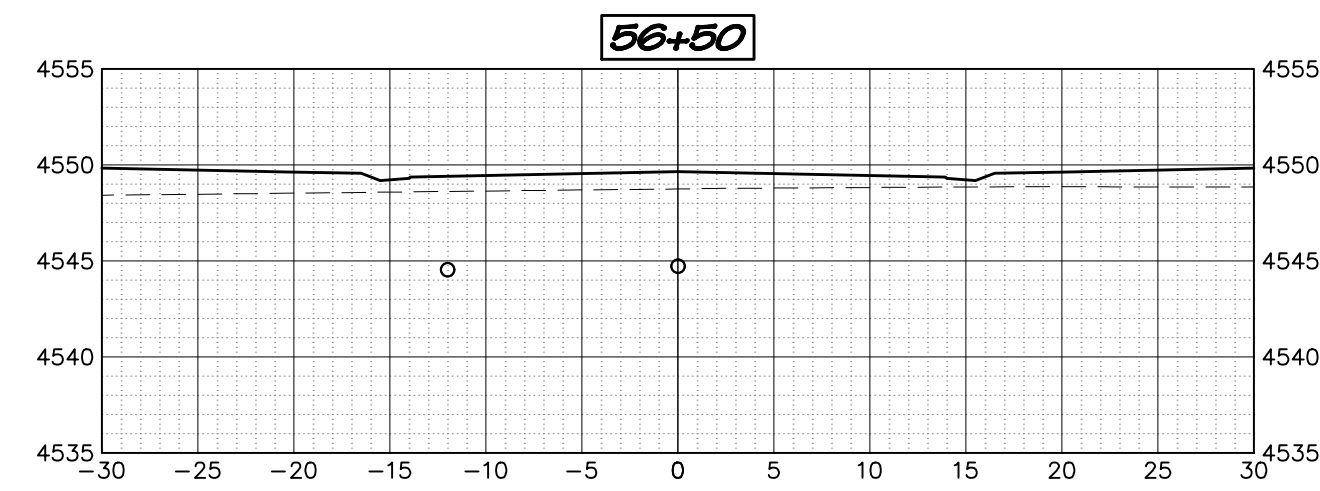
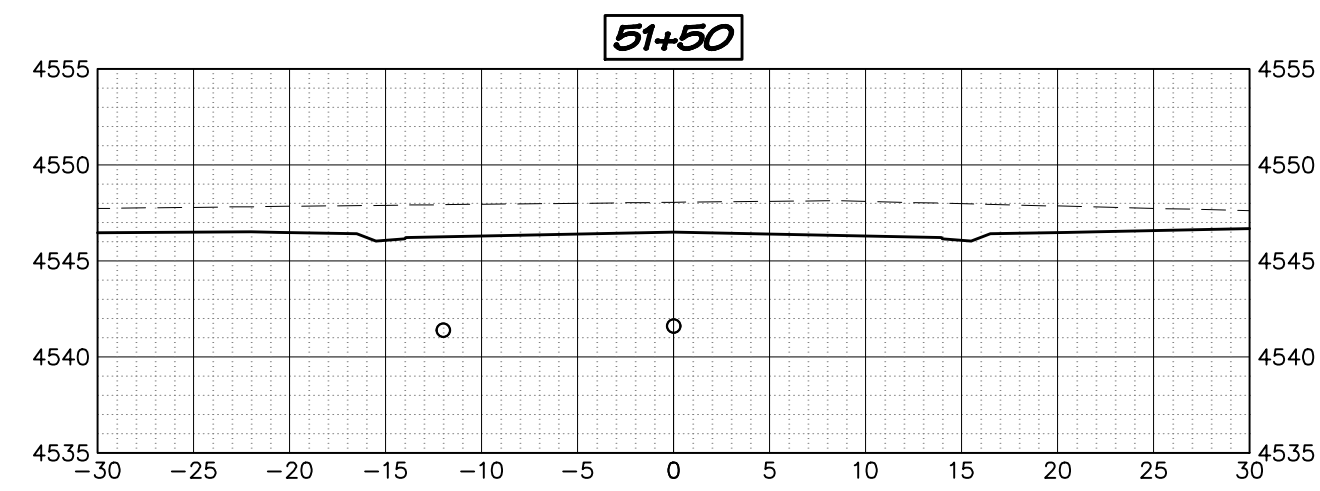
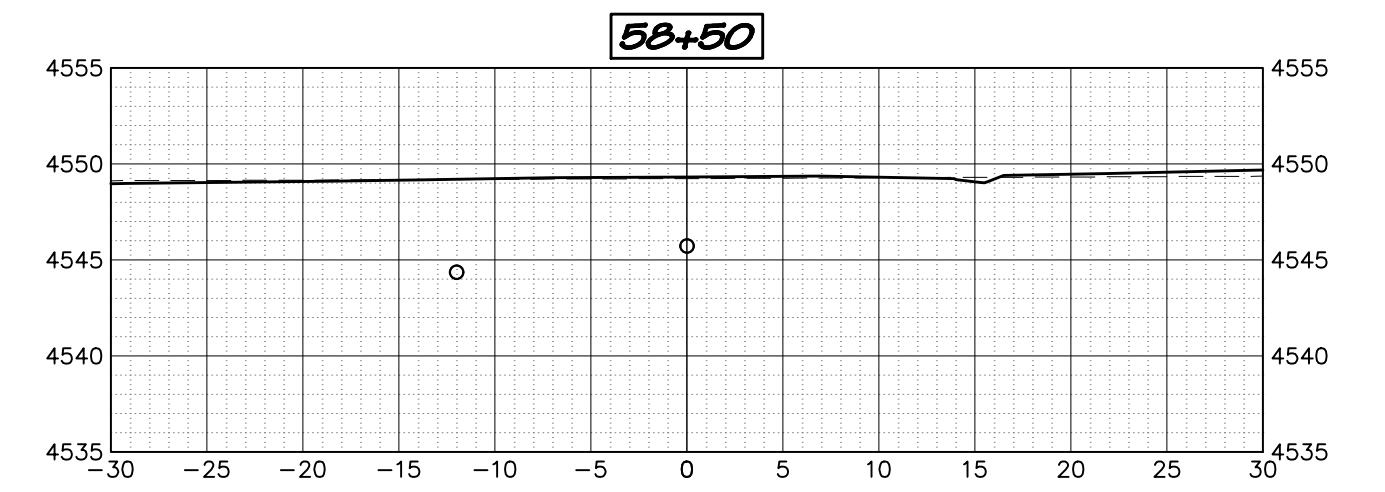
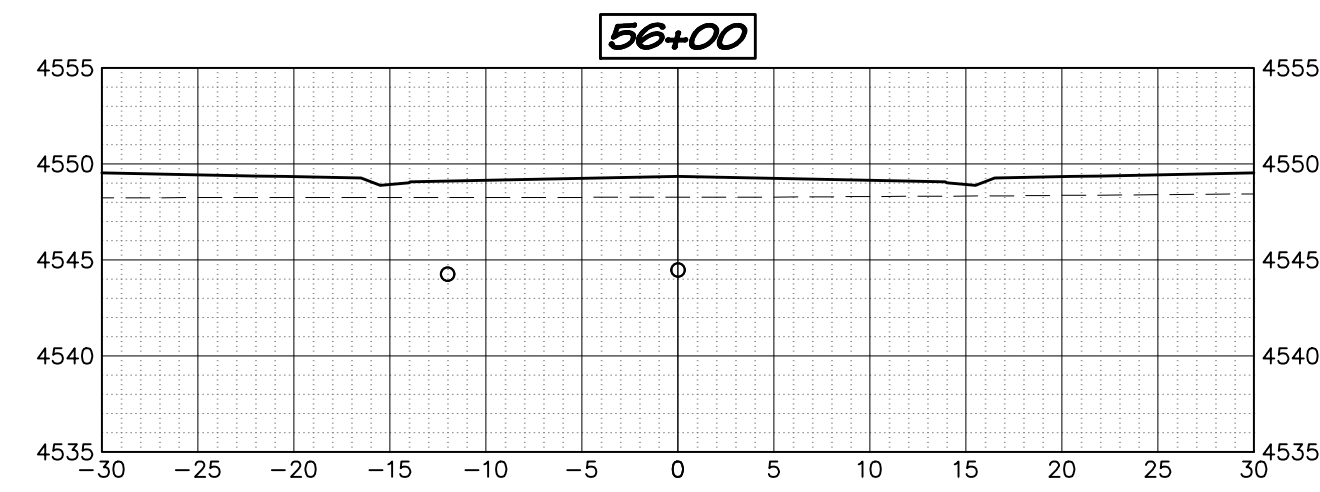
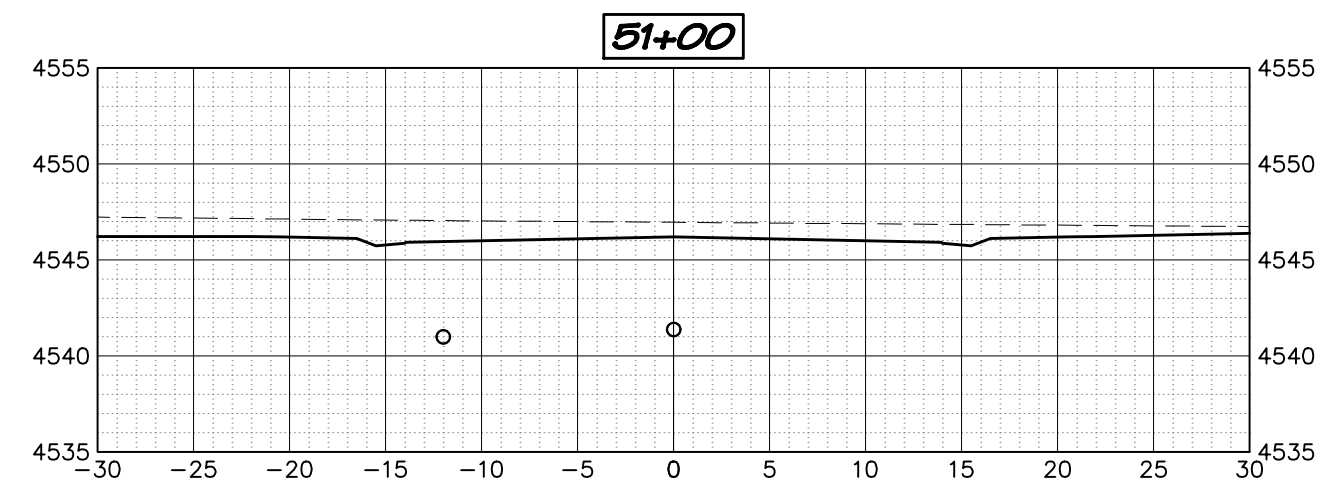
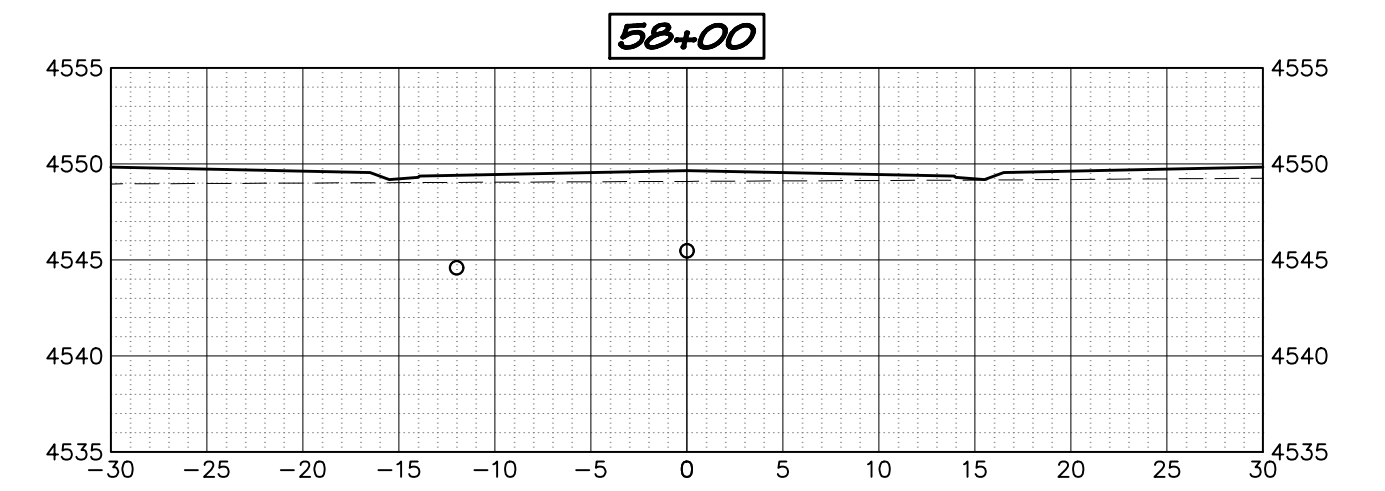
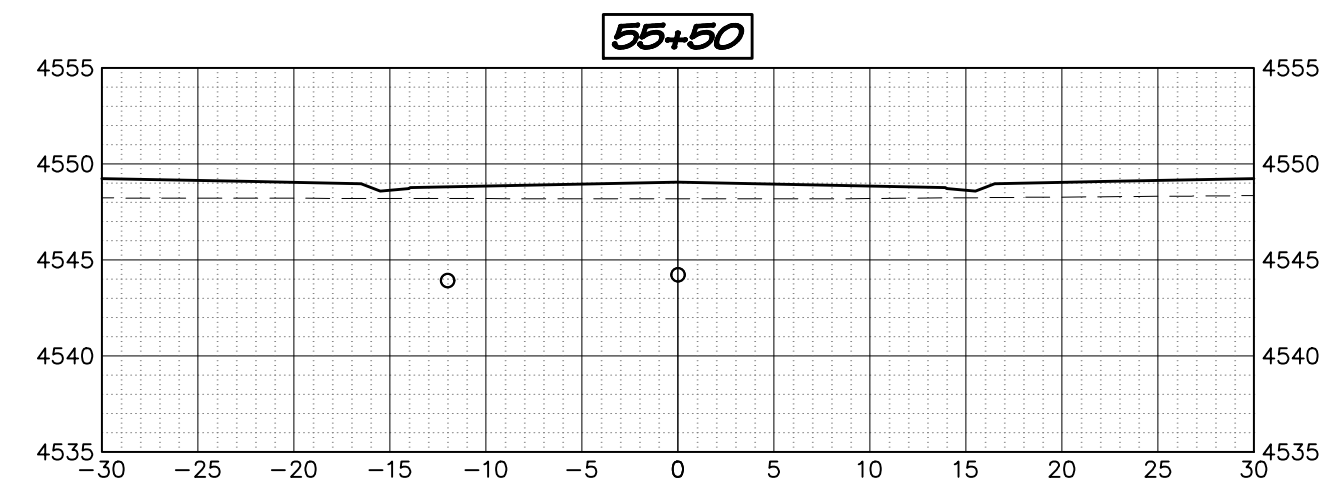
