



# GRAND VALLEY ESTATES FILING II

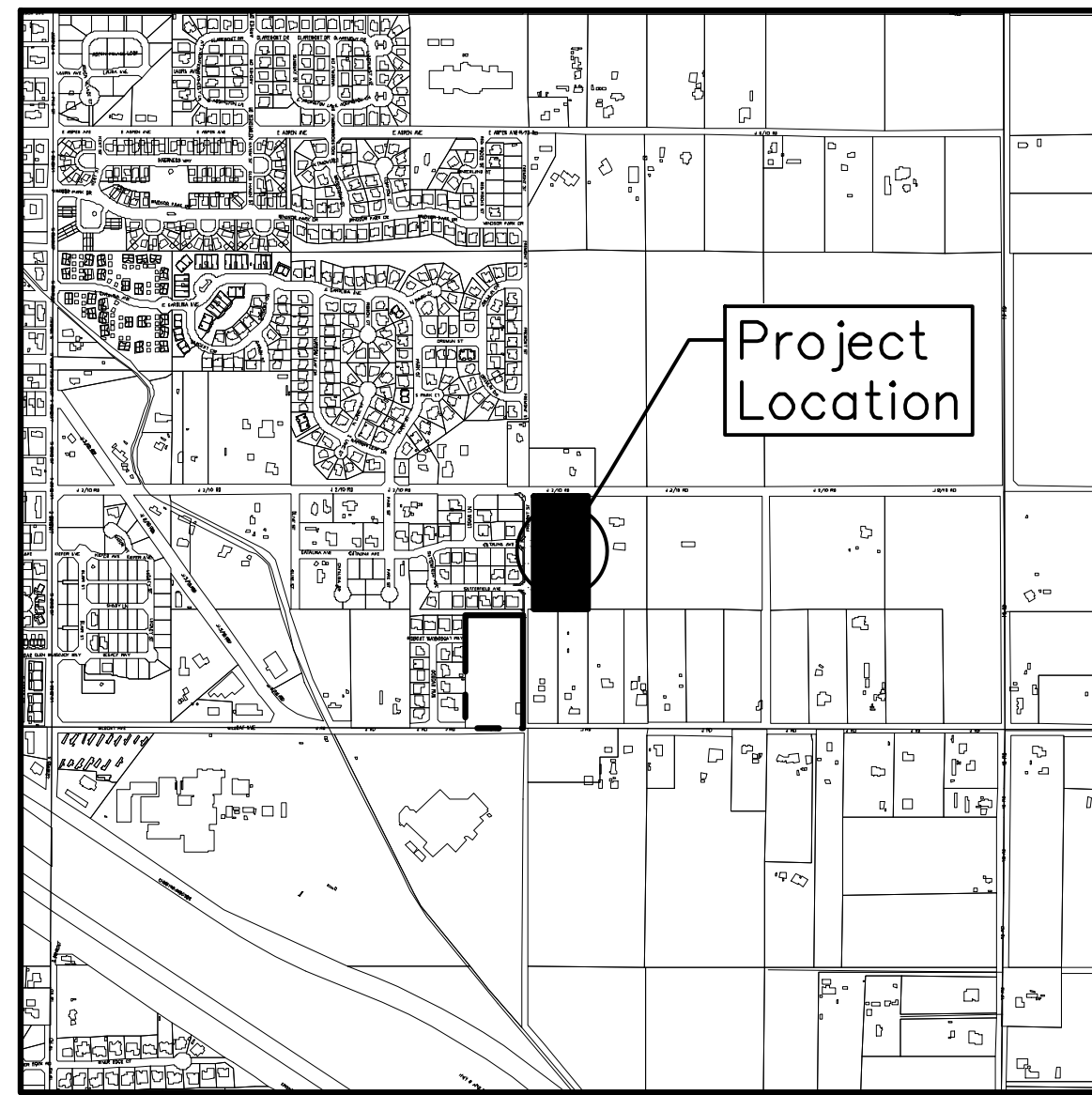
1849 J 2/10 Rd  
Fuita, Colorado 81521

## CONSTRUCTION PLANS

Prepared for:

### GRAND VALLEY ESTATES DEVELOPMENT Co, LLC

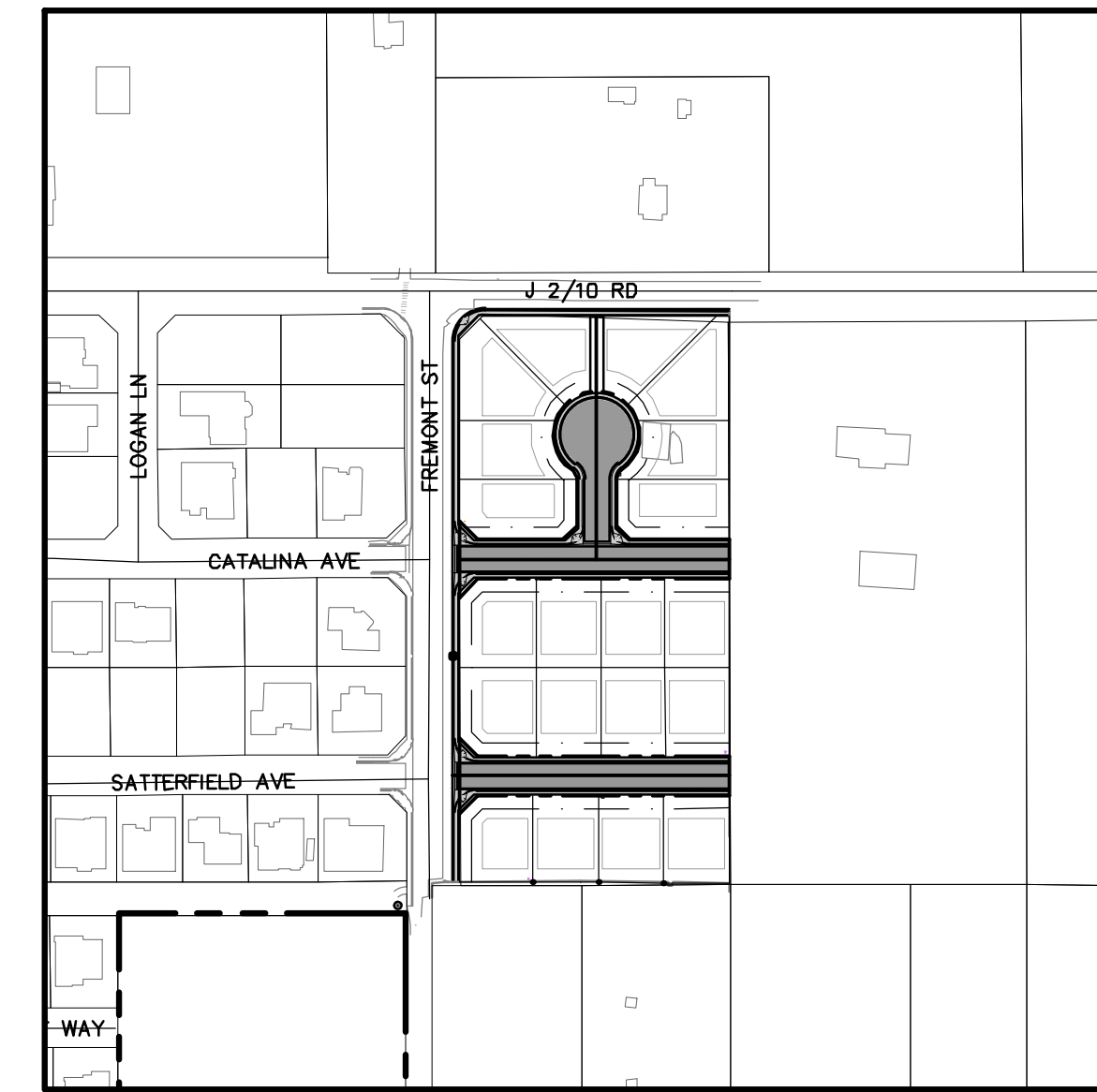
**DRAFT**  
Review Set  
(NOT FOR CONSTRUCTION)



**PROJECT LOCATION MAP**  
(1" = 1000')

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**PROJECT OVERVIEW**  
(1" = 200')

**UTILITY CONTACTS**

Sewer – City of Fuita	970-858-9558
Water – Ute Water	970-242-7491
Electric – Xcel Energy	970-242-2626
Gas – Xcel Energy	970-242-2626
Phone – CenturyLink	970-244-4311
Cable – Charter	970-697-1222
Irrigation – Grand Valley Irrigation	970-242-2762

**DESIGN TEAM CONTACTS**

**OWNER/DEVELOPER:**

Grand Valley Estates Development Co, LLC  
PO Box 119  
Fuita, CO 81521

**CIVIL:**

RIVER CITY CONSULTANTS, INC.  
Jeff Mace  
744 Horizon Ct, Suite 110  
Grand Junction, CO 81506  
970.241.4722  
jmace@rccwest.com

**SURVEY:**

RIVER CITY CONSULTANTS, INC.  
Alec Thomas  
744 Horizon Ct, Suite 110  
Grand Junction, CO 81506  
970.241.4722  
athomas@rccwest.com

**GEOTECHNICAL:**

Western Colorado Testing, Inc  
Michael Berry  
529 25 1/2 Rd, Ste B101  
Grand Junction, CO 81505  
970.241.7700

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

**RIVER CITY CONSULTANTS**  
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Grand Junction, CO 81506  
www.rccwest.com  
Phone: 970.241.4722  
Fax: 970.241.7681

DATE ISSUED: 2018.10.05  
PROJECT #: 1129-004  
DRAWN BY: bms  
CHECKED BY: jwm

**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
**GRAND VALLEY ESTATES FILING II**  
Cover  
C0



**LEGEND**

	Toe of Slope		Existing Manhole
	Top of Slope		Existing Manhole
	Edge of Water		Proposed Manhole
	100-YR Flood Limits		Proposed Services
	500-YR Flood Limits		Cleanouts
	Flowway Limits		Inlets
	Edge of Wetlands		Fire Hydrant/Blowoff/Meter
	Tree Mass Area		Well/Yard Hydrant/Box
	Edge of Asphalt		Valve/Cap/Thrust Block
	Edge of Concrete		Box/Pump/Valve
	Edge of Gravel		Roof Drain/Vent Pipe/Pedestal
	Flowline		Utility Boxes
	Railroad		Utility Pedestals
	Building		Meters
	Building Overhang		Utility Marker/Transformer/Valve
	Wire Fence		Monitor Well/Borehole/Pathole
	Chain Fence		Decid Tree/Conif Tree/Shrub
	Gate		Utility Pole/Guy Wire/Guy Pole
	Wood Fence		Intersection Sign/Sign/Delineator
	Guardrail		Bollard/Light/Mailbox
	Existing Major Contour		Proposed Asphalt
	Existing Minor Contour		Proposed Concrete
	Existing Cable TV		Proposed Gravel
	Existing Comm Duct		Proposed Building
	Existing Electric		Proposed Demolition/Removal
	Existing Fiber Optic		Proposed Milling
	Existing Gas		Proposed Riprap
	Existing Irrigation		Proposed Vegetation
	Existing Overhead Electric		Proposed Wall
	Existing Overhead Telephone		Proposed Truncated Domes
	Existing Storm Drain		Proposed CGS (Catch/Spill)
	Existing Sanitary Sewer		Traffic Flow Direction
	Existing Sewer Force Main		
	Existing Telephone		
	Existing Unknown Utility		
	Existing Water		
	Cut Extents		
	Fill Extents		
	Proposed Demolition or Removal		
	Drainage Flowline		
	Proposed Parcel Boundary		
	Proposed Easement		
	Proposed Lot Line		
	Proposed Right of Way		
	Proposed Setback		
	Proposed Tract		
	Proposed Striping		
	Milling Limits		
	Sawcut Line		
	Proposed Major Contour		
	Proposed Minor Contour		
	Common Utilities		
	Irrigation Line		
	Irrigation Service Line		
	Storm Drain Line (with Flow Direction)		
	Sanitary Sewer Line (with Flow Direction)		
	Sanitary Sewer Force Main Line		
	Sanitary Sewer Service Line		
	Water Line		
	Water Service Line		

**GENERAL CONSTRUCTION NOTES**

- All boundary linework, project control, underground utility locations, and topographic survey data shown hereon was provided by River City Consultants, Inc. Locations of underground utilities as shown hereon are based on visible evidence from above ground structures, markings by the respective utility companies and/or their locator services, and drawings provided by the utility companies. No excavations were made during this survey to determine exact locations and depths of underground utilities and structures. Actual locations may vary from those as shown hereon and additional underground utilities may exist. Existence and locations of all underground utilities and structures should be verified prior to any construction on this property.
- Contractor shall give 48 hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior to commencement of work. Contractor shall assure himself that all construction permits have been obtained prior to commencement of work. All permits obtainable by the Contractor are required to be obtained at the Contractor's expense.
- The Contractor shall limit construction activities to those areas within the project limits of disturbance and/or toes of slopes as shown on the plans and cross sections. Any disturbance beyond these limits shall be restored to the original condition by the contractor at the contractor's expense. Construction activities in addition to normal construction procedure shall include the parking of vehicles or equipment, disposal of debris or any other action which could alter the existing conditions. The contractor shall not stockpile or store equipment within 30 feet of the edge of traveled way during the project, unless protected by temporary barrier or existing guardrail.
- All satisfactory excess excavation from either utility or street construction shall be spread uniformly across the lots as directed by the Owner or his designated representative. All unsatisfactory or waste material including vegetation, roots, concrete, rocks, or other debris, shall be hauled from the project by the Contractor at the Contractor's expense.
- All road construction and related work, all materials, performance, and quality of work, shall conform to the requirements of the City of Grand Junction Standard Specifications.
- All utility installations are to be performed in accordance with the technical specifications of the City of Grand Junction. All water and sewer lines must be tested and approved prior to street construction. All waterlines are to be constructed in accordance with the technical specifications of Ute Water District.
- All sign fabrication and installation shall conform to the Manual on Uniform Traffic Control Devices (MUTCD) and City of Grand Junction standards.

**PAVING CONSTRUCTION NOTES**

- All road widths, and radii are to flowline unless noted otherwise. Any "spot" design elevations are to flowline unless otherwise noted.
- The top of existing ground or the top of areas cut to final grade are to be scarified, brought to the optimal water content, and recompacted to 95% of AASHTO T99 before placing fill or before base is placed.
- Contractor is to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered or filled with dirt or debris by the Contractor shall be cleaned and repaired or replaced at no expense to the Owner.
- Where proposed pavement is to match existing pavement, sawcut the existing pavement 1 foot back from the existing edge of and remove pavement. From the sawcut line, mill existing pavement half existing pavement depth (or a minimum of 2 inches), a width of 2 feet. Existing surface is to be tack-coated before new pavement is placed. See T-Lock detail, sheet \_\_\_\_.
- Include backing of curb and gutter and/or sidewalk with native fill material per the typical roadway section in the unit price bid for embankment.
- For site specific geotechnical requirements and recommendations, see the referenced geotechnical report which shall supercede all other geotechnical references:

**Western Colorado Testing Inc.**  
**Geotechnical Investigation for Grand Valley Estates Subdivision**  
**Fruita, Colorado**  
**Project Number: 215005**  
**November 8, 2005**

**TESTING NOTES**

- Contractor shall familiarize themselves with the geotechnical testing requirements of the City of Grand Junction. It shall be the responsibility of the Contractor to contact the Testing Firm 24 hours in advance of the need for testing, and to verify that the appropriate number of tests have been taken. The results of the required types of tests and number of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and re-tests shall be performed until passing results are obtained. All utility lines, including service lines, falling within the Public Right-of-Way or the Public easements shall be tested. Payment of testing is the Contractor's responsibility and shall not be paid for separately but shall be incidental to the work.
- Only materials on which a proctor and accurate nuclear density test can be performed are approved for utility trench backfill, unless otherwise approved by the Engineer.
- Backfilling of trenches without testing during the backfill operation is strongly discouraged and will result in removal and replacement of backfill back to the last documented passing test.

**SANITARY SEWER CONSTRUCTION NOTES**

- All sewer line construction shall conform to the City of Grand Junction's Standards and Specifications.
- Contractor shall have one signed copy of plans and a copy of the City of Grand Junction's Standard Specifications at the job site at all times.
- All sewer mains shall be PVC SDR-35 (ASTM 3034) unless otherwise noted.
- All sewer mains shall be laid to grade utilizing a pipe laser.
- All service line connections to new mains shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.
- Service line connections to existing non-PVC mains shall be accomplished using "Inserta Tees" manufactured by Fowler Manufacturing Company of Hillsboro, Oregon. For existing PVC mains, tapping saddles shall be used.
- 4 inch services shall not be connected directly into manholes. All 6 inch services shall be connected to the main at a manhole.
- The contractor shall notify the City Inspector 48 hours prior to commencement of construction.
- The contractor is responsible for all required sewer line testing to be completed in the presence of the engineer or his representative. Pressure testing will be performed after installation of dry utilities, after all compaction of street subgrade and prior to street paving. Final lamping will also be accomplished after paving is completed. These tests shall be the minimum basis of acceptance of the sewer line extension.
- The contractor shall obtain City of Grand Junction street cut permit for all work within existing city right-of-way prior to construction.
- A clay cut-off wall shall be placed 10 feet upstream from all new manholes unless otherwise noted. The cut-off wall shall extend from 6 inches below to 6 inches above granular backfill material and shall be 2 feet wide. If native material is not suitable, the contractor shall import material approved by the engineer.
- Sewer service stub outs shall be capped and plugged. Stub out shall be marked with a 4x4 inch post painted green buried with 3 feet above grade. As-built surveying for vertical grade of stub out required prior to backfill.
- Red line as-builts shall be submitted to the City Development Engineer at least 72 hours prior to paving for review.
- The City of Grand Junction requires tracer wires for pipes and additional sanitary sewer clean-outs. Details are provided in the City's Standard Contract Documents.
- Call Mark Barslund at 201-1362 48 hours prior to construction.

**WATERLINE CONSTRUCTION NOTES**

- All water line construction shall be in accordance with the Ute Water District Standards and Specifications.
- Contractor shall notify the District 48 hours PRIOR to the beginning of construction.
- All trenches shall be compacted according to the recommendations in the Geotechnical Report. Contractor shall be required to perform all compaction tests through a certified soils lab.
- Minimum cover required over top of new waterlines is 4'-6" (54 inches).
- All water mains to be DR-18 PVC conforming to AWWA C-900.
- All water mains are to be bedded per City of Grand Junction Standards.
- All service connections to be 3/4 inch Type "K" copper, unless specified otherwise.
- Ductile iron fittings to conform to AWWA C-110.
- Fire Hydrants shall conform to AWWA C-502.
- All materials, labor and equipment required for testing and disinfection of waterlines shall be furnished by Contractor. Disinfection of waterlines shall conform to Ute Water District Standards.
- All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per the District Details and Technical Specifications.
- Only material on which a proctor test can be performed and accurate nuclear density tests can be run are approved for waterline trench backfill unless otherwise approved by the Engineer.
- All water meter pits shall be located on opposite lot side of dry utility transformers and pedestals. There shall be no dry utility transformers/pedestals located within five feet of any fire hydrant. These are utility/customer/consumer safety issues.
- No privacy fences are to be allowed to enclose meter pits or fire hydrants located within streets & road ROWs and multi-purpose easements.

**STORM DRAIN CONSTRUCTION NOTES**

- All Reinforced Concrete storm drain pipe shall conform to ASTM Standard Specifications, C-76, Class III unless otherwise noted.
- All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR-35 unless otherwise noted.
- All High Density Polyethylene (HDPE) pipe and fittings to conform to the following:  
 12 inch to 36 inch shall meet ASSHTO M294, and  
 42 inch to 48 inch shall meet ASSHTO MP6.
- All 30 inch and larger HDPE pipe shall be covered to top of pipe with Class 6 base course.

**IRRIGATION CONSTRUCTION NOTES**

- 4" and larger irrigation lines are to be constructed of bell and spigot Class 200 PVC.
- 2" irrigation main lines are to be constructed of Class 200 PVC. 2" irrigation service lines are to be constructed of class 160 PVC.
- Pump connection risers will be constructed of Schedule 40 PVC.
- Grades and elevations are noted only where the natural ground slope is insufficient to insure free draining. Take care to insure that no high or low points are created such that the lines will not freely drain.
- Angles in irrigation lines are to be constructed and thrust blocked in the same manner as potable water lines.
- Backfilling of irrigation trenches shall be in accordance with the Standard Trench Detail (See City of Fruita details).
- All valves are to be standard brass potable water globe valve with cast iron valve boxes.
- All irrigation lines are to have a minimum of 2' bury (to top of pipe).

\* Notes on this sheet were taken from the City of Fruita Design Criteria and Construction Specifications Manual.

**LIST OF ABBREVIATIONS**

ABC Aggregate Base Course	EL Elevation	INV Invert	PI Point of Intersection	STR Structure
AC Acre	ELEC Electric	IRR Irrigation	PL Property Line	STRM Storm Drain
ADJ Adjacent	ELEV Elevation	IRR Design Coefficient	PLS Professional Licensed Surveyor	SY Square Yard
AL Alignment	ENC End Normal Crown	L Length	PR Proposed	TAN Length of Tangent
BFS Begin Full Superelevation	EOA Edge of Asphalt	LC Level Crown	FRC Point of Reverse Curvature	TBC Top Back Curb
BLDG Building	EOP Edge of Pavement	LF Linear Feet	PRELIM Preliminary	TCE Temporary Construction Easement
BLM Bureau of Land Management	ER End of Radius	LP Low Point	PT Point of Tangency	TFC Top Face Curb
BM Benchmark	ESMT Easement	LS Lump Sum	PVC Polyvinyl Chloride	TOC Top of Curb
BNC Begin Normal Crown	EVCE End of Vertical Curve Elevation	LVC Length of Vertical Curve	PVI Point of Vertical Intersection	TOP Top of Pipe
BOC Back of Curb	EVCS End of Vertical Curve Station	MAX Maximum	R Radius	TW Top of Wall
BOW Back of Walk	EX Existing	MC&G Mountable Curb & Gutter	RC Reverse Crown	TYP Typical
BVCE Beginning Vertical Curve Elevation	FDC Fire Department Connection	MCSG Mountable Curb, Gutter, & Sidewalk	RCC River City Consultants, Inc.	VC Vertical Curve
BVCS Beginning Vertical Curve Station	FES Flared End Section	MCSM Mesa County Survey Marker	RCP Reinforced Concrete Pipe	VPC Vertical Point of Curvature
CB Concrete Box Culvert	FTE Finished Floor Elevation	MDS Maximum Design Speed	REQ'D Required	VPI Vertical Point of Intersection
CDOT Colorado Department of Transportation	FG Finished Grade	MH Manhole	RIM Rim Elevation	VPT Vertical Point of Tangency
CGS Curb, Gutter & Sidewalk	FH Fire Hydrant	MIN Minimum	RoW Right of Way	WSEL Water Surface Elevation
CL Center Line OR Class	FL Flow Line	MPE Multi-Purpose Easement	SAN Sanitary Sewer	WQCV Water Quality Capture Volume
CMP Corrugated Metal Pipe	GB Grade Break	MUTCD Manual on Uniform Traffic Control Devices	SDMH Storm Drain Manhole	WTR Water
CY Cubic Yard	GV Gate Valve	N Northing Coordinate	SF Square Feet	Δ Central Angle (Delta)
E Easting Coordinate	HDPE High Density Polyethylene	NO Number	SH State Highway	
EA Each	HOA Home Owners Association	NTS Not to Scale	SHDR Shoulder	
EFS End Full Superelevation	HP High Point	PC Point of Curvature	SMH Sanitary Sewer Manhole	
EGTC Electric, Gas, Telephone, Cable	INC Incorporated	PCC Point of Compound Curvature	STA Station	

**ACCEPTANCE BLOCK**  
 ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

**ACCEPTANCE BLOCK**  
 The City of Fruita review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.

Ute Water District Representative \_\_\_\_\_ Date \_\_\_\_\_ City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**811**  
 UNCC  
 Know what's below.  
 Call before you dig.  
 800.922.1987  
 www.uncc.org  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Project Benchmark**  
 MCSM 1213  
 3" Brass Cap  
 Intersection of J 2/10 Rd. and Fremont St  
 T1N R2W S16 Ute  
 Northing: 67224.00  
 Easting: 49888.08  
 Elevation: 4533.37  
 Datum Source: MCLCS Zone "GVA" (NAVD 88)

REVISIONS		
NO.	DATE	DESCRIPTION

**RIVER CITY CONSULTANTS**  
 744 Horizon Court, Suite 110  
 Grand Junction, CO 81506  
 Phone: 970.241.4722  
 Fax: 970.241.8841  
 www.rcwest.com