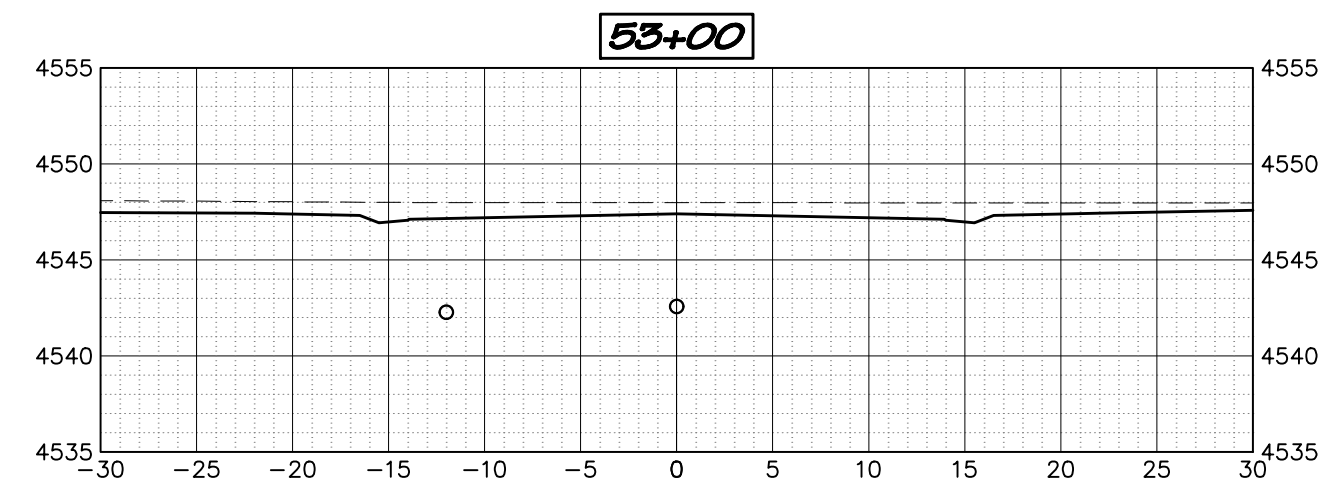
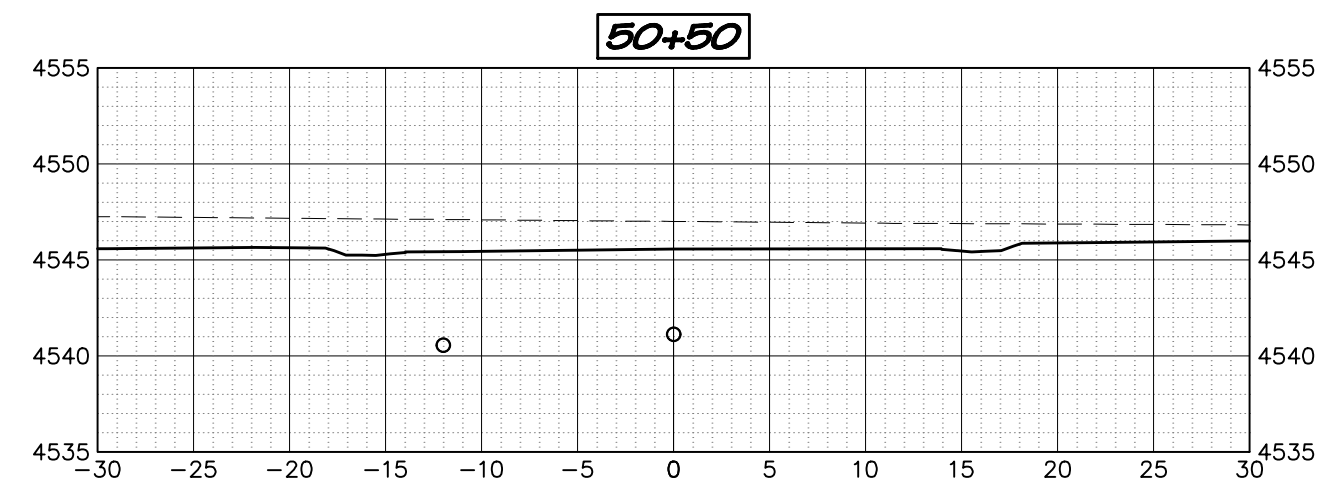
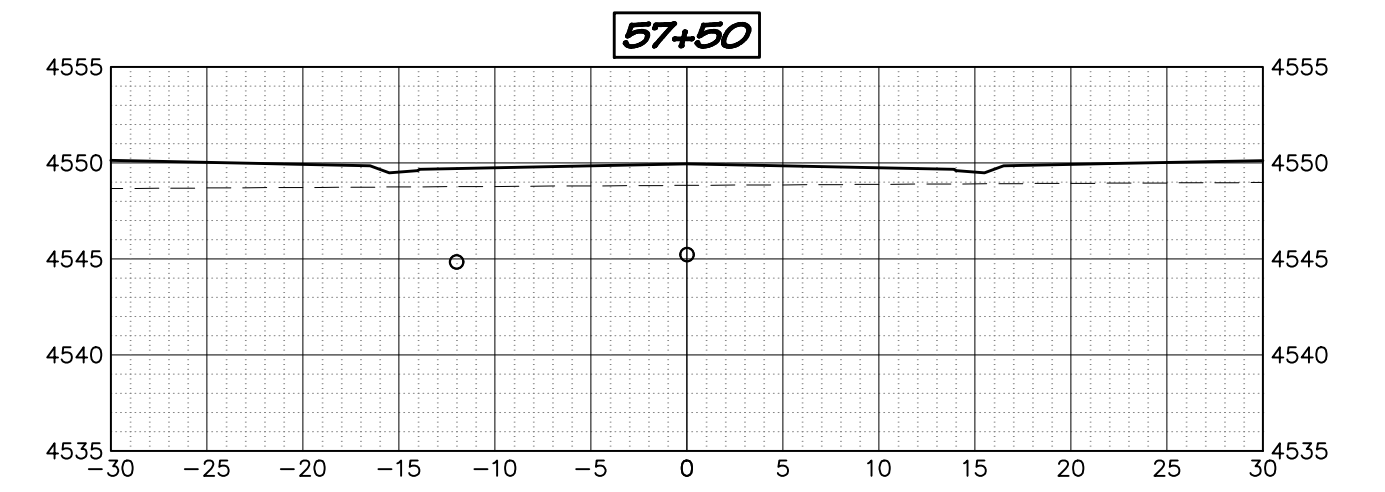
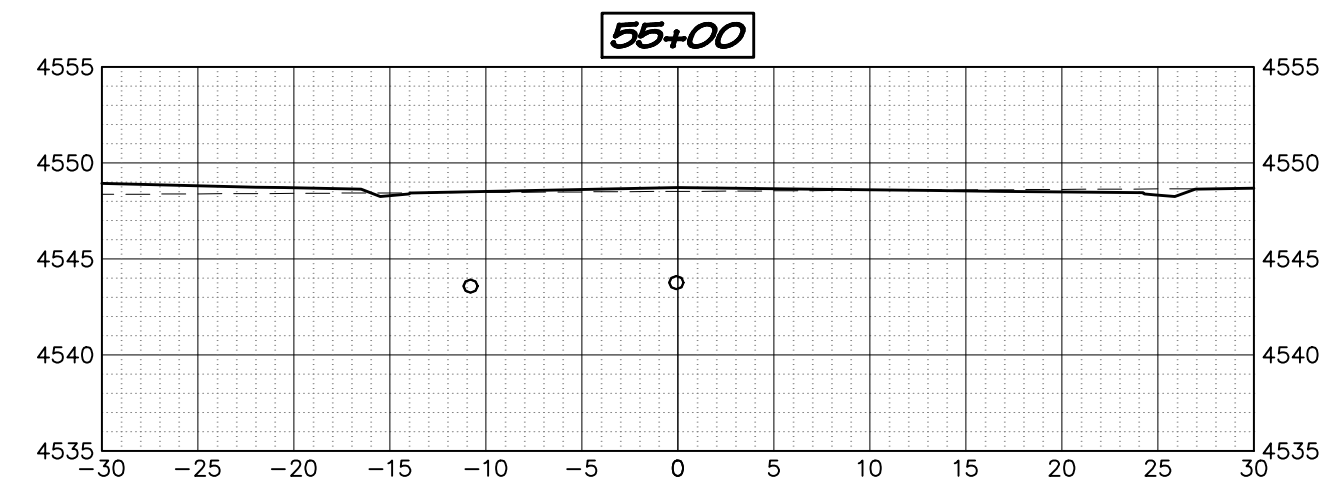
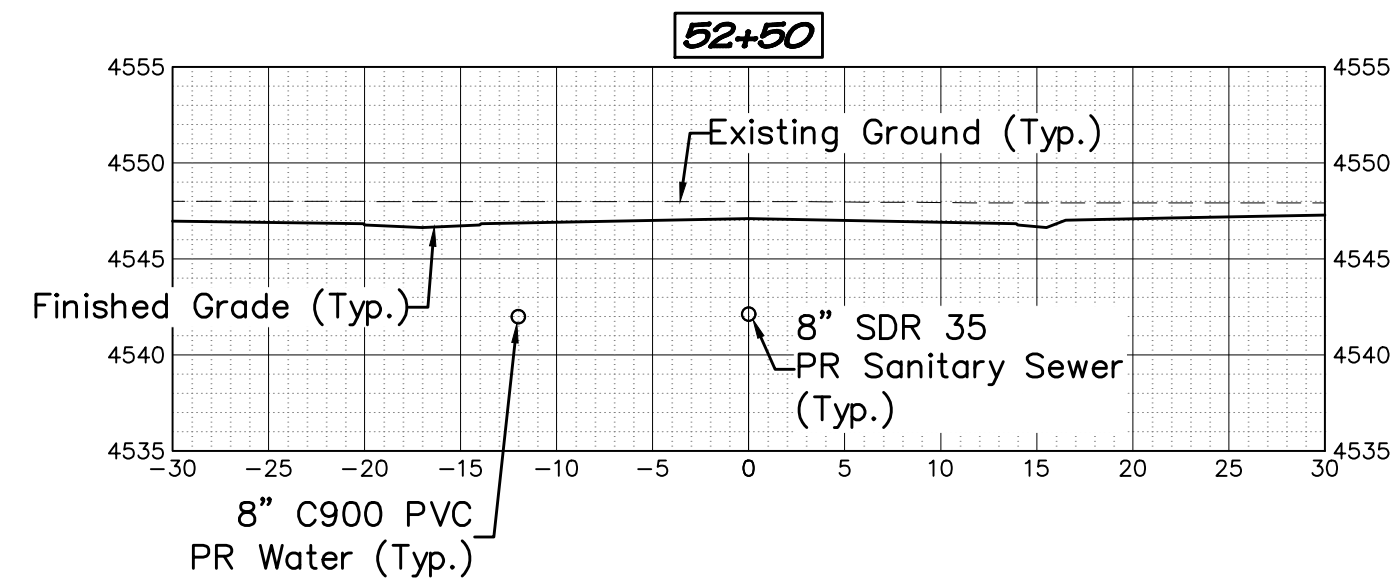
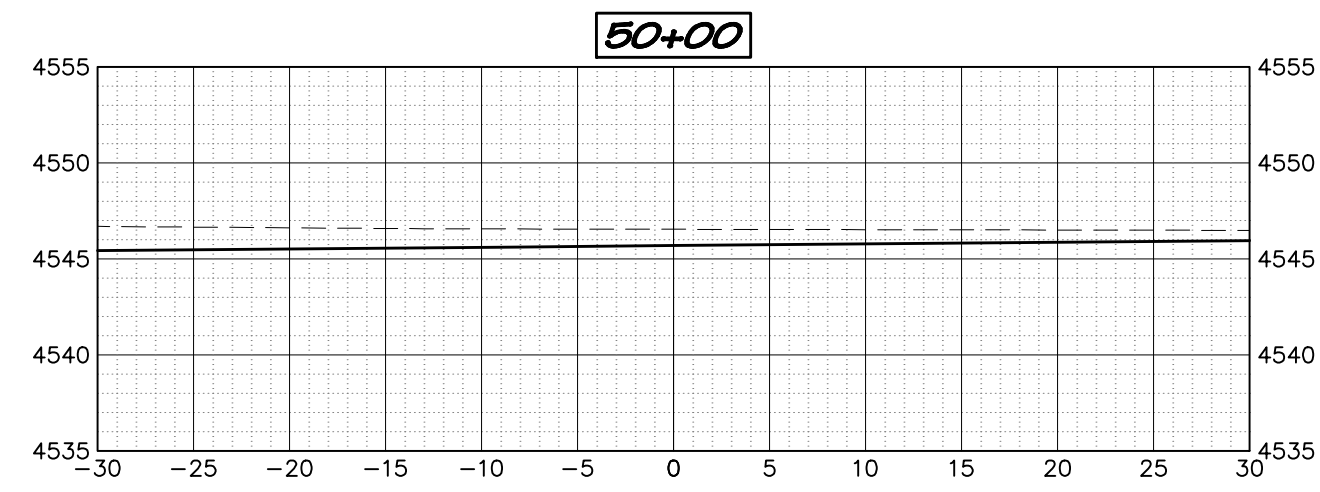
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PRELIMINARY

RIVER CITY CONSULTANTS
 215 Pitkin Avenue, Unit 201 Phone: 970.241.4722
 Grand Junction, CO 81501 www.rcwest.com Fax: 970.241.8841
 DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
Adeles Acres Subdivision
 Road Cross Section Views
 Isla Street

C57

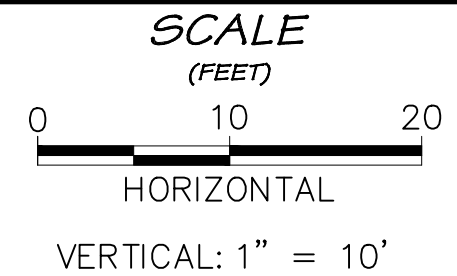


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UNCC
 811 Know what's below. Call before you dig.
 800.922.1987
 www.uncc.org
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PROJECT PHASE: Preliminary DATE ISSUED: 08.MAR.2023

NO.	DATE	REVISION	BY

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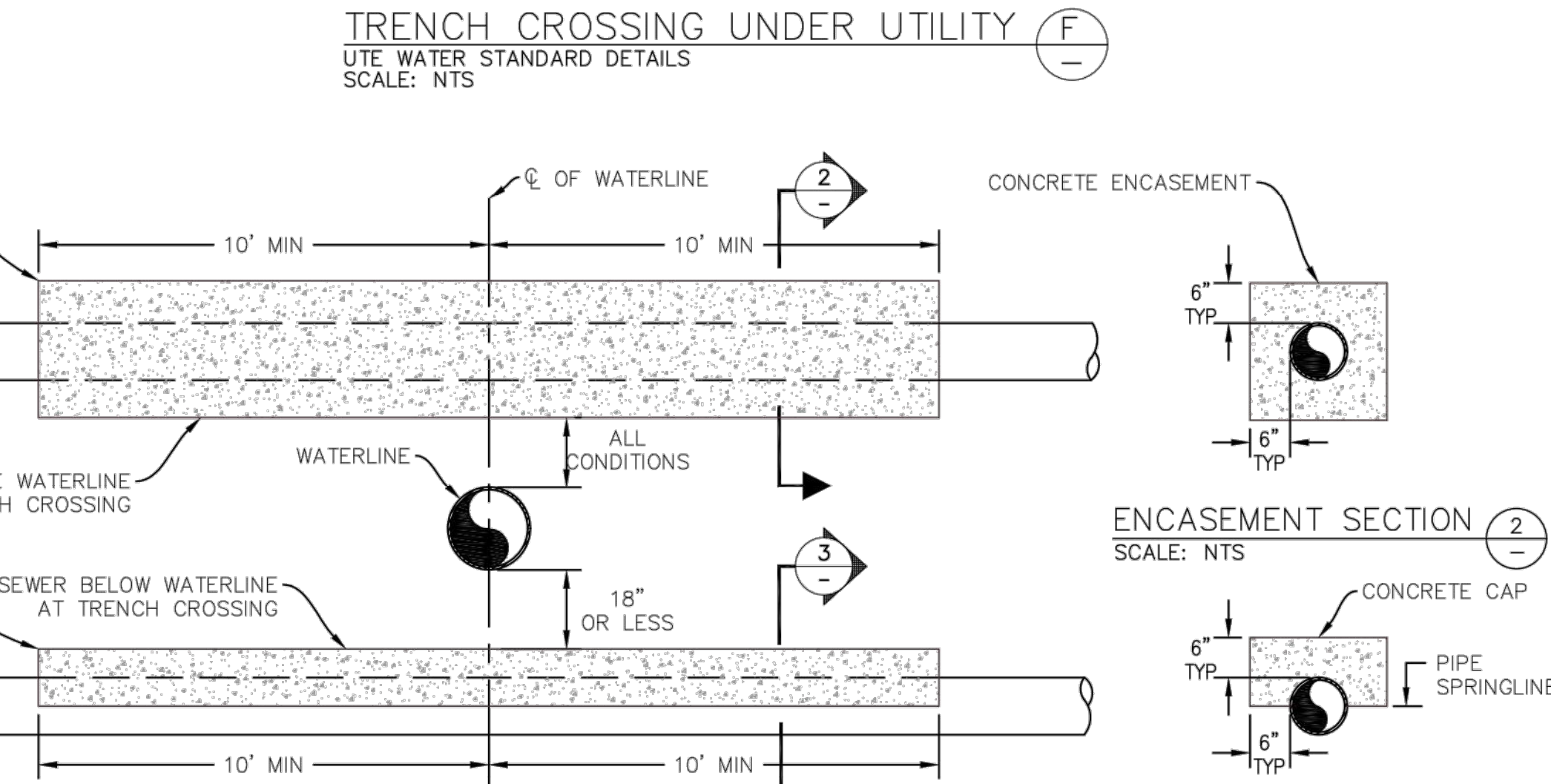
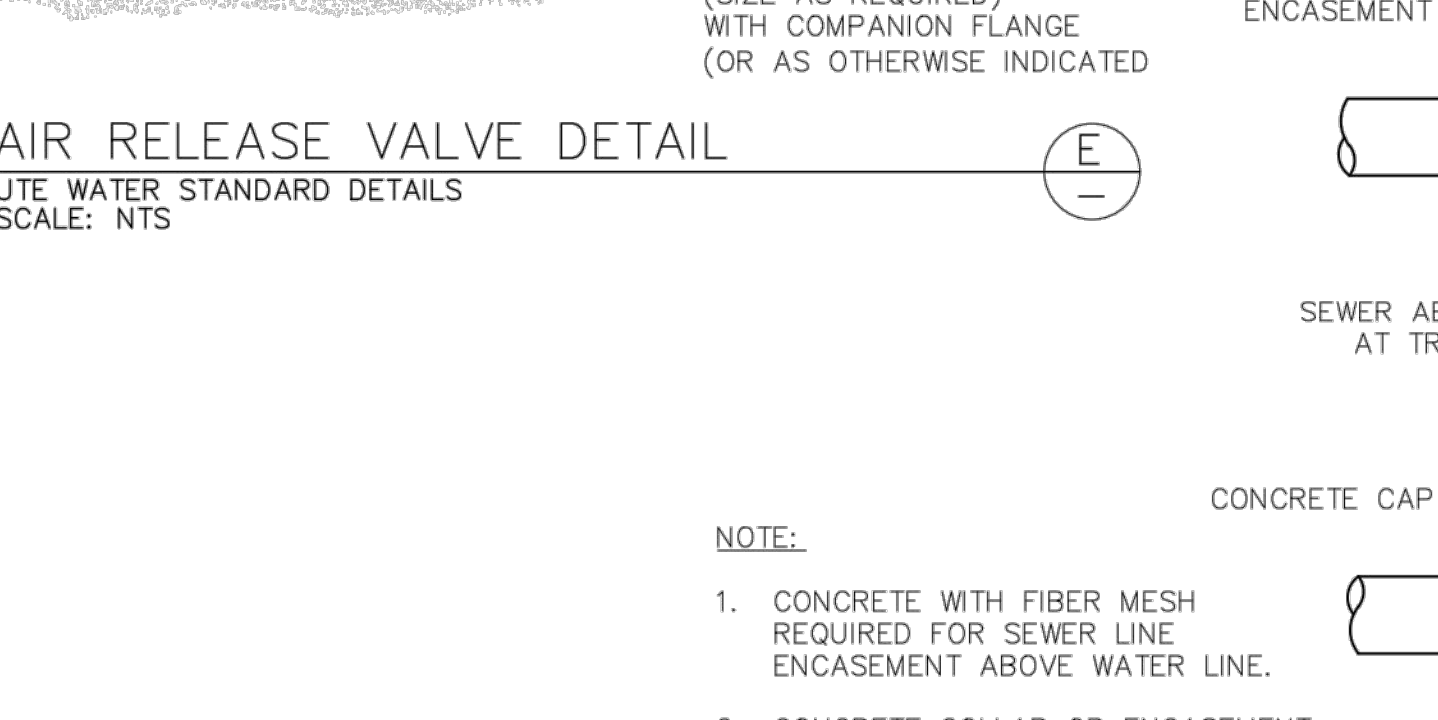
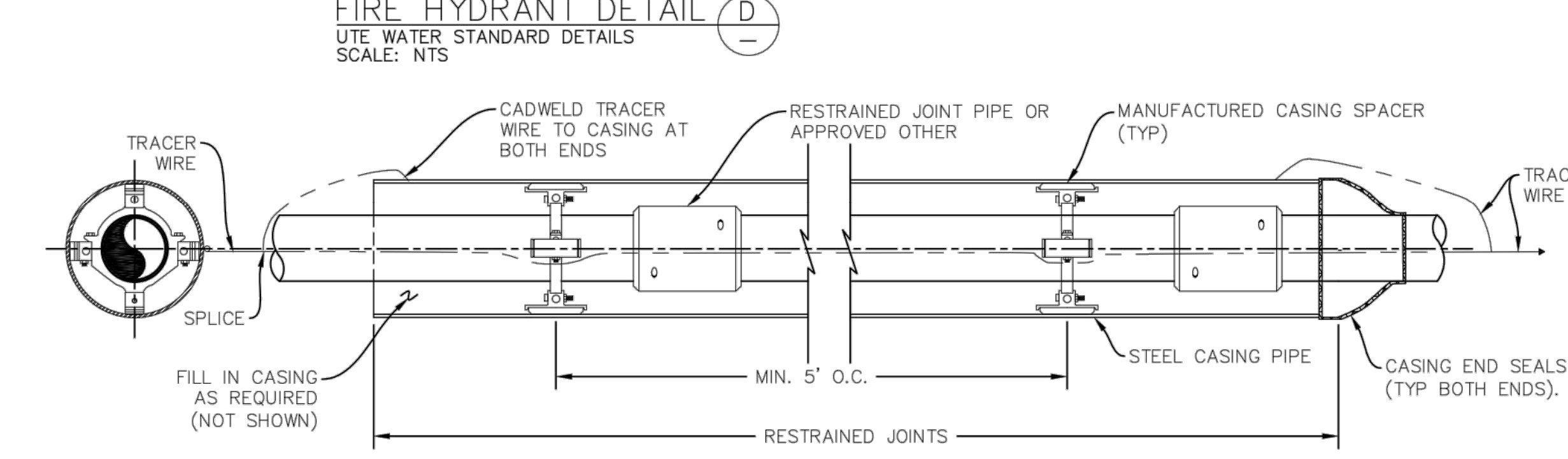
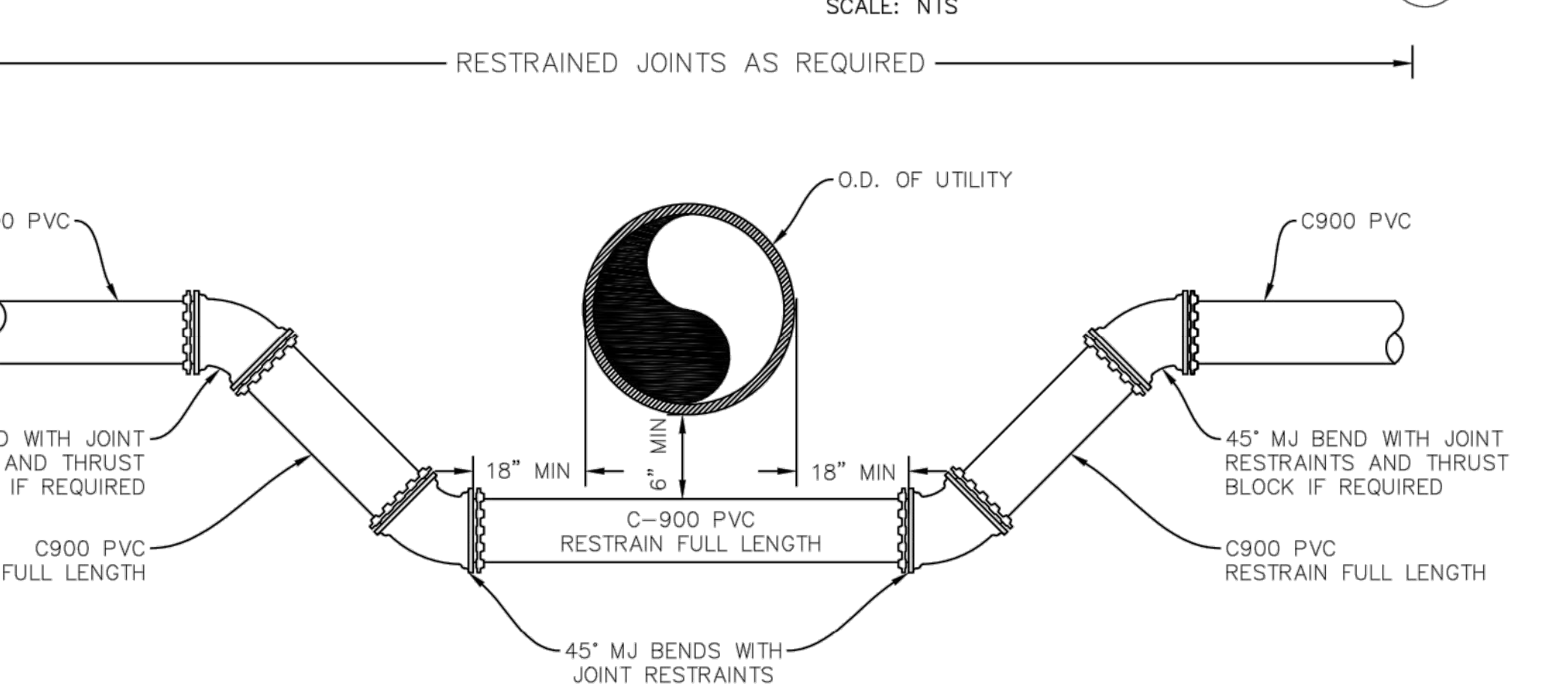
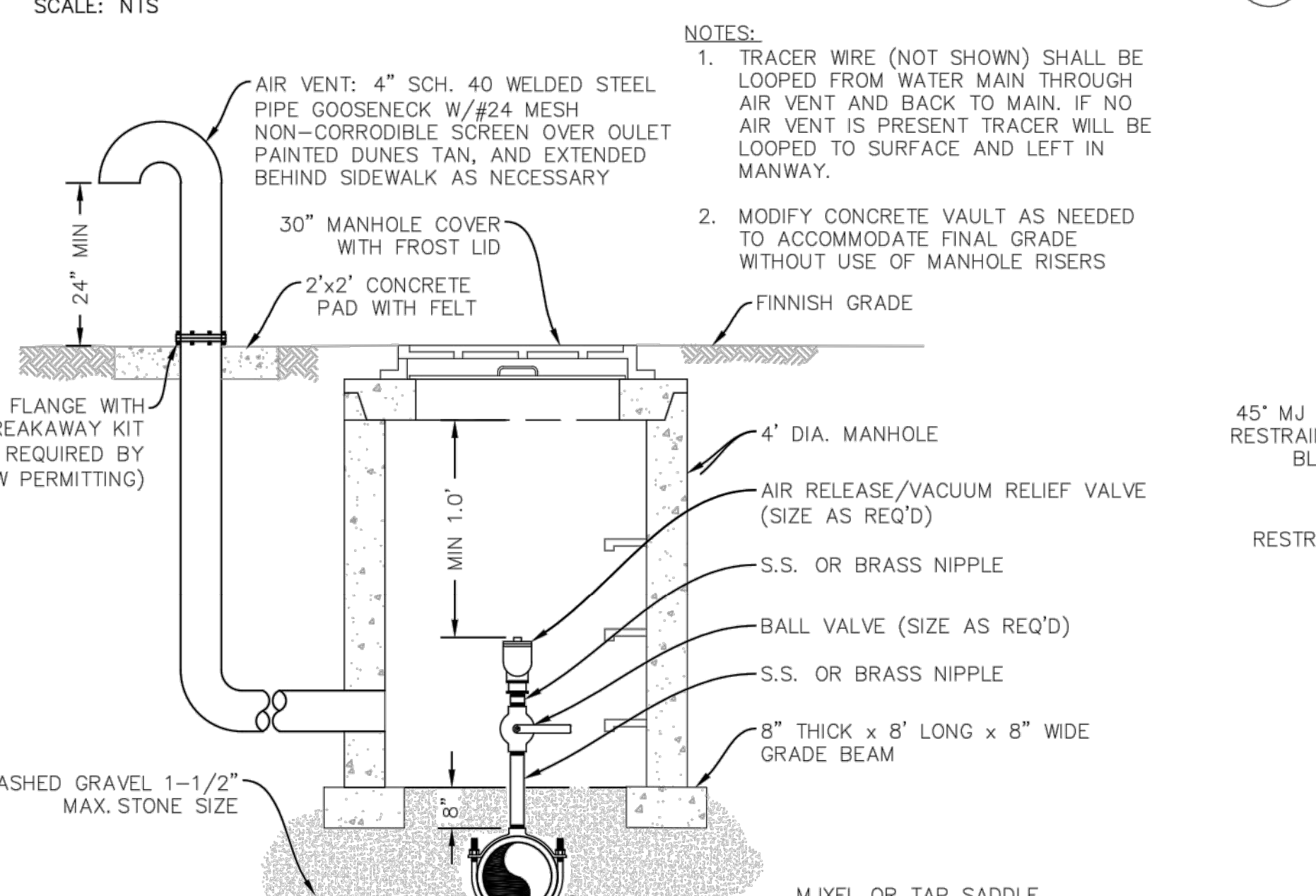
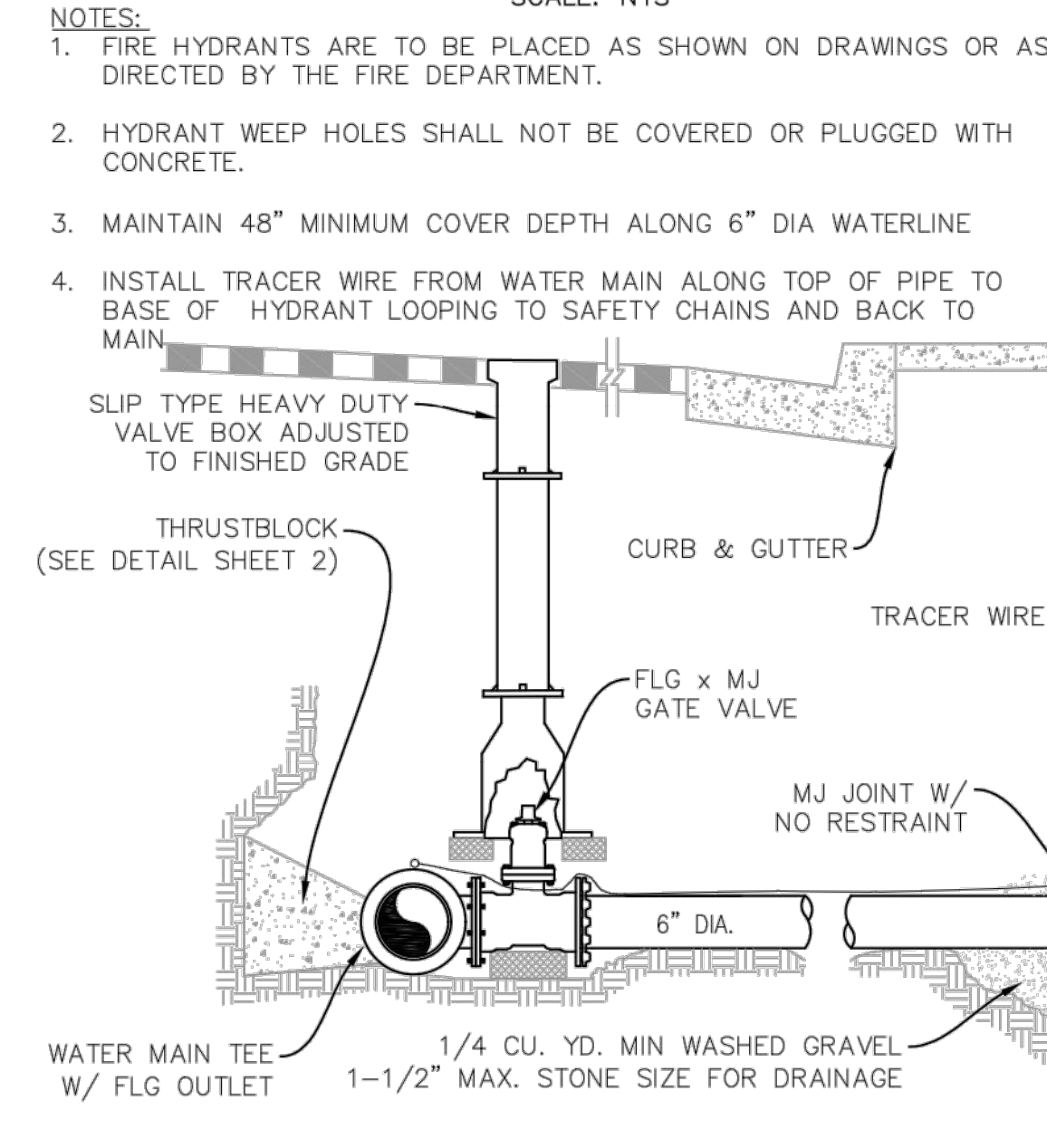
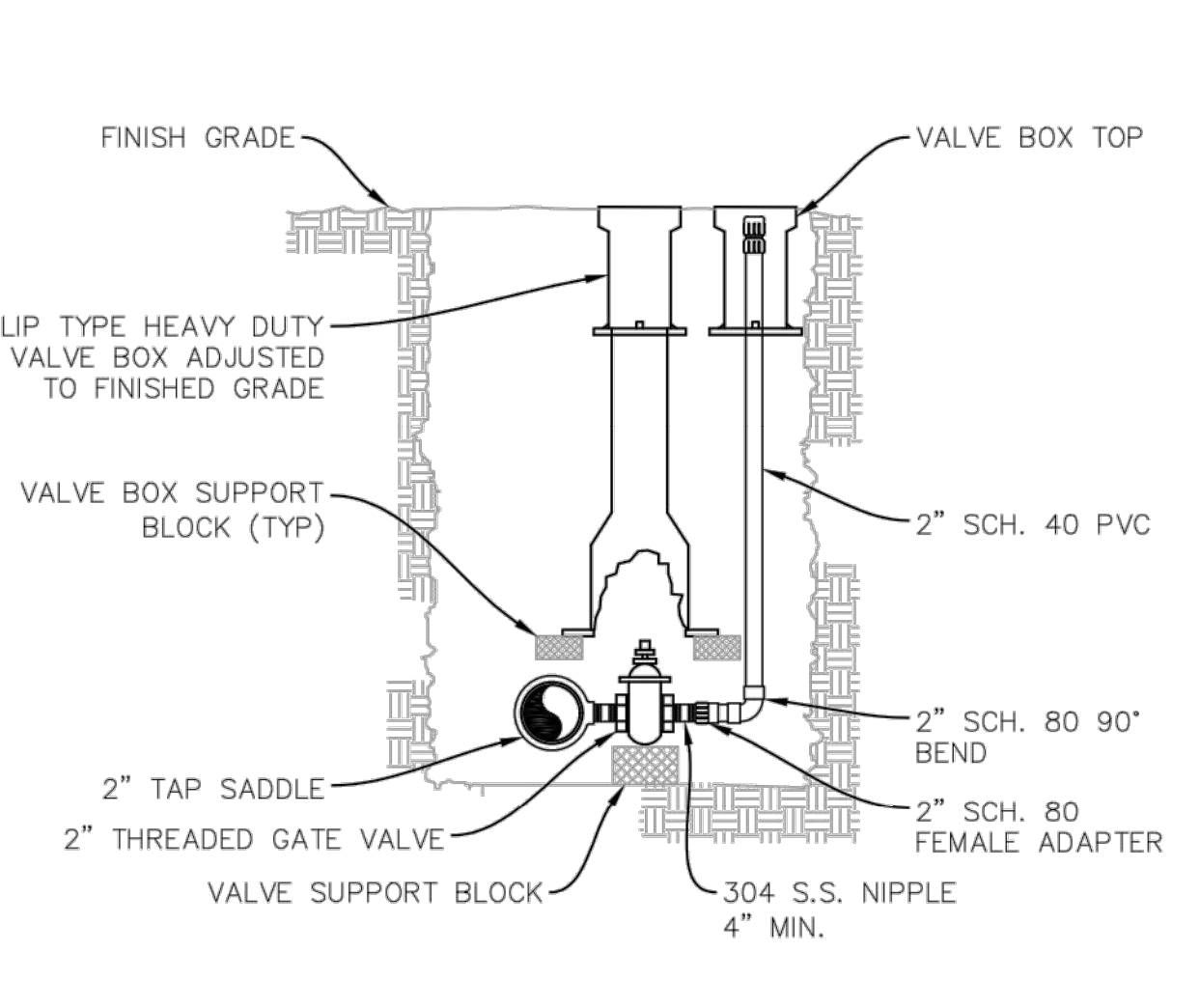
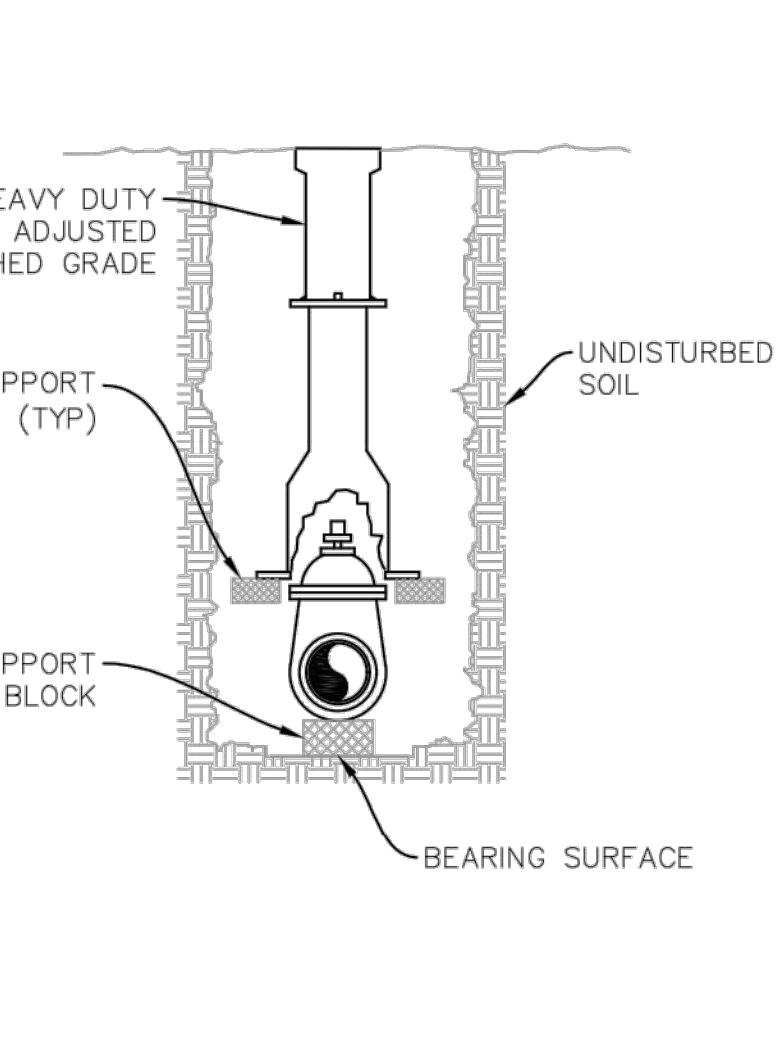
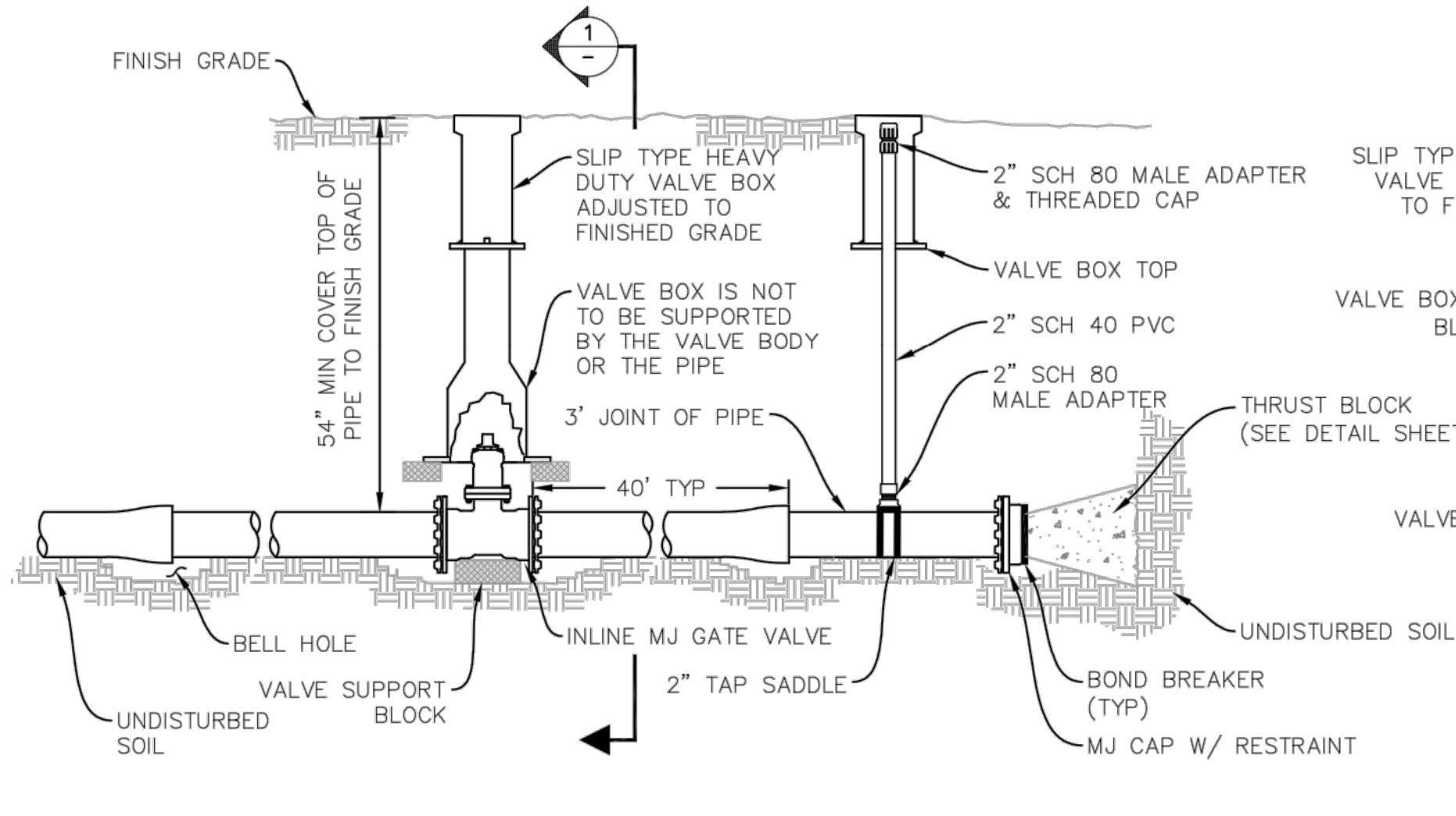
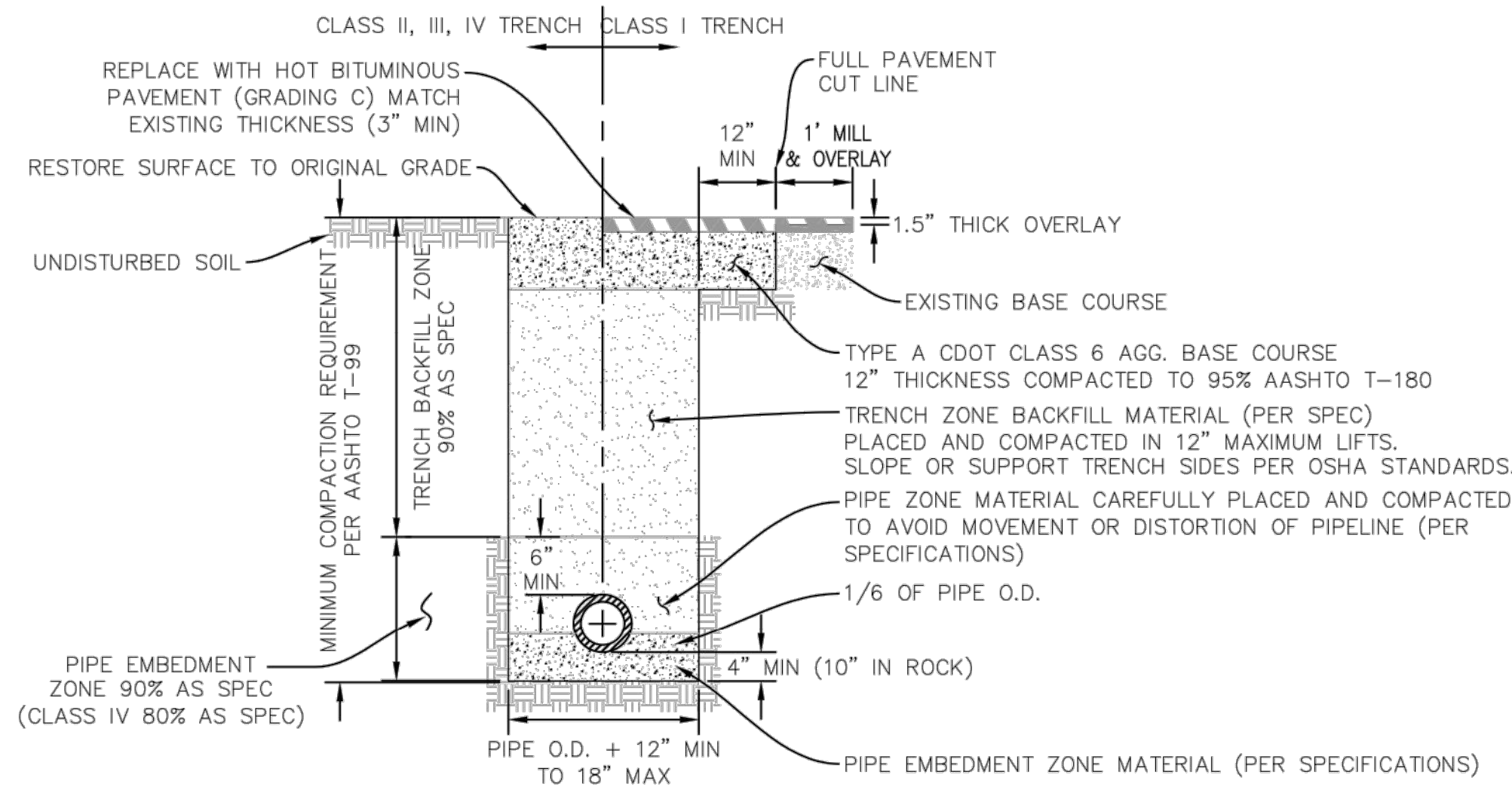
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DRAWN BY: kac PROJECT: 2060-001
 CHECKED BY: jwm
 ORIGINAL SHEET SIZE: 22 x 34