PROJECT #: 1129-004  
 DATE ISSUED: 2018.10.05  
 DRAWN BY: bms  
 HORIZ: N/A  
 CHECKED BY: jwm  
 VERT: N/A

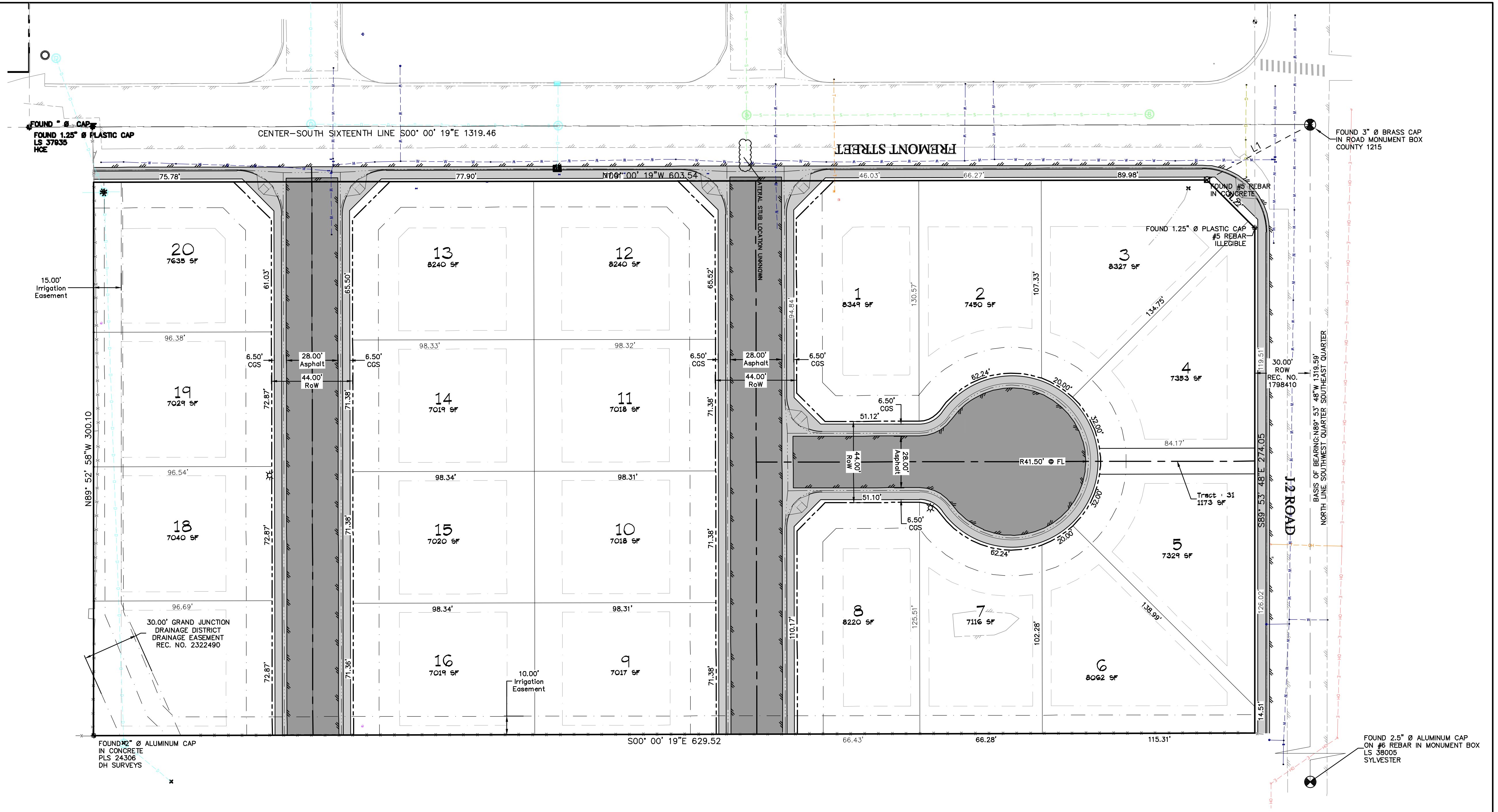
**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
**GRAND VALLEY ESTATES FILING II**  
 General Notes and Legend  
 C1







SITE BREAKDOWN		
Lots (20)	3.432 ac	79.3 %
Tract 31	0.027 ac	0.6 %
Right of Way (Dedicated)	0.869 ac	20.1 %
Total	4.328 ac	100.0 %



<p><b>ACCEPTANCE BLOCK</b></p> <p>The City of Frisco, review constitutes general compliance with the City's Development Standards, subject to these plans being sealed, signed, and dated by the Professional of Record. Review by the City does not constitute approval of the plan design. The City neither accepts nor assumes any liability for errors or omissions. Errors in the design or calculations remain the responsibility of the Professional of Record. Construction must commence within one year from the date of plan signature.</p>	<p><b>ACCEPTANCE BLOCK</b></p> <p>ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE</p>
<p>City Development Engineer _____ Date _____</p>	<p>Ute Water District Representative _____ Date _____</p>

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**Project Benchmark**

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3" Brass Cap  
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T1N R2W S16 Ute  
Northing: 67224.00  
Easting: 49888.08  
Elevation: 4533.37  
Datum Source: MCLCS Zone "GVA" (NAVD 88)

**SCALE**

Feet

CONTOUR INTERVAL = 1 FOOT

ORIGINAL SHEET SIZE: 22 x 34

NO.	DATE	DESCRIPTION	BY

**RIVER CITY CONSULTANTS**

744 Horizon Court, Suite 110 Phone: 970.241.4722  
Grand Junction, CO 81506 Fax: 970.241.8841  
www.rcwest.com

PROJECT #: 1129-004 DATE ISSUED: 2018.10.05  
DRAWN BY: bms HORIZ: 1"=30'  
CHECKED BY: jwm VERT: N/A

**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**

Grand Valley Estates Filing II

Preliminary Plan

C3

S:\PROJECTS\1129\_004 Grand Valley Estates F2\Design\DWG\03-Sheet Files\C3 Preliminary Plan.dwg [C3 Preliminary Plan] 2018-10-05 3:07:01 PM



**BMP LEGEND**

Installation details and maintenance guidelines for the above erosion control measures can be found in the written Construction Stormwater Management Plan for this project, CDOT standards, on Denver's Urban Drainage and Flood Control District website, and various manufacturer's websites. Variations from these standards shall be approved by the CSWMP Administrator prior to installation. This list is not considered complete or absolute, additional methods can and should be added to this plan if required. This CSWMP should be kept current and modified appropriately by the CSWMP Administrator based on actual field conditions and the Contractor's means and methods.

- CWA CONCRETE WASHOUT AREA
- DP DETENTION POND
- ED/DS EARTHEN DIKE/DRAINAGE SWALE
- V/OP INLET/OUTLET PROTECTION
- LG LAND GRADING
- MDS MATERIALS DELIVERY & STORAGE
- PEV PROTECT EXISTING VEGETATION
- RV REVEGETATION
- RR RIPRAP
- RS ROCK SOCK
- SH SURFACE HARDENING
- SEW STABILIZED ENTRY WAY
- TP TOILETS (PORTABLE)
- VB VEGETATIVE BUFFER
- VTC VEHICLE TRACKING CONTROL
- VEM VEHICLE EQUIPMENT & MAINTENANCE
- WM WASTE MANAGEMENT

**SITE DESCRIPTION**

- The project location is 1849 J 2/10 Road. In more legal terms, the project site is located in the West 1/2 of the NW 1/4 of the SW 1/4 of the SE 1/4 of Section 16, Township 1 North, Range 2 West of the Ute Meridian, Mesa County, Colorado.
- Stormwater from this site will be discharged from the site through a series of existing ditches, culverts, and other drainage features. Drainage for this area generally flows from northeast to southwest.
- The receiving body of water is the Colorado River, approximately 2 miles south from the project site.
- Construction activity will consist of, in the following order: site marking, establishment of perimeter stormwater BMPs, site clearing, topsoil removal and stockpiling, installation of utilities, roads, and buildings, landscaping, and final seeding. Intermediate stormwater BMPs will be installed and maintained throughout construction as required by the contractor's means and methods.
- The primary contaminant of concern for this project is sediment. The proposed erosion controls have been selected and placed to mitigate the potential for sediment transport from the project area.
- Existing vegetation on the project area consists of desert shrubs, grasses, various weeds and invasive species. Undisturbed portions of the project area are approximately 75% vegetated.
- The 100-year runoff SCS curve numbers for this project are 67 for undeveloped areas and 78 for developed areas.

**GENERAL SWMP NOTES**

- CSWMP Administrator (Local Contact)  
Name: \_\_\_\_\_ Phone: \_\_\_\_\_
- Refer to the written construction stormwater management plan for bmp details and additional information.
- BMPs shown are schematic only; adjustments may be necessary to fit actual field conditions.
- The project area is equal to the estimated total area of disturbance which is approximately 4.3 acres.
- At all times during construction, erosion and sediment control shall be maintained by the contractor.
- Erosion control measures shall be installed as the work (grading) progresses.
- Negative impacts to downstream areas (or receiving waters) caused by earthwork and/or construction to be monitored and corrected by the contractor.
- The first BMP to be installed on the site shall be construction fence, markers, or other approved means of defining the limits of construction.
- Natural vegetation shall be retained and protected wherever possible. Exposure of soil to erosion by removal or disturbance of vegetation shall be limited to the area required for immediate construction operations.
- All construction traffic must enter/exit the site through the CSWMP-approved access points.

**EROSION CONTROL MEASURES (PERFORMANCE STANDARDS)**

The general requirements for erosion control work shall be as follows:

- Any grading shall be conducted in such a manner to effectively reduce accelerated soil erosion and resulting sedimentation.
- All grading shall be designed, constructed, and completed to minimize the size and duration of exposed (unvegetated) area.
- Sediment caused by accelerated soil erosion shall be captured and removed from runoff water prior to leaving the site.
- Any temporary or permanent facility designed and constructed for the conveyance of water around, through, or from the graded area shall be designed to limit the water flow to a non-erosive velocity.
- Temporary soil erosion control facilities shall be removed and areas graded and stabilized with permanent soil erosion control measures.
- All BMPs will be in place prior to any major earthwork.

**DURING CONSTRUCTION (TEMPORARY MEASURES)**

- Material stockpiles shall be bermed around their perimeter to prevent runoff pollution.
- Place watties and/or berm down gradient of disturbed areas and stockpiles.
- Compact soil and topsoil to the requirements as stated in the Geotechnical recommendations and finish grade to elevations shown on the site plan. Eliminate any low spots prior to final stabilization.
- Contractor shall have a water truck made available to assist in controlling moisture content and dust and wind erosion.
- Soils that will be stockpiled for more than thirty (30) days shall be seeded and mulched within fourteen (14) days of stockpile construction. No stockpiles shall be placed within one hundred (100) feet of a drainage way unless approved by the CSWMP Administrator.
- The cleaning of concrete delivery truck chutes is restricted to approved concrete wash out locations on the job site. The discharge of water containing waste concrete to the storm system is prohibited. All concrete waste shall be properly cleaned up and disposed at an appropriate location.

**AFTER CONSTRUCTION (PERMANENT MEASURES)**

- All areas disturbed by construction activities shall be paved, landscaped, or revegetated with a certified weed-free native seed mix appropriate for site soils and conditions. These areas shall be maintained until a vegetative cover of at least 70% of pre-construction conditions exists. If necessary, additional topsoil, seed, mulch, and/or fertilizer should be applied to establish said vegetative cover.

**MAINTENANCE**

- All erosion control measures should be inspected to determine if repairs or sediment removal is necessary. The maximum time between inspections shall be 14 days.
- Erosion control measures are also to be inspected within 48 hours of a storm that produces moderate runoff or moderate snow melt.
- Repairs or modifications to the erosion control measures shall be completed immediately. Repairs and modifications shall be documented (what, why, & when).
- Silt and sediment shall be removed if there is a risk of sediment bypassing the erosion control feature. Specifically, sediment buildup shall not exceed 1/3 the height of any check dam or berm (including inlet protection), 1/2 the height of a wattle, or when sediment within a sediment basin gets within 6 inches of the outlet invert.
- When the temporary measures are to be removed, any silt and sediment deposits shall be removed and spread evenly in open areas and seeded as necessary.