FUTURADO DEVELOPMENT LLC
 Adeles Acres Subdivision
 Road Cross Section Views
 Lily Street-Marley Avenue

C58



DATE:	JANUARY 2021
CAD:	B.BOX
DESIGN:	
CHECKED:	VERT. SCALE: NTS
APPROVED:	D.PRISKE

	HORIZ. SCALE: NTS
--	-------------------



UTE WATER CONSERVANCY DISTRICT
GRAND JUNCTION, CO 81505
PH. (970)242-7491
FX. (970)242-9189

NO.	REVISION	DATE	BY
1			
2			
3			
4			

UTE WATER
STANDARD DETAILS

DETAIL SHEET 1 OF 2

SHEET NO.
1

- NOTES:**
1. WATER LINES ARE TO BE INSTALLED ON THE NORTH OR EAST SIDE OF THE R.O.W., NO LESS THAN 2' OR MORE THAN 3' FROM LIP OF CURB UNLESS OTHERWISE SHOWN.
 2. ALL FERROUS METAL PIPE, VALVES, FITTINGS, AND APPURTENANCES SHALL BE WRAPPED WITH A MINIMUM 8 MIL HIGH DENSITY POLYETHYLENE MATERIAL PRIOR TO BACKFILLING.
 3. DEADENDS MUST EXTEND A MIN. OF 43' BEYOND THE LAST VALVE, TO A POINT BEYOND SURFACE IMPROVEMENTS, OR TO THE PROJECT LIMITS, WHICHEVER IS GREATER.
 4. AVOID METER SERVICES OFF OF DEADEND LINES.
 5. HYDRANT LOCATIONS TO BE AT INTERSECTIONS AND/OR ON PARCEL LINES AND PAIRED WITH WATER METER SERVICES.