**ACCEPTANCE BLOCK**

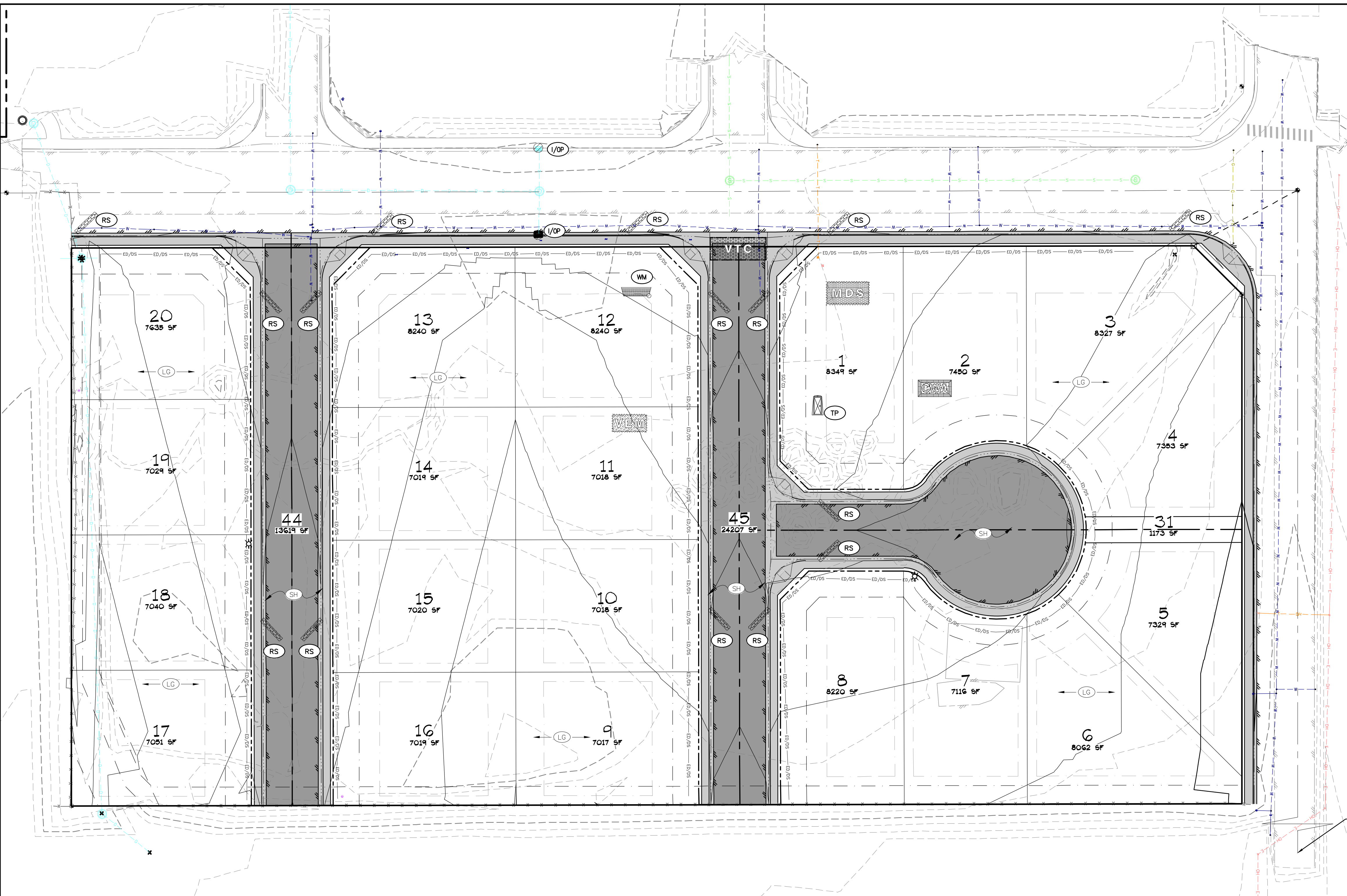
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City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

**GRAND VALLEY ESTATES  
DEVELOPMENT Co, LLC**  
Grand Valley Estates Filing II

SWMP

C4



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**Project Benchmark**  
MCSM 1213  
3" Brass Cap  
Intersection of J 2/10 Rd. and Fremont St  
T1N R2W S16 Ute  
Northing: 67224.00  
Easting: 49888.08  
Elevation: 4533.37  
Datum Source: MCLCS Zone "GVA" (NAVD 88)

**SCALE**  
0 30 60  
Feet  
CONTOUR INTERVAL = 1 FOOT  
ORIGINAL SHEET SIZE: 22 x 34

NO.	DATE	DESCRIPTION	BY



**RIVER CITY CONSULTANTS**  
744 Horizon Court, Suite 110  
Grand Junction, CO 81506  
www.rcwest.com  
Phone: 970.241.4722  
Fax: 970.241.8841

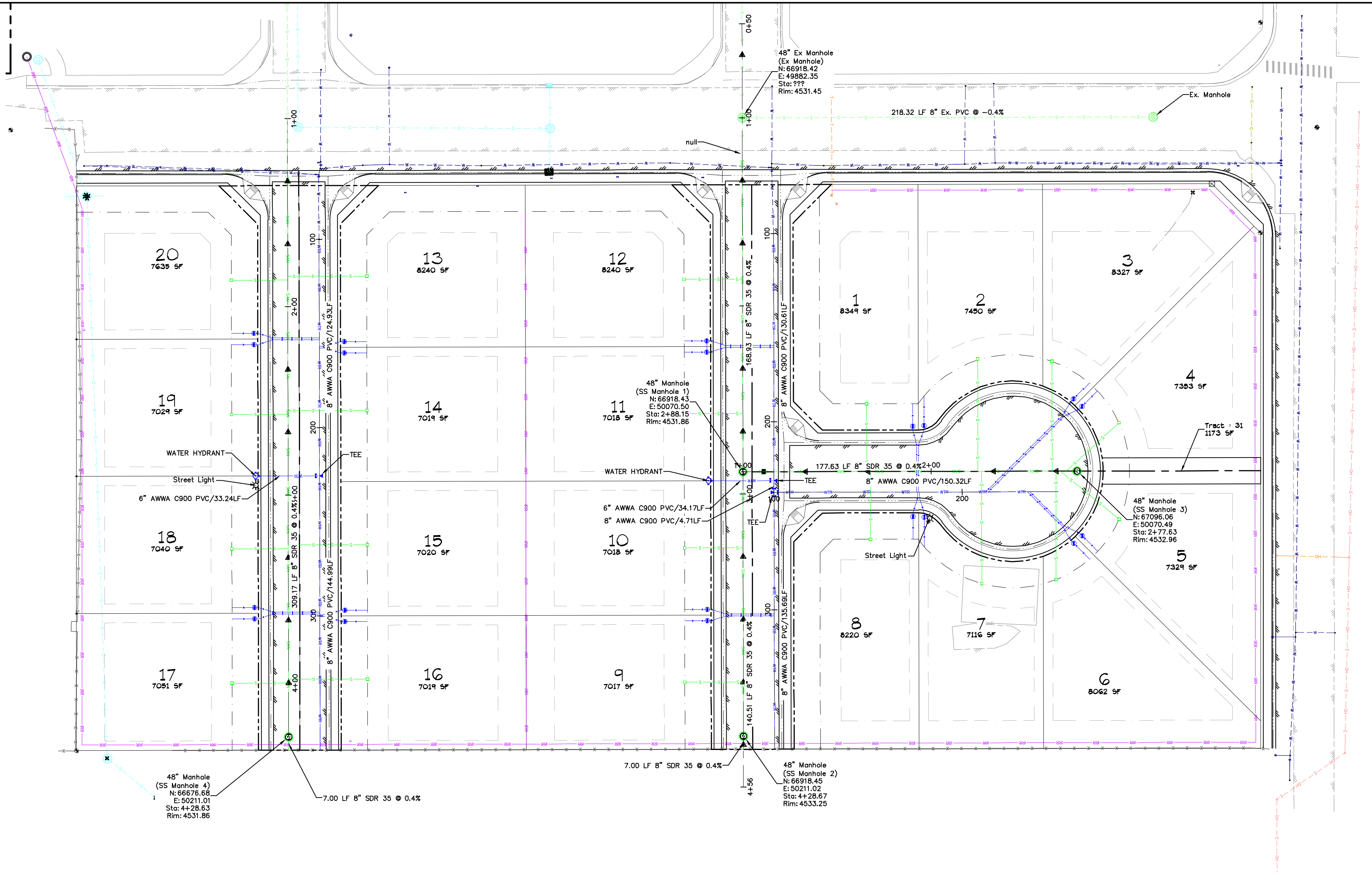
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DATE ISSUED: 2018.10.05  
DRAWN BY: brms  
HORIZ: 1"=30'  
CHECKED BY: jwm  
VERT: N/A

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**Notes:**

- The locations of underground utilities as shown hereon are based on visible evidence from above ground structures, markings by the respective utility companies and/or their locator services, and drawings provided by the utility companies. No excavations were made during this survey to determine exact locations and depths of underground utilities and structures. Actual locations may vary slightly from those as shown hereon and additional underground utilities may exist. Existence and locations of all underground utilities and structures should be verified prior to any construction on this property.
- This site is not affected by a previously determined floodplain.
- All lots are "Type A" lots (i.e. runoff from the lot drains to the street) or "Type B" lots (i.e. runoff from the lot drains to the street and to the rear lot line).
- All water meter pits shall be located on opposite lot sides of dry utility transformers and pedestals. There shall be no dry utility transformers/pedestals located within 5 ft of any fire hydrant. These are utility/customer/consumer safety issues.
- The legend and a list of abbreviations can be found on the general notes and legend (Sheet C1).
- Contractor shall use caution when working around neighboring properties irrigation lines and coordinate any service interruptions with affected property owners. Contractor shall be responsible for any required relocation of irrigation systems and/or repair of damage to irrigation systems caused by construction activities.



**UTILITY PROVIDERS**

Water	Ute Water
Sewer	City of Fruita
Electric	Grand Valley Power
Gas	Xcel Energy
Telephone	CenturyLink
Cable	Charter Spectrum
Irrigation	Grand Valley Irrigation Co
Drainage	Grand Valley Drainage District
Fire	City of Fruita

**ACCEPTANCE BLOCK**  
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

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Ute Water District Representative \_\_\_\_\_ Date \_\_\_\_\_

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

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Eastings: 49888.08  
Elevation: 4533.37  
Datum Source: MCLCS Zone "GVA" (NAVD 88)

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ORIGINAL SHEET SIZE: 22 x 34

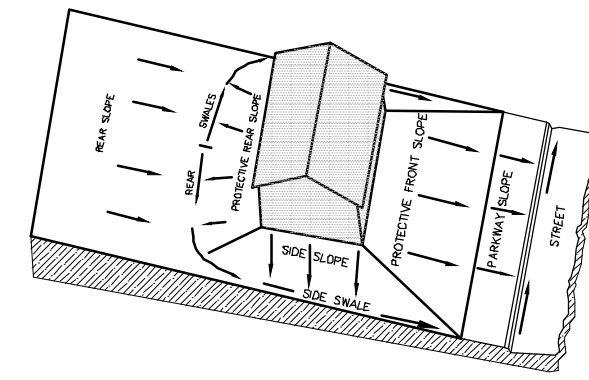
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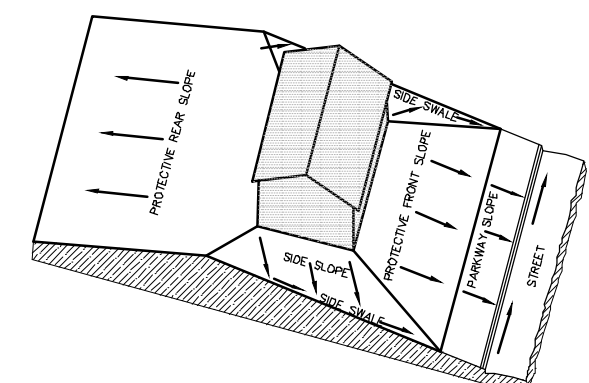
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CHECKED BY: jwm  
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VERT: N/A

**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
Grand Valley Estates Filing II  
Utility Composite  
C5



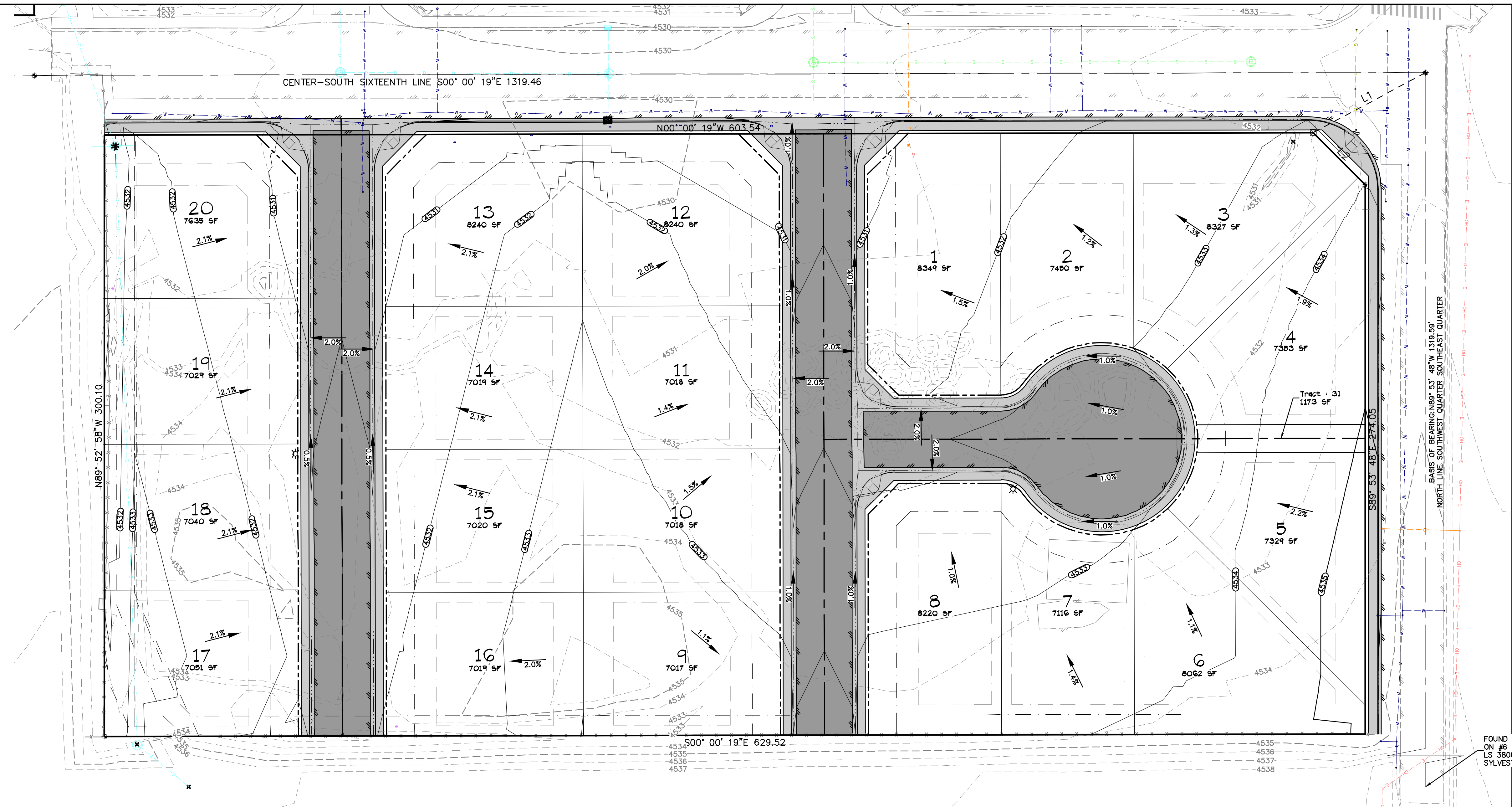


**LOT GRADING - TYPE A**  
ALL DRAINAGE TO STREET



**LOT GRADING - TYPE B**  
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE

**Note:** These standard details depict the basic elements of good residential grading practice. Final detailed grading around residential structures is the responsibility of the lot owner. Not all lots are typical, some may require more complicated grading methods.



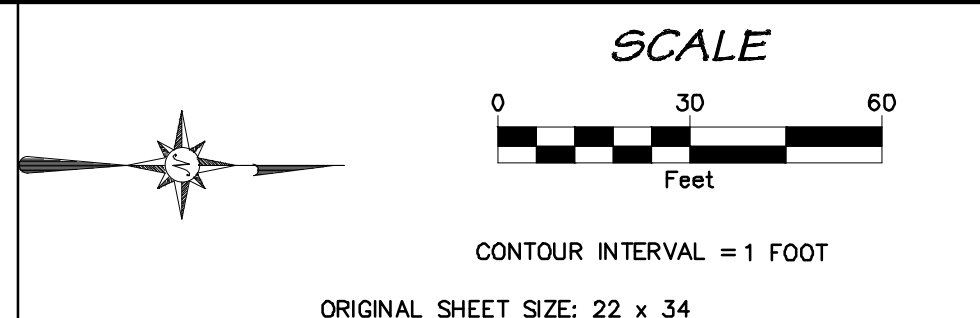
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Datum Source: MCLCS Zone "GVA" (NAVD 88)



NO.	DATE	DESCRIPTION	BY

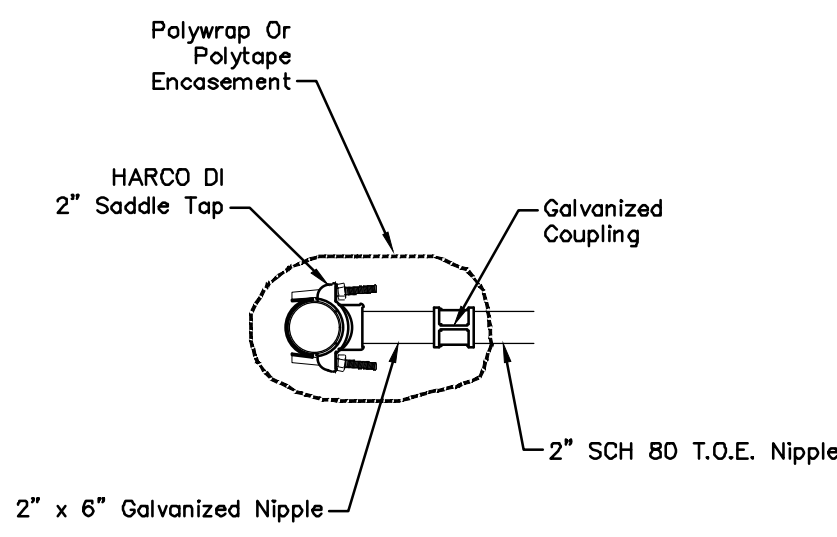


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CHECKED BY: jwm VERT: N/A

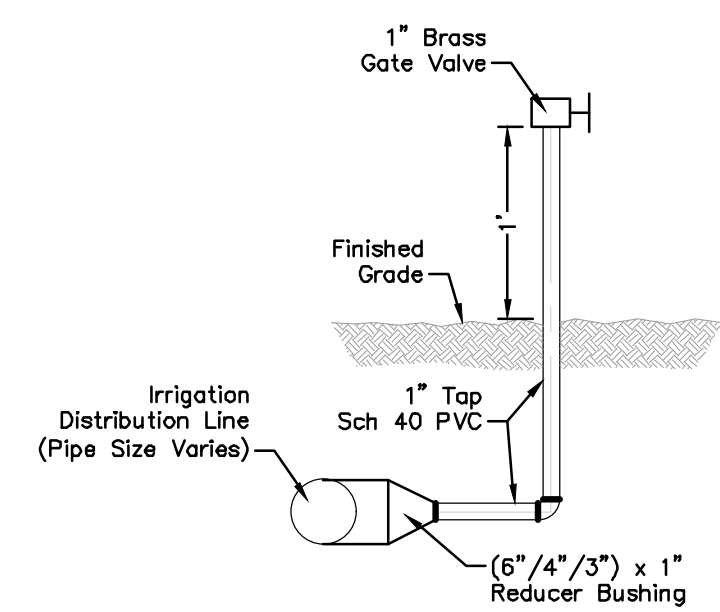
**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
Grand Valley Estates Filing II  
Grading Plan  
C6

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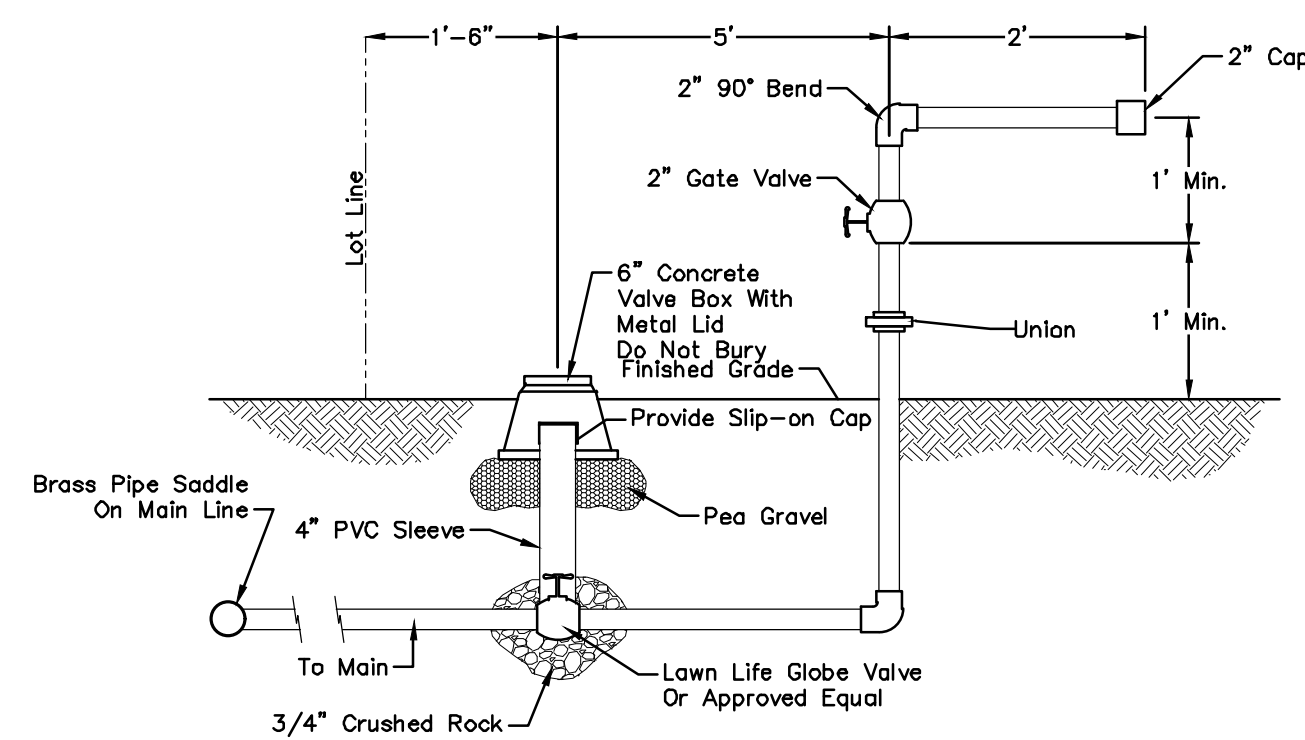