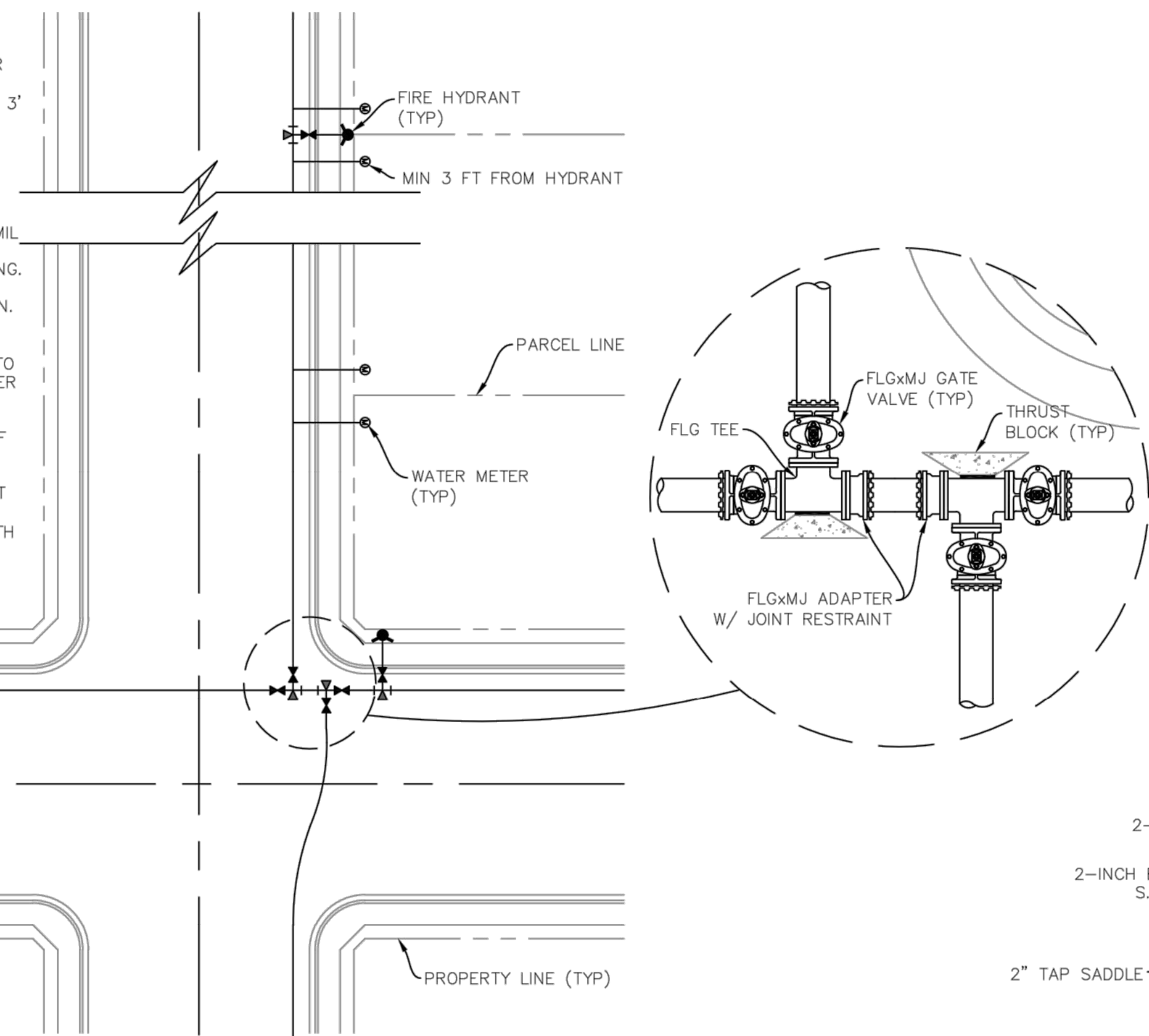


TABLE FOR CONCRETE THRUST BLOCKING

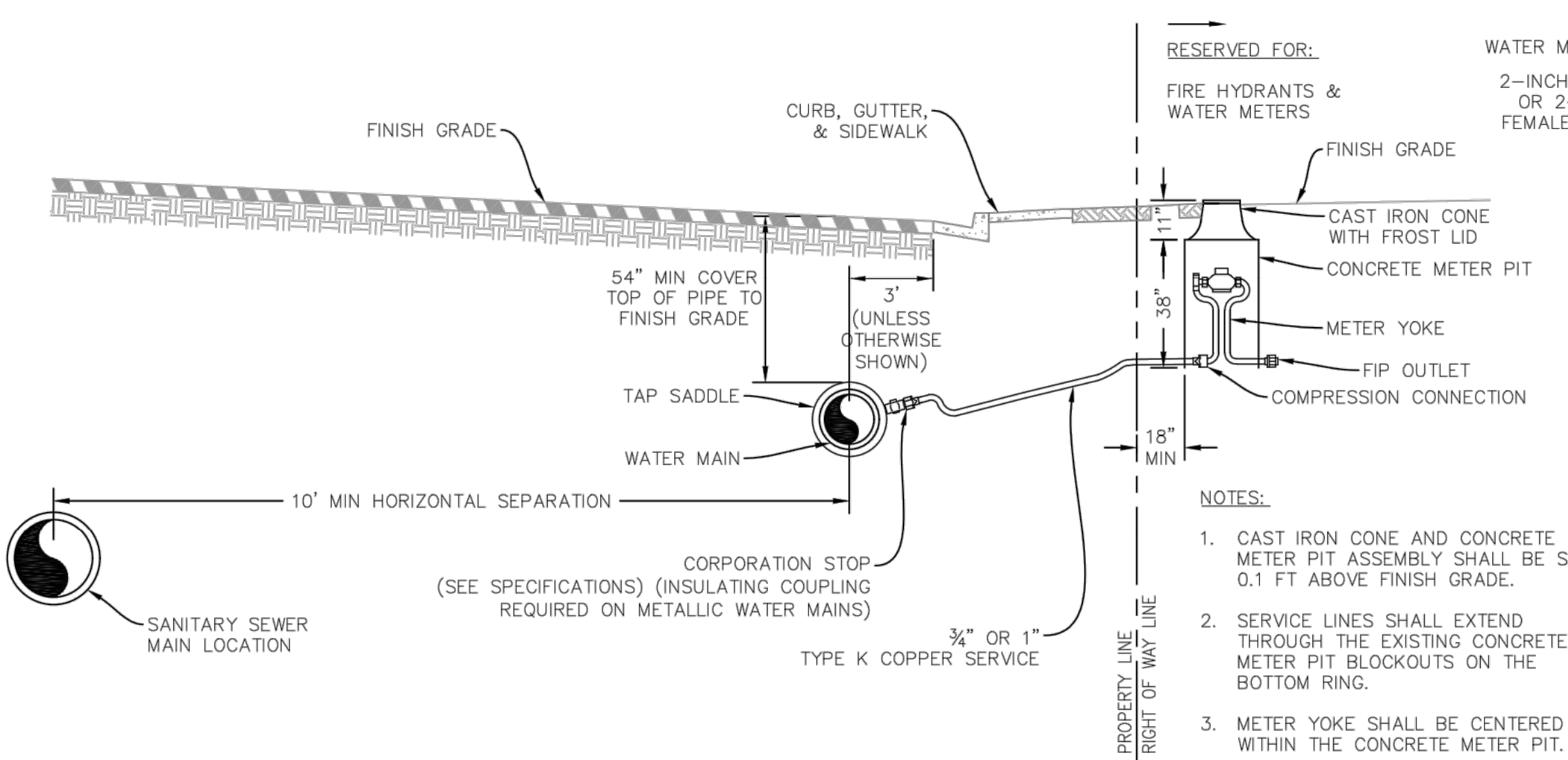
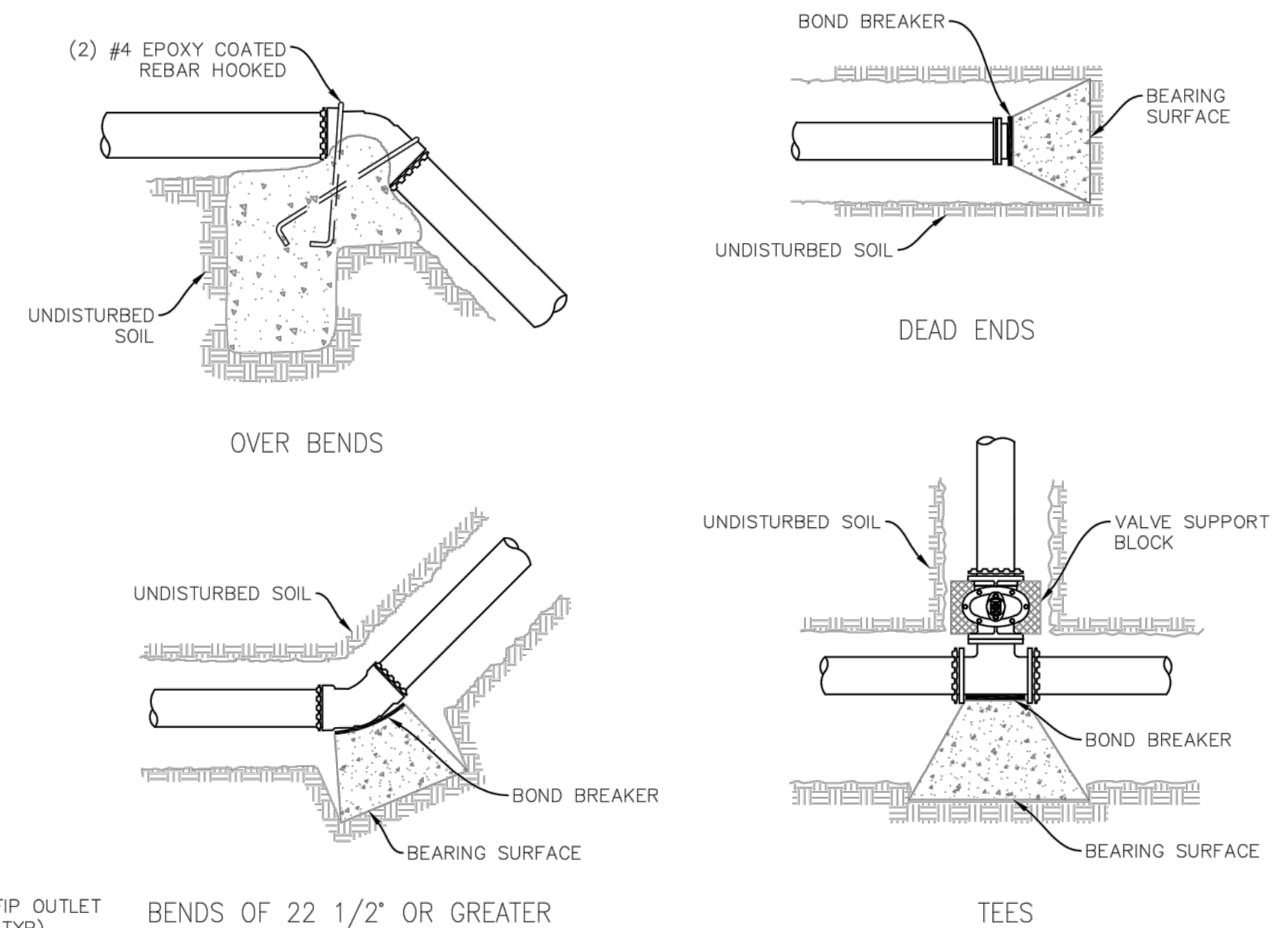
SIZE	BENDS			TEE BRANCH SIZE AND DEAD ENDS
	90'	45'	22 1/2'	
6	4.0	2.2	1.1	2.8
8	7.1	3.8	2.0	5.0
10	11.1	6.0	3.0	7.8
12	16.0	8.6	4.4	11.3
14	21.7	11.8	6.0	15.4
16	28.4	15.3	8.0	20.0

FIRE HYDRANT THRUST BLOCKS SHALL BE A MIN OF 1/4 CU. YD. IN MASS AND HAVE A MIN BEARING AREA OF 5 SQ. FT.

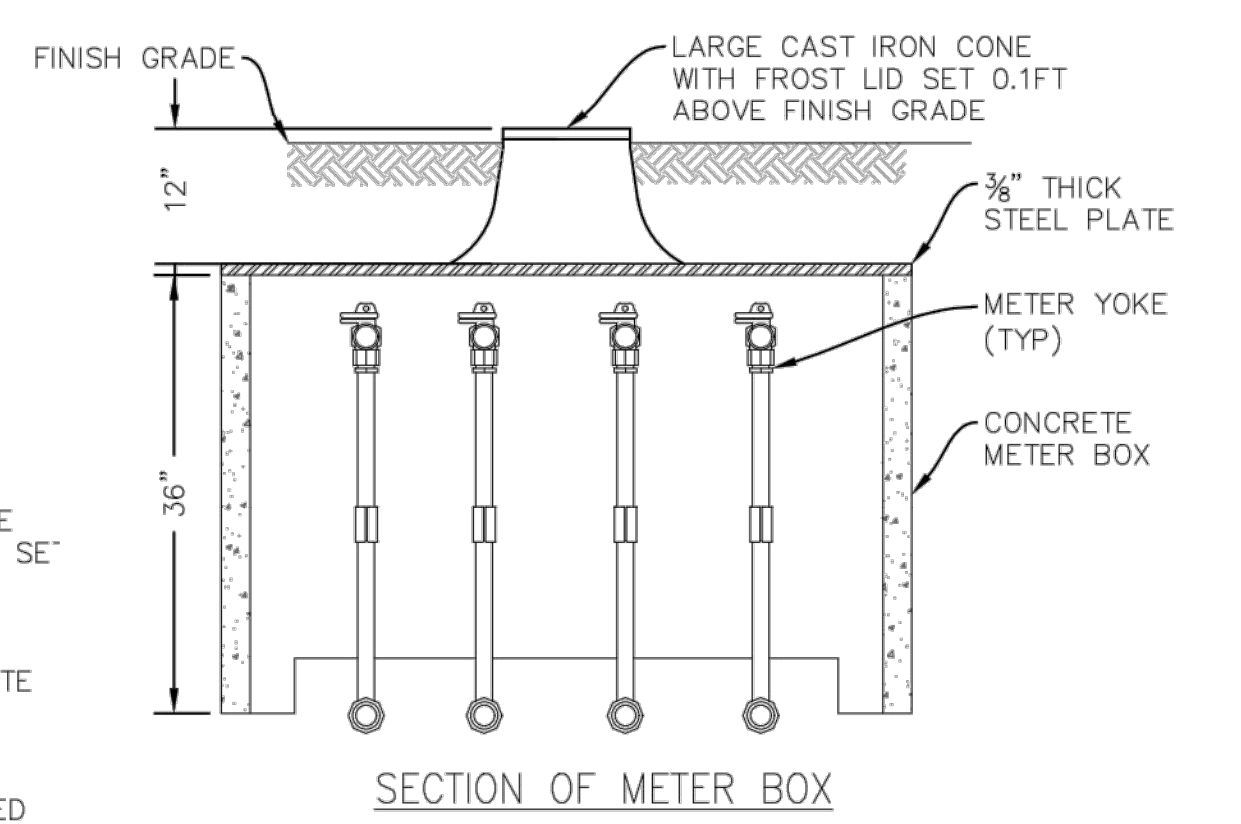
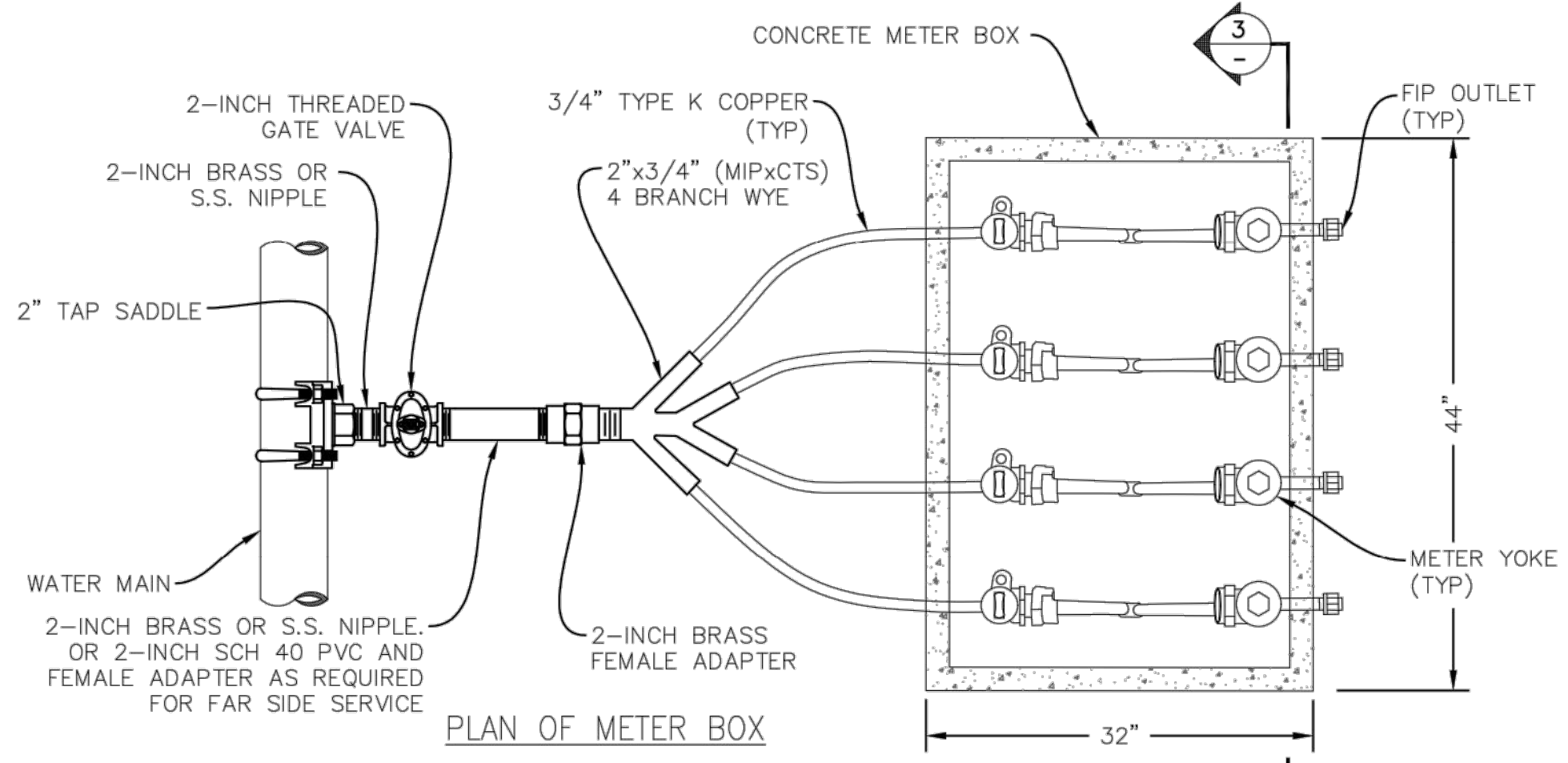
AREAS GIVEN ARE BASED ON INTERNAL STATIC PRESSURE OF 100 P.S.I. AND SOIL BEARING CAPACITY OF 1,000 LBS. PER SQ. FT.

AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING TABULATED VALUES BY A CORRECTION FACTOR "F"

F = ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS PER SQ. INCH.
ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.

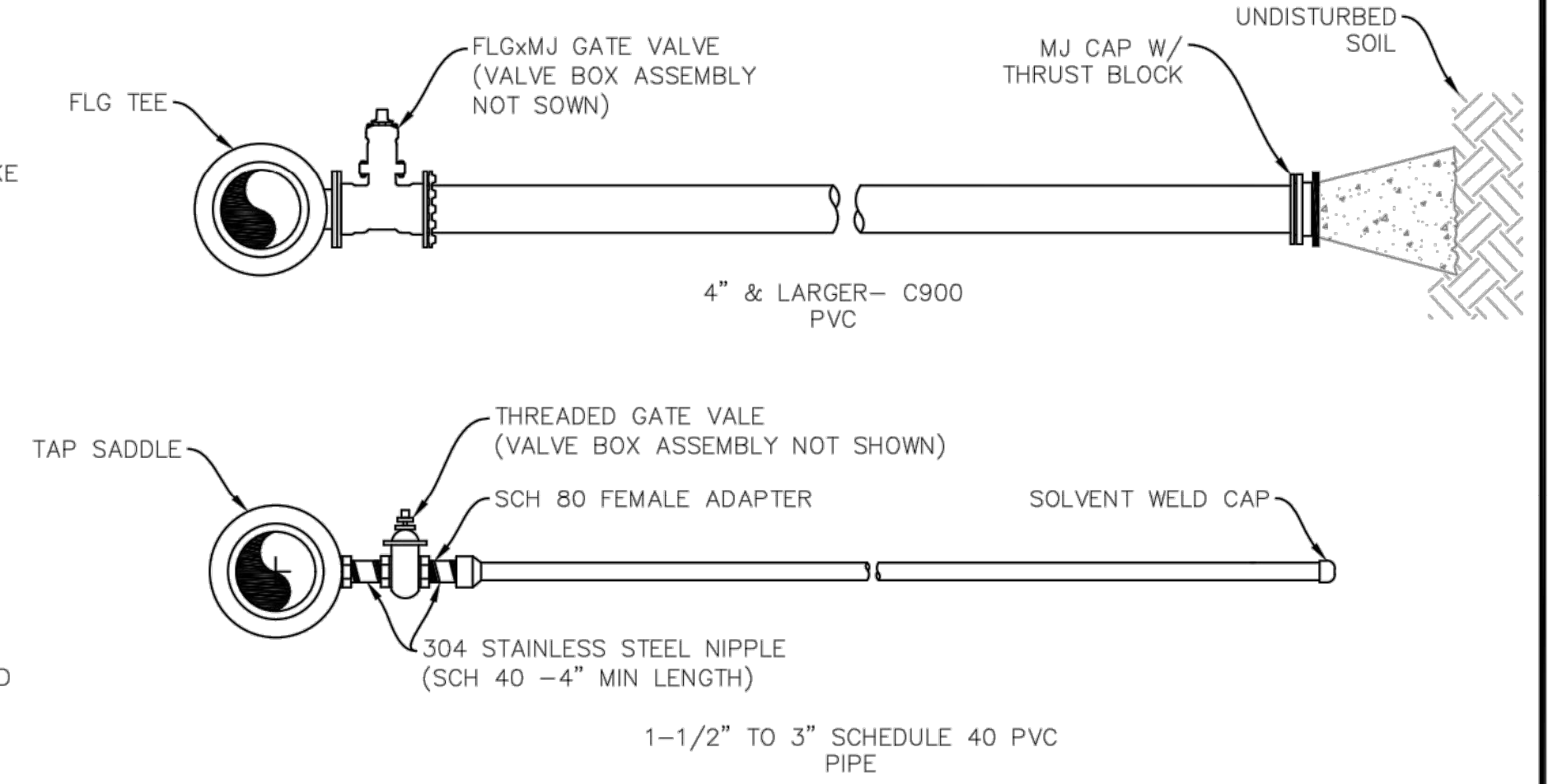


- NOTES:**
1. CAST IRON CONE AND CONCRETE METER PIT ASSEMBLY SHALL BE SET 0.1 FT ABOVE FINISH GRADE.
 2. SERVICE LINES SHALL EXTEND THROUGH THE EXISTING CONCRETE METER PIT BLOCKOUTS ON THE BOTTOM RING.
 3. METER YOKE SHALL BE CENTERED WITHIN THE CONCRETE METER PIT.



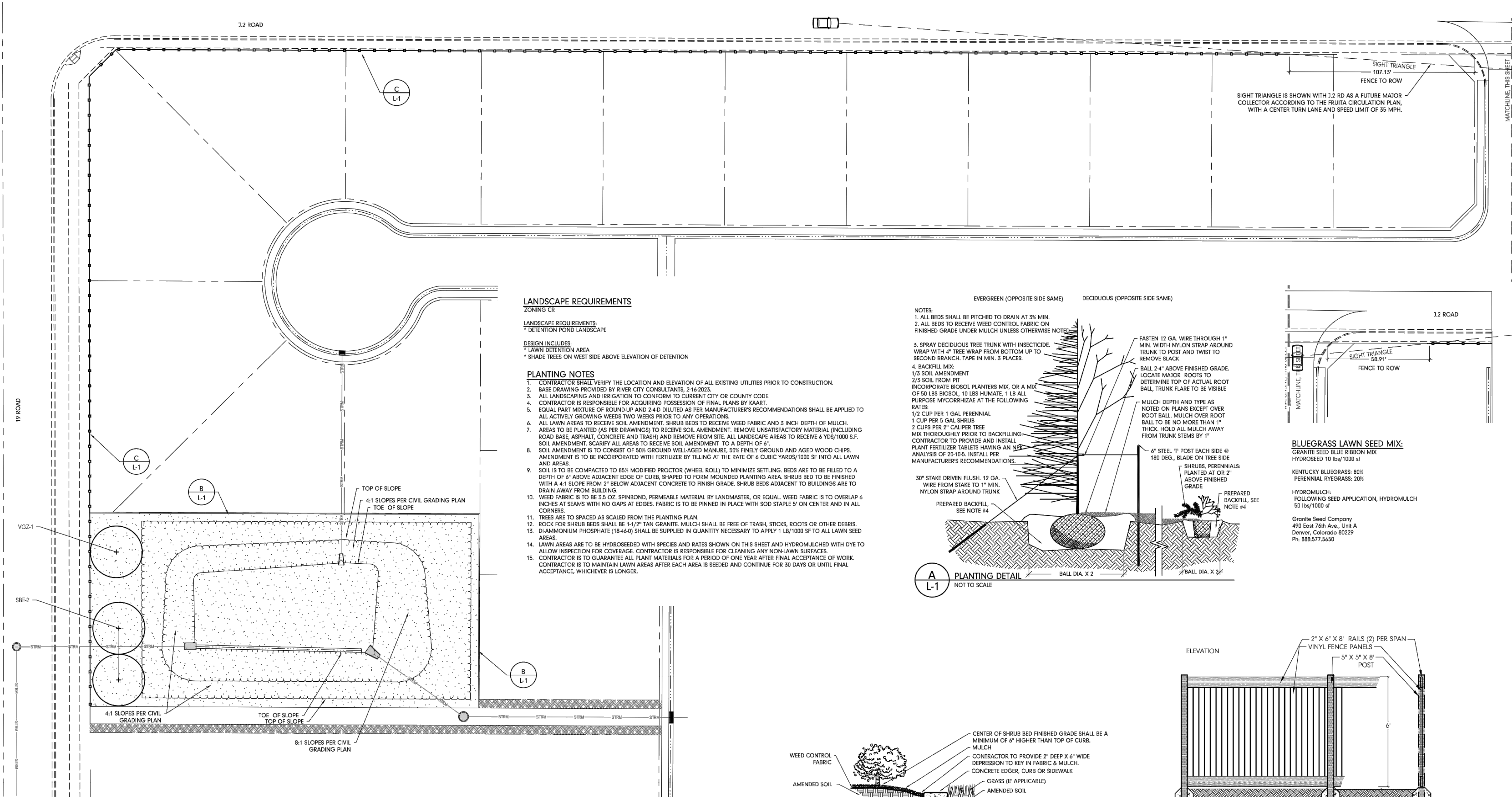
- NOTES:**
1. CAST IRON CONE, CONCRETE METER BOX, STEEL PLATE, & METER YOKES TO BE PROVIDED BY DISTRICT
 2. CAST IRON CONE AND CONCRETE METER BOX ASSEMBLY SHALL BE SET 0.1 FT ABOVE FINISH GRADE

4 METER GANG BOX DETAIL (L)
UTE WATER STANDARD DETAILS
SCALE: NTS



- NOTES:**
1. ALL COMMERCIAL SERVICE LINES SHALL HAVE A 3/4" TAP SADDLE, CORP STOP AND COPPER INSTALLED AT THE END TO ALLOW FOR BLEEDING OF AIR. CONTRACTOR SHALL DIG UP AND TURN OFF CORP STOP AFTER TESTING HAS BEEN COMPLETED AND WATER LINE IS ACCEPTED BY UTE WATER.
 2. SERVICE LINE ENDPOINT IS TO EXTEND TO PROPERTY SIDE OF THE RIGHT OF WAY LINE AND MARKED WITH A STEEL POST.

ADELES ACRES FUTURADO
 FRUITA, COLORADO

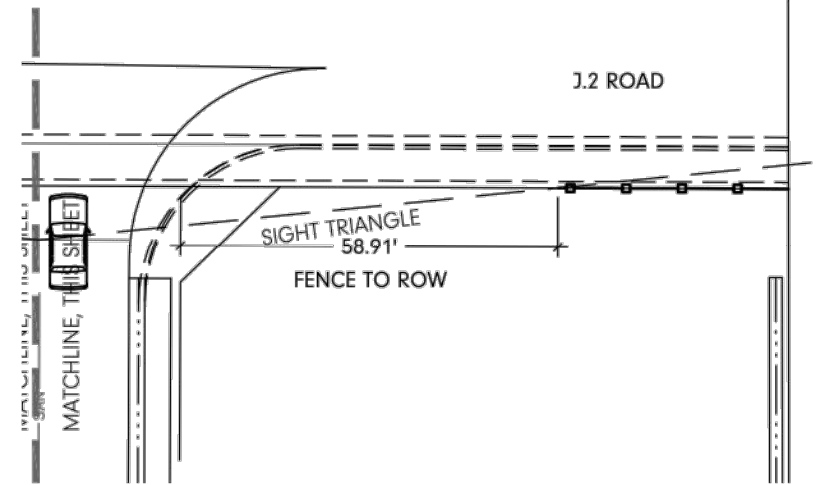
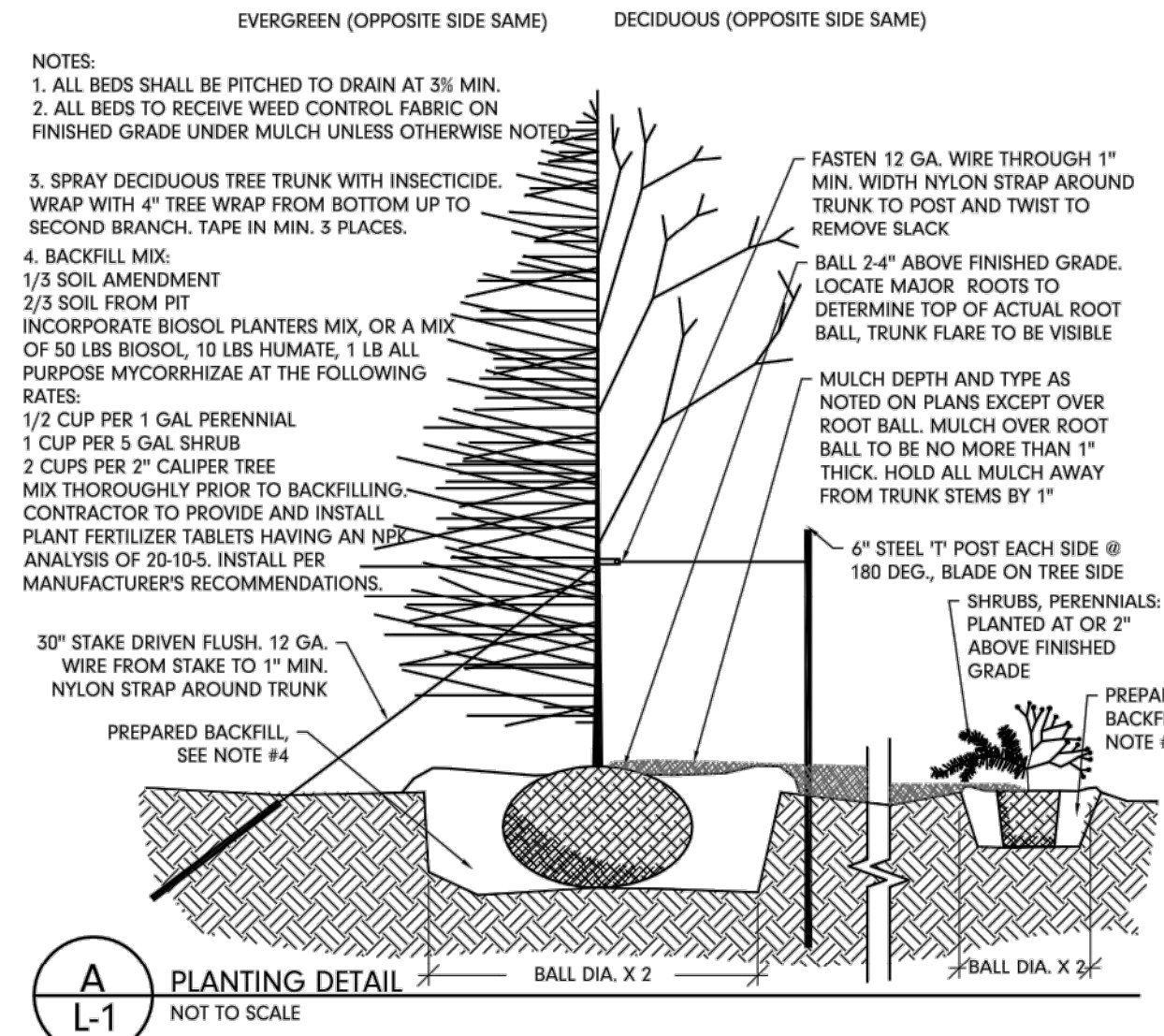