**2 in Saddle Tap Detail**  
N.T.S.

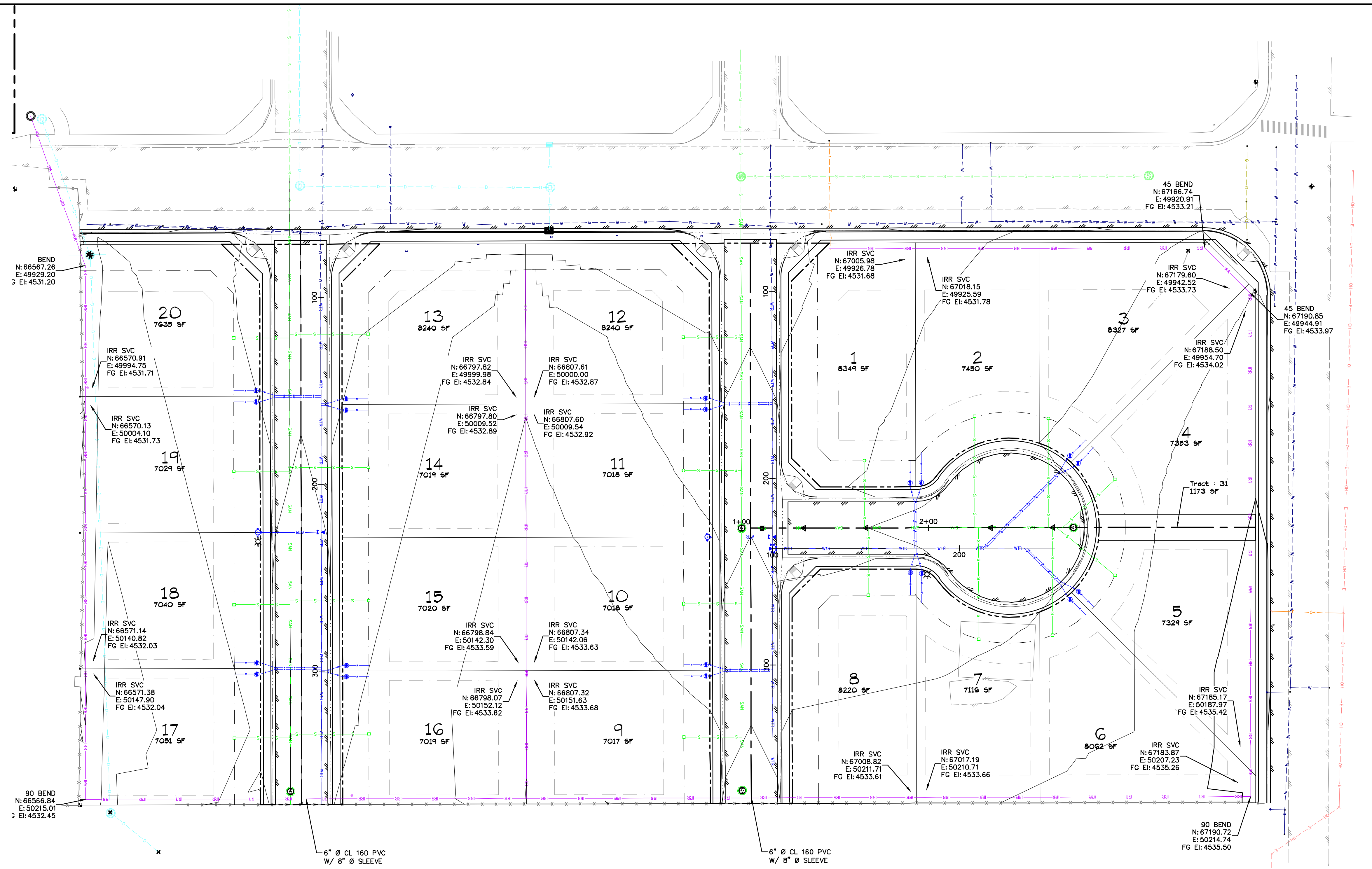


**Service Tap Detail**  
N.T.S.



Note: Valve & riser must be accessible to the City of Fruita. Where lot is fenced, valve and riser must be located outside the fence.

**Typ City of Fruita Irrigation Riser Detail**  
N.T.S.



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Grand Valley Irrigation District Representative \_\_\_\_\_ Date \_\_\_\_\_

City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

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**Project Benchmark**  
MCSM 1213  
3\"/>

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CONTOUR INTERVAL = 1 FOOT  
ORIGINAL SHEET SIZE: 22 x 34

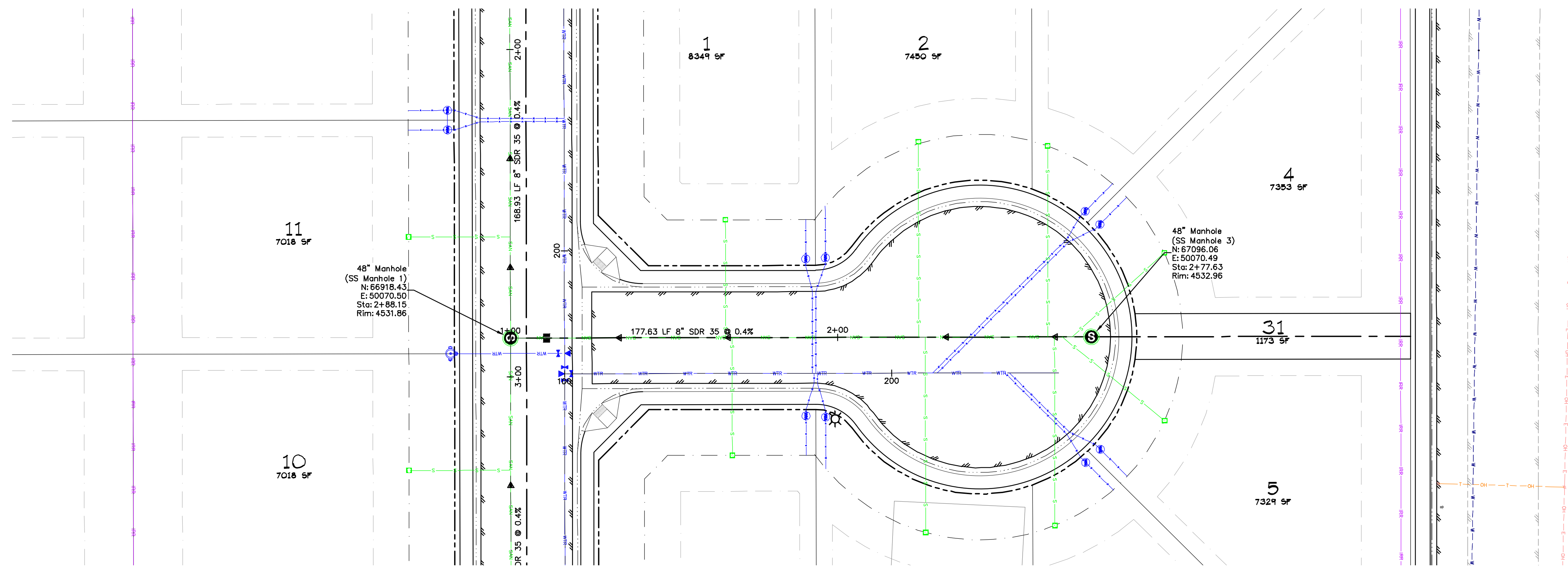
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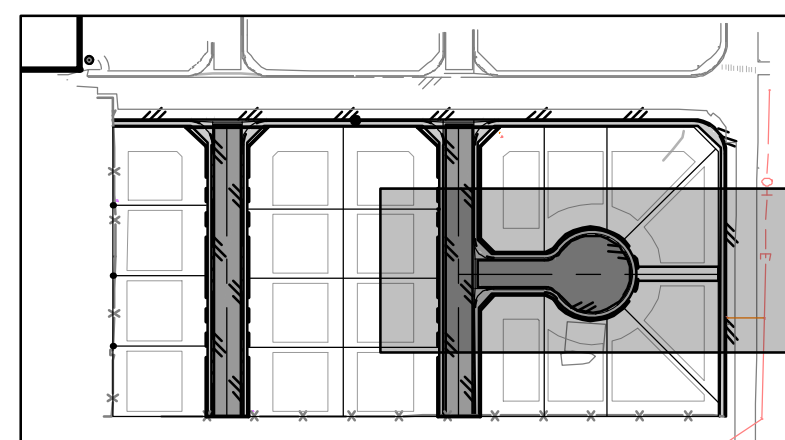
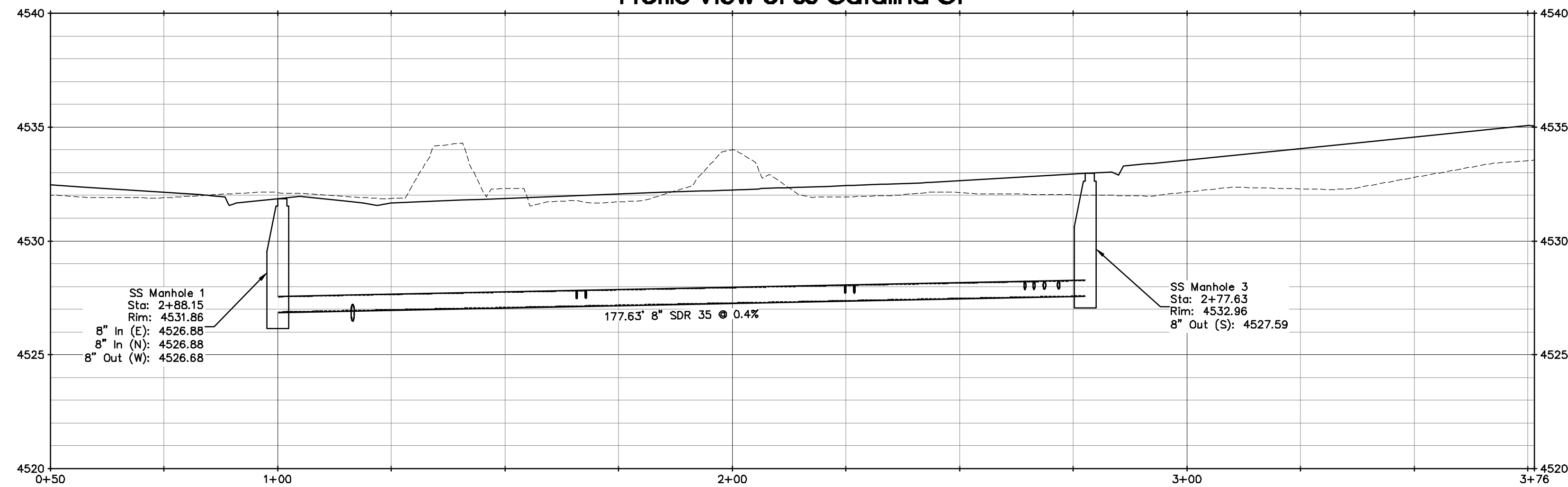
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DRAWN BY: brms  
CHECKED BY: jwm  
HORIZ: 1\"/>

**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
Grand Valley Estates Filing II  
Irrigation Plan  
C7





Profile View of SS-Catalina Ct



Key Map

1" = 200'

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 ORIGINAL SHEET SIZE: 22 x 34

NO.	DATE	DESCRIPTION	BY



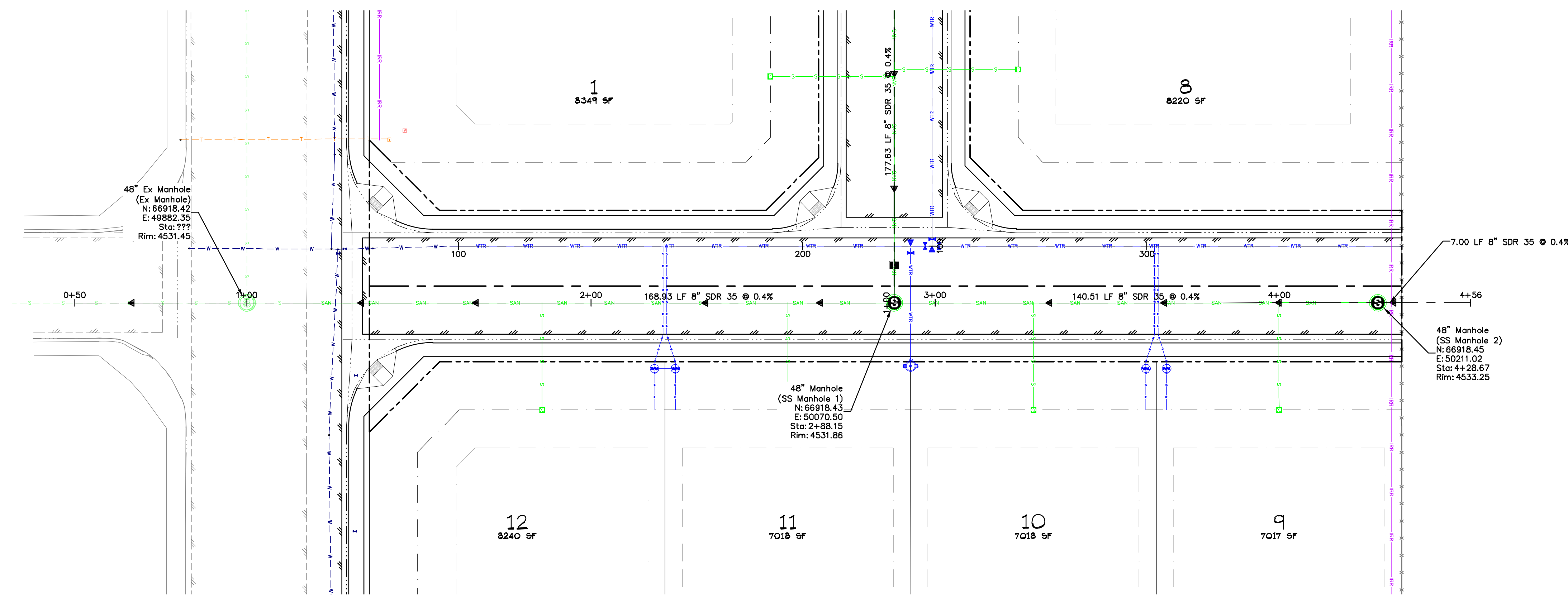
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PROJECT #: 1129-004  
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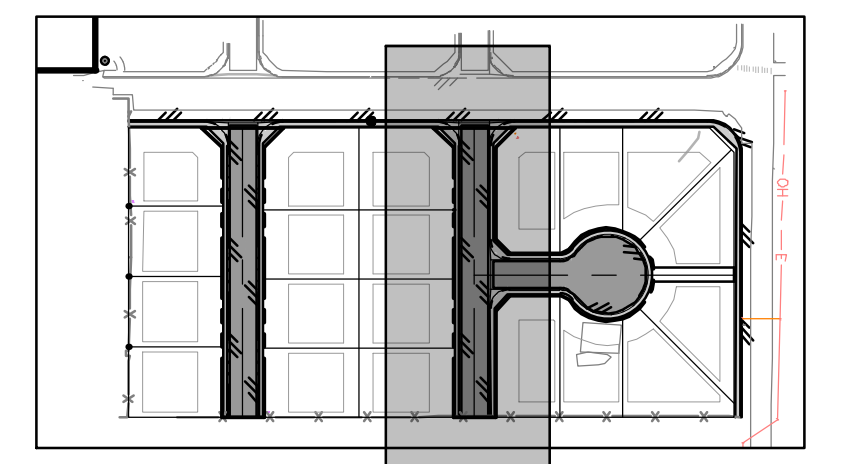
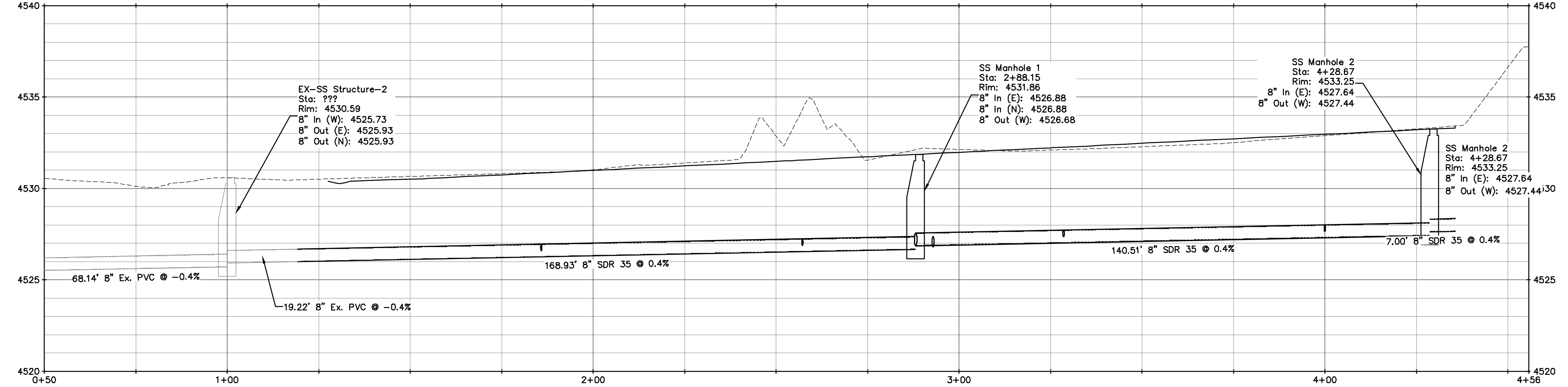
**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
 GRAND VALLEY ESTATES FILING II  
 Catalina Ct  
 Sewer Plan and Profile  
 8.1

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Profile View of SS-Catalina Ave



Key Map  
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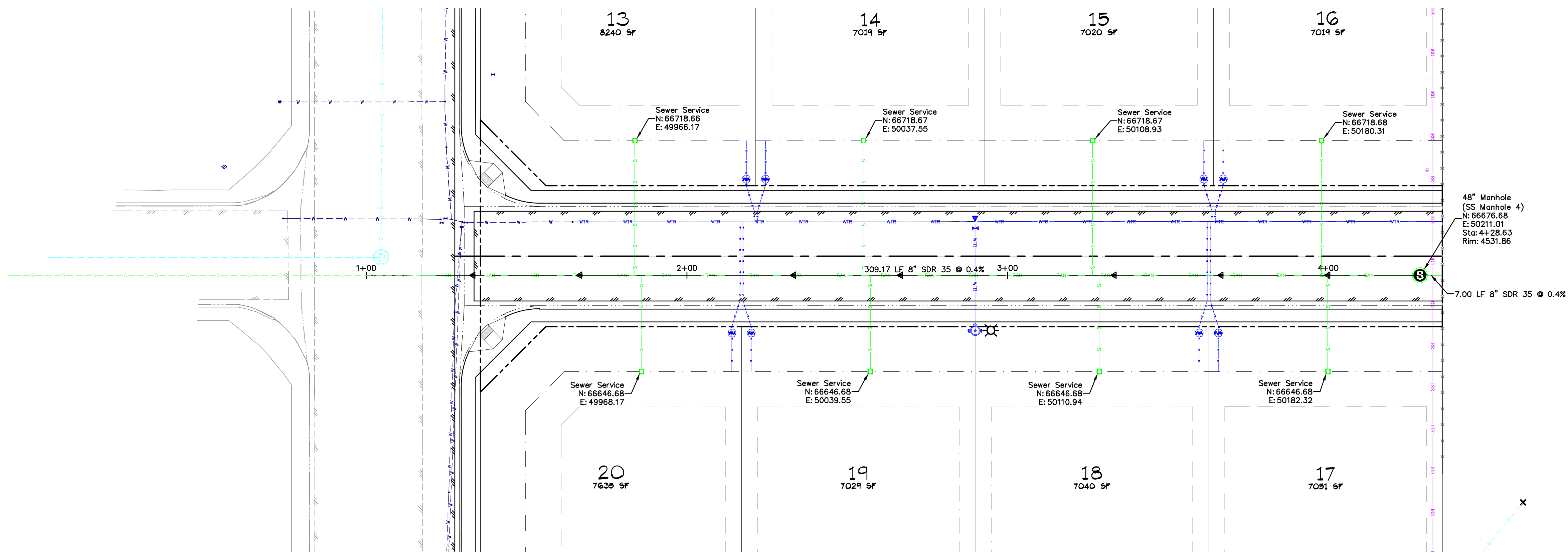


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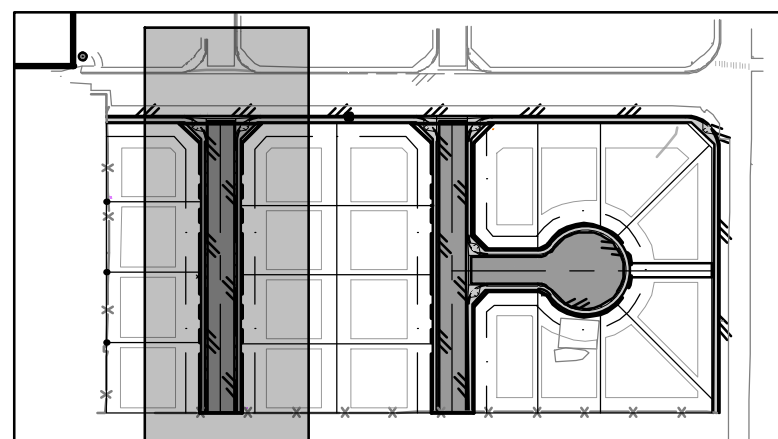
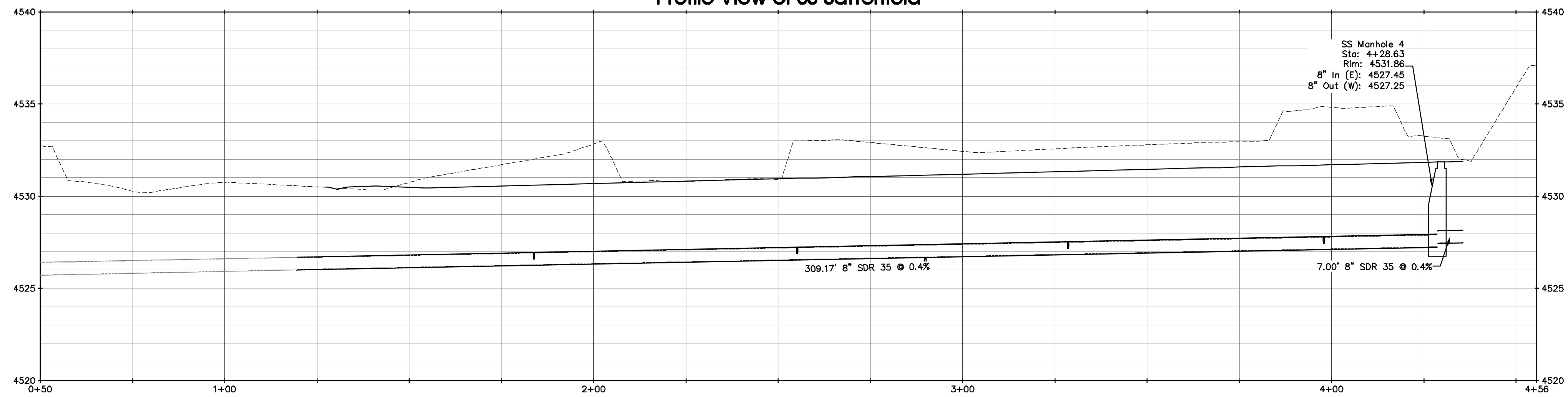
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DATE ISSUED: 2018.10.05  
DRAWN BY: brms  
CHECKED BY: jwm  
HORIZ: 1"=20'  
VERT: 1"=4'

**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
GRAND VALLEY ESTATES FILING II  
Catalina Ave  
Sewer Plan and Profile  
8.2