LANDSCAPE REQUIREMENTS

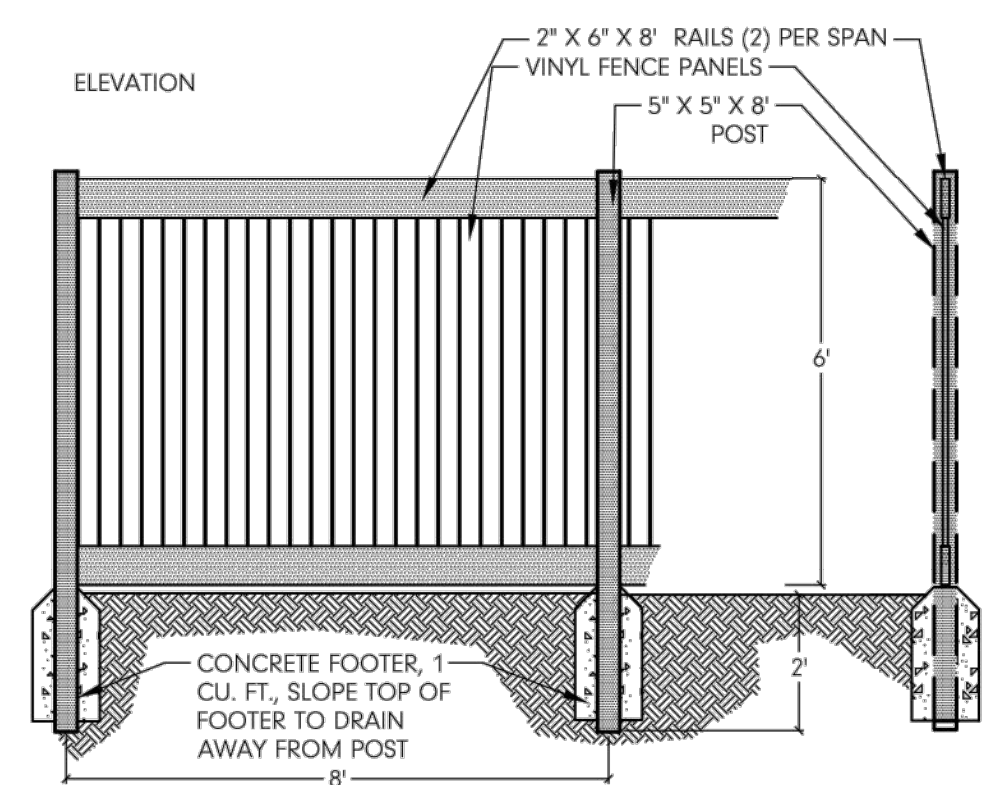
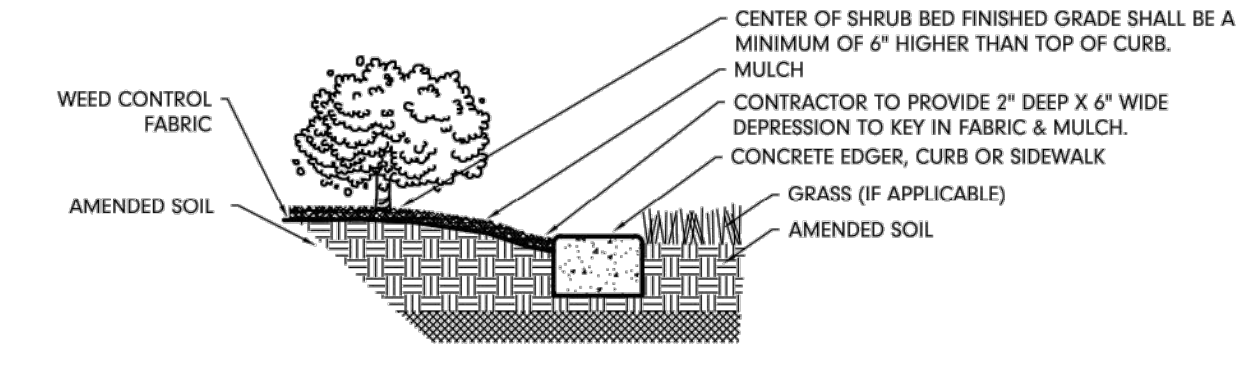
- ZONING CR
 LANDSCAPE REQUIREMENTS:
 * DETENTION POND LANDSCAPE
 DESIGN INCLUDES:
 * LAWN DETENTION AREA
 * SHADE TREES ON WEST SIDE ABOVE ELEVATION OF DETENTION

PLANTING NOTES

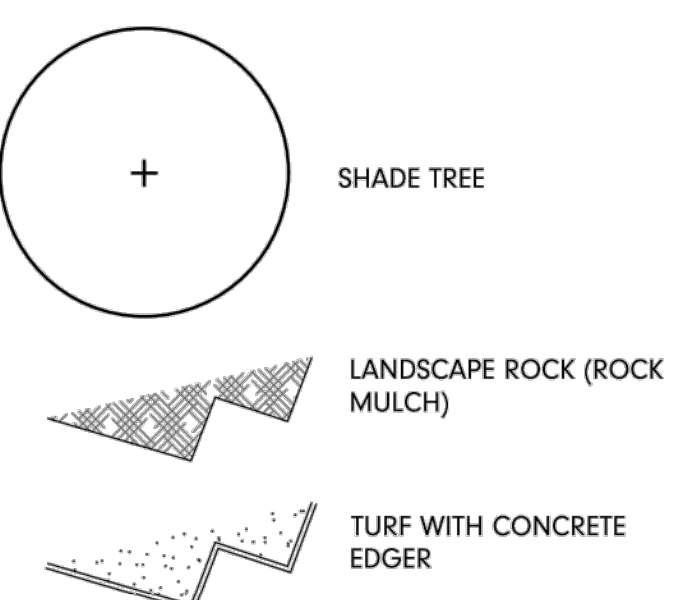
- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- BASE DRAWING PROVIDED BY RIVER CITY CONSULTANTS, 2-16-2023.
- ALL LANDSCAPING AND IRRIGATION TO CONFORM TO CURRENT CITY OR COUNTY CODE.
- CONTRACTOR IS RESPONSIBLE FOR ACQUIRING POSSESSION OF FINAL PLANS BY KAART.
- EQUAL PART MIXTURE OF ROUND-UP AND 2-4-D DILUTED AS PER MANUFACTURER'S RECOMMENDATIONS SHALL BE APPLIED TO ALL ACTIVELY GROWING WEEDS TWO WEEKS PRIOR TO ANY OPERATIONS.
- ALL LAWN AREAS TO RECEIVE SOIL AMENDMENT. SHRUB BEDS TO RECEIVE WEED FABRIC AND 3" DEPTH OF MULCH.
- AREAS TO BE PLANTED (AS PER DRAWINGS) TO RECEIVE SOIL AMENDMENT. REMOVE UNSATISFACTORY MATERIAL (INCLUDING ROAD BASE, ASPHALT, CONCRETE AND TRASH) AND REMOVE FROM SITE. ALL LANDSCAPE AREAS TO RECEIVE 6 YDS/1000 S.F. SOIL AMENDMENT. SCARIFY ALL AREAS TO RECEIVE SOIL AMENDMENT TO A DEPTH OF 6".
- SOIL AMENDMENT IS TO CONSIST OF 50% GROUND WELL-AGED MANURE, 50% FINELY GROUND AND AGED WOOD CHIPS. AMENDMENT IS TO BE INCORPORATED WITH FERTILIZER BY TILLING AT THE RATE OF 6 CUBIC YARDS/1000 SF INTO ALL LAWN AND AREAS.
- SOIL IS TO BE COMPACTED TO 85% MODIFIED PROCTOR (WHEEL ROLL) TO MINIMIZE SETTLING. BEDS ARE TO BE FILLED TO A DEPTH OF 6" ABOVE ADJACENT EDGE OF CURB, SHAPED TO FORM MOUNDED PLANTING AREA. SHRUB BED TO BE FINISHED WITH A 4:1 SLOPE FROM 2" BELOW ADJACENT CONCRETE TO FINISH GRADE. SHRUB BEDS ADJACENT TO BUILDINGS ARE TO DRAIN AWAY FROM BUILDING.
- WEED FABRIC IS TO BE 3.5 OZ. SPINBOND, PERMEABLE MATERIAL BY LANDMASTER, OR EQUAL. WEED FABRIC IS TO OVERLAP 6 INCHES AT SEAMS WITH NO GAPS AT EDGES. FABRIC IS TO BE PINNED IN PLACE WITH SOD STAPLE 5' ON CENTER AND IN ALL CORNERS.
- TREES ARE TO BE SPACED AS SCALED FROM THE PLANTING PLAN.
- ROCK FOR SHRUB BEDS SHALL BE 1-1/2" TAN GRANITE. MULCH SHALL BE FREE OF TRASH, STICKS, ROOTS OR OTHER DEBRIS.
- DIAMMONIUM PHOSPHATE (18-46-0) SHALL BE SUPPLIED IN QUANTITY NECESSARY TO APPLY 1 LB/1000 SF TO ALL LAWN SEED AREAS.
- LAWN AREAS ARE TO BE HYDROSEEDED WITH SPECIES AND RATES SHOWN ON THIS SHEET AND HYDROMULCHED WITH DYE TO ALLOW INSPECTION FOR COVERAGE. CONTRACTOR IS RESPONSIBLE FOR CLEANING ANY NON-LAWN SURFACES.
- CONTRACTOR IS TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF WORK. CONTRACTOR IS TO MAINTAIN LAWN AREAS AFTER EACH AREA IS SEEDED AND CONTINUE FOR 30 DAYS OR UNTIL FINAL ACCEPTANCE, WHICHEVER IS LONGER.



BLUEGRASS LAWN SEED MIX:
 GRANITE SEED BLUE RIBBON MIX
 HYDROSEED 10 lbs/1000 sf
 KENTUCKY BLUEGRASS, 80%
 PERENNIAL RYEGRASS, 20%
 HYDROMULCH:
 FOLLOWING SEED APPLICATION, HYDROMULCH
 50 lbs/1000 sf
 Granite Seed Company
 490 East 76th Ave., Unit A
 Denver, Colorado 80229
 Ph: 888.577.5650



LANDSCAPE LEGEND



NOTE:

STATE D.W. REQUIRES THESE PLANS TO BE PREPARED AND STAMPED BY A LICENSED LANDSCAPE ARCHITECT. SUBSEQUENTLY, ANY CHANGES OR MODIFICATIONS TO THESE PLANS, INCLUDING BUT NOT LIMITED TO LANDSCAPE MATERIAL SUBSTITUTIONS AND/OR RELOCATIONS, MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. FAILURE TO DO SO IS CONSIDERED A CRIMINAL OFFENSE PER CRS 12-45.

PLANT LIST

Qty	Key	Common Name	Scientific Name	Size	Mature Height
Deciduous Trees					
2	SBE	Sensation Box Elder	<i>Acer negundo</i> 'Sensation'	2"	75-10'
1	VGZ	Village Green Zelkova	<i>Zelkova serrata</i> 'Village Green'	2"	40-50'

NOTES:

- PLANT GROWTH CHARACTERISTICS VARY DUE TO ENVIRONMENTAL CONDITIONS, THEREFORE A RANGE OF AVERAGE MATURE HEIGHTS ARE INDICATED.
- ALL LANDSCAPE AREAS TO BE WATERED WITH AN UNDERGROUND, PRESSURIZED IRRIGATION SYSTEM.

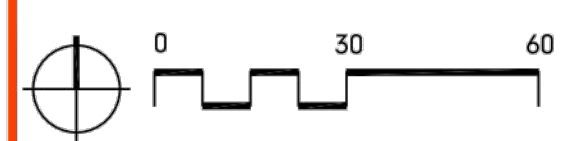
ACCEPTANCE BLOCK

THE CITY OF FRUITA REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY PLANNER

Date



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