Profile View of SS-Satterfield



Key Map

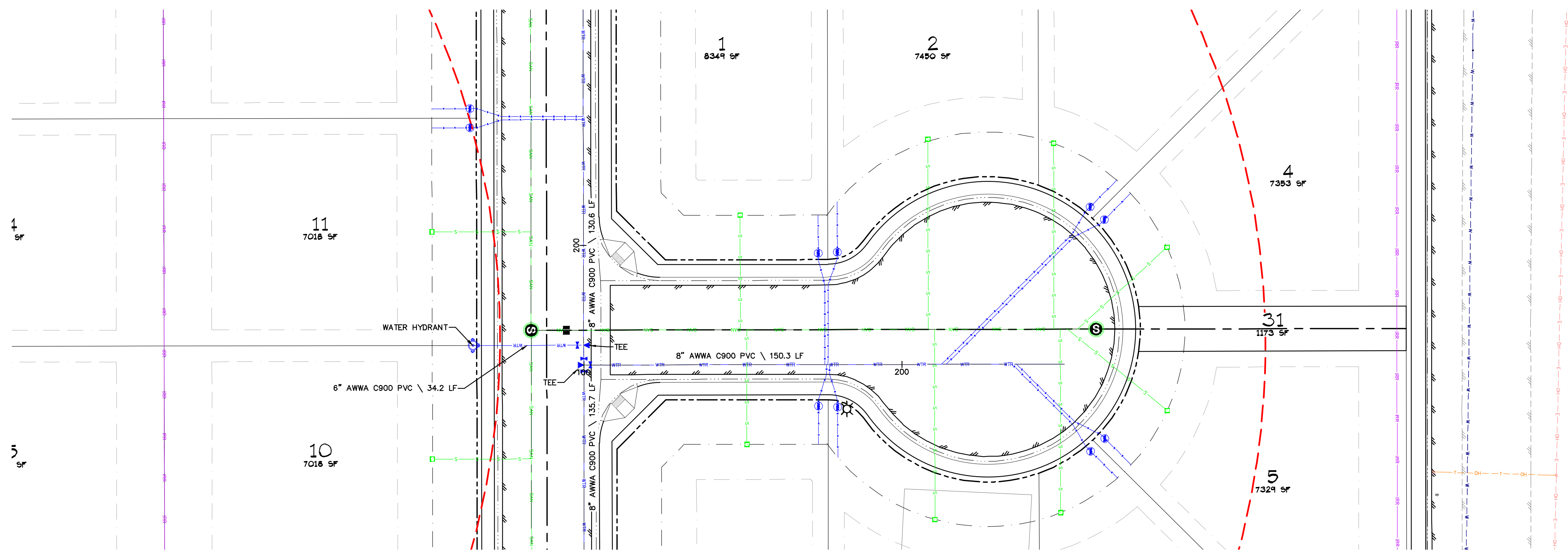
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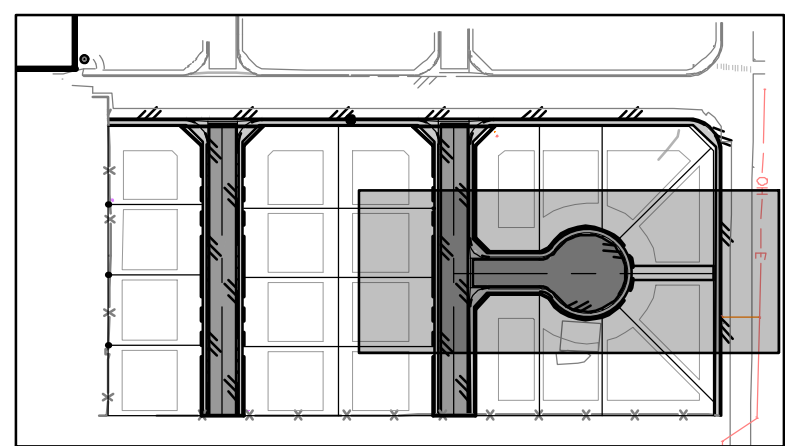
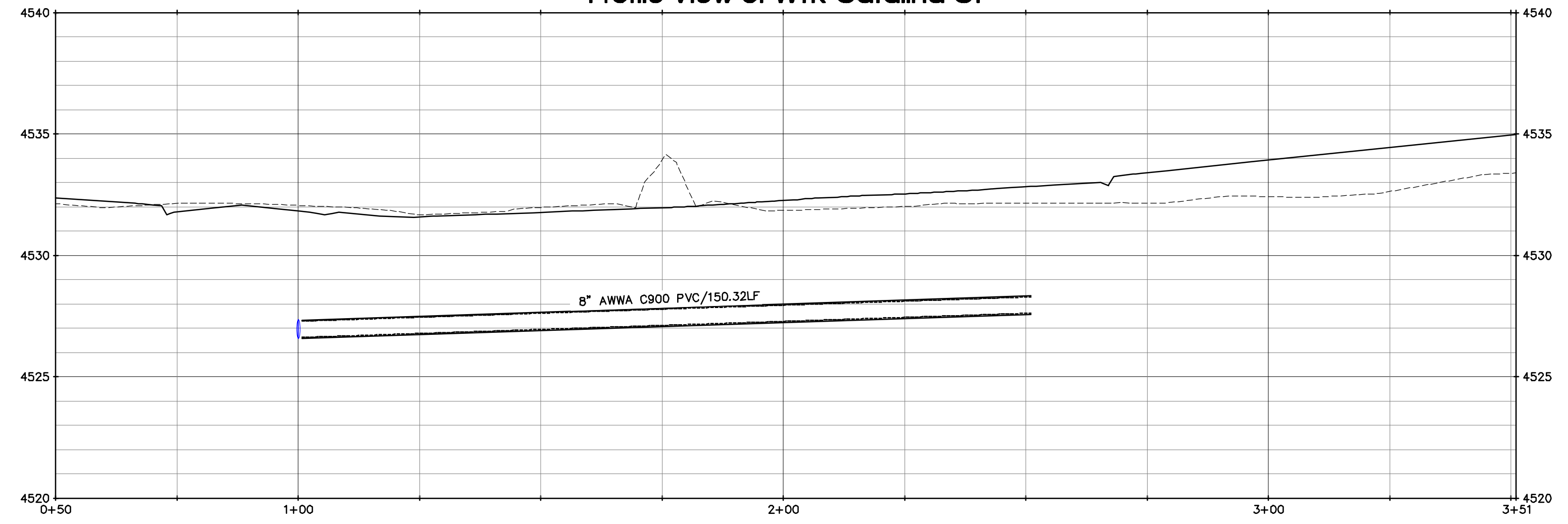
City Development Engineer \_\_\_\_\_ Date \_\_\_\_\_

<p><b>811</b>        Know what's below.        Call before you dig.        800.922.1987        www.uncc.org        CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.</p>	<p><b>Project Benchmark</b>        MGS 1213        3" Brass Cap        Intersection of J 2/10 Rd. and Fremont St        T1N R2W S16 Ute        Northing: 67224.00        Easting: 49888.08        Elevation: 4533.37        Datum Source: MCLCS Zone "GVA" (NAVD 88)</p>	<p><b>SCALE</b>        0 20 40        Feet        CONTOUR INTERVAL = 1 FOOT        ORIGINAL SHEET SIZE: 22 x 34</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY																		<p><b>RIVER CITY CONSULTANTS</b>        744 Horizon Court, Suite 110        Grand Junction, CO 81506        Phone: 970.241.4722        Fax: 970.241.8841        www.rcwest.com</p>	<p><b>PROJECT #:</b> 1129-004  <b>DATE ISSUED:</b> 2018.10.05  <b>DRAWN BY:</b> brms  <b>CHECKED BY:</b> jwm  <b>HORIZ:</b> 1"=20'  <b>VERT:</b> 1"=4'</p>	<p><b>GRAND VALLEY ESTATES DEVELOPMENT Co, LLC</b>  <b>GRAND VALLEY ESTATES FILING II</b>        Satterfield Ave        Sewer Plan and Profile</p>	<p>8.3</p>
				NO.	DATE	DESCRIPTION	BY																					
<p>S:\PROJECTS\1129 Day\004 Grand Valley Estates F2\Design\DWG\03-Sheet Files\Sewer PrP\8.3 Satterfield Ave.dwg [8.3 Satterfield Ave] 2018-10-05 3:08:13 PM</p>																												





Profile View of WTR-Catalina Ct



Key Map  
1" = 200'

ACCEPTANCE BLOCK  
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Ute Water District Representative \_\_\_\_\_ Date \_\_\_\_\_

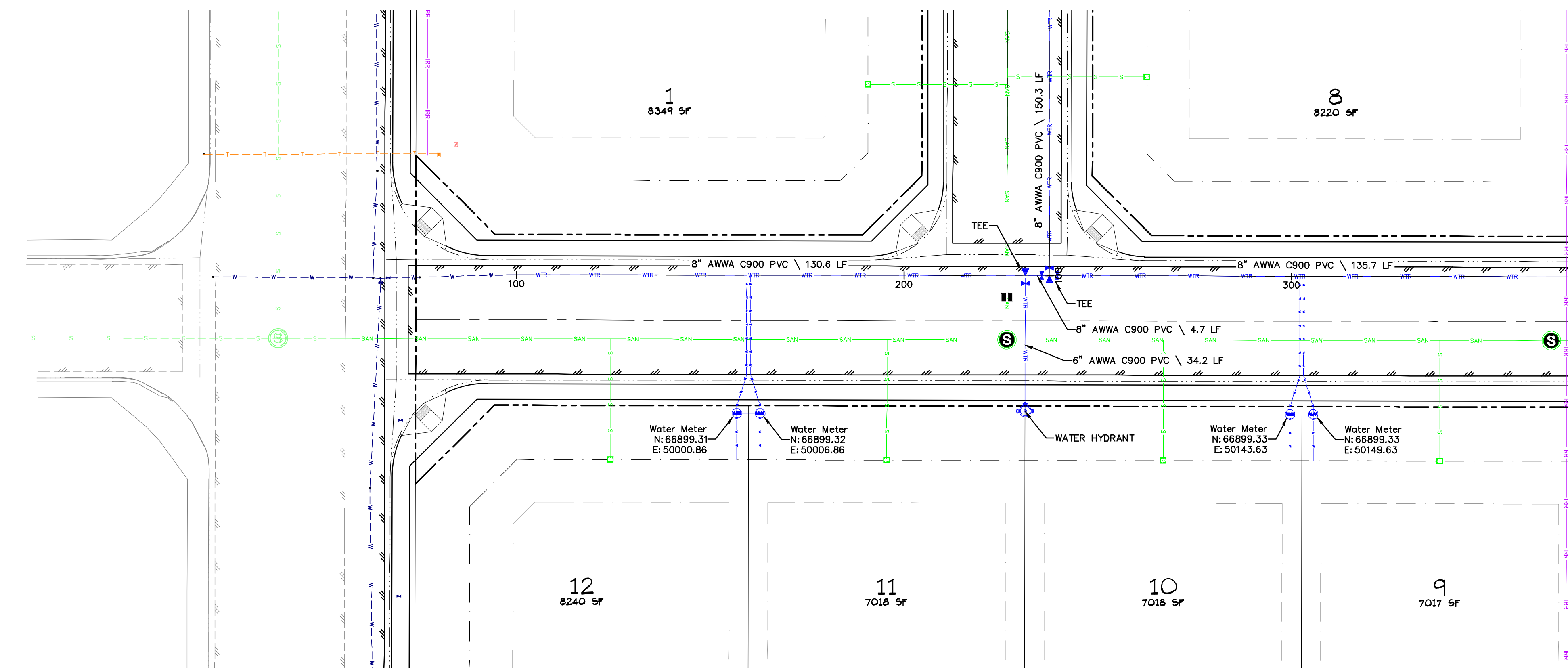
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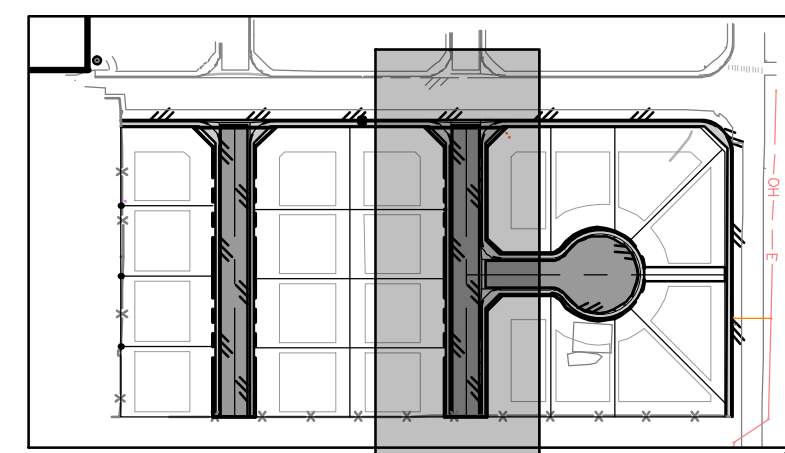
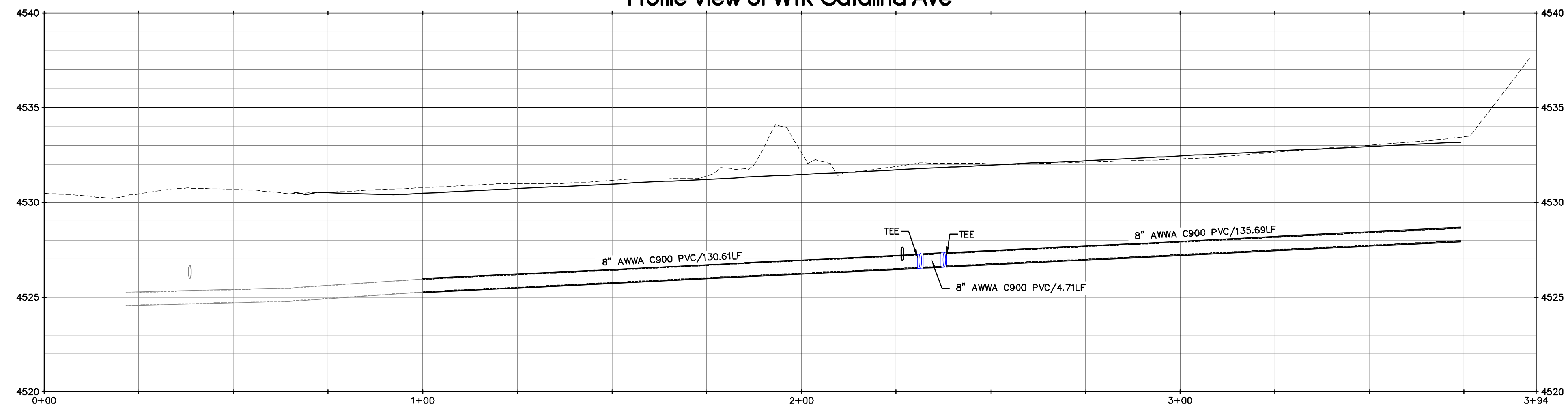
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NO.	DATE	DESCRIPTION	BY																									
<p>PROJECT #: 1129-004    DATE ISSUED: 2018.10.05 DRAWN BY: brms    HORIZ: 1"=20' CHECKED BY: jwm    VERT: 1"=4'</p>						<p>Ute Water District Representative _____ Date _____</p> <p>City Development Engineer _____ Date _____</p>																						

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Profile View of WTR-Catalina Ave



Key Map

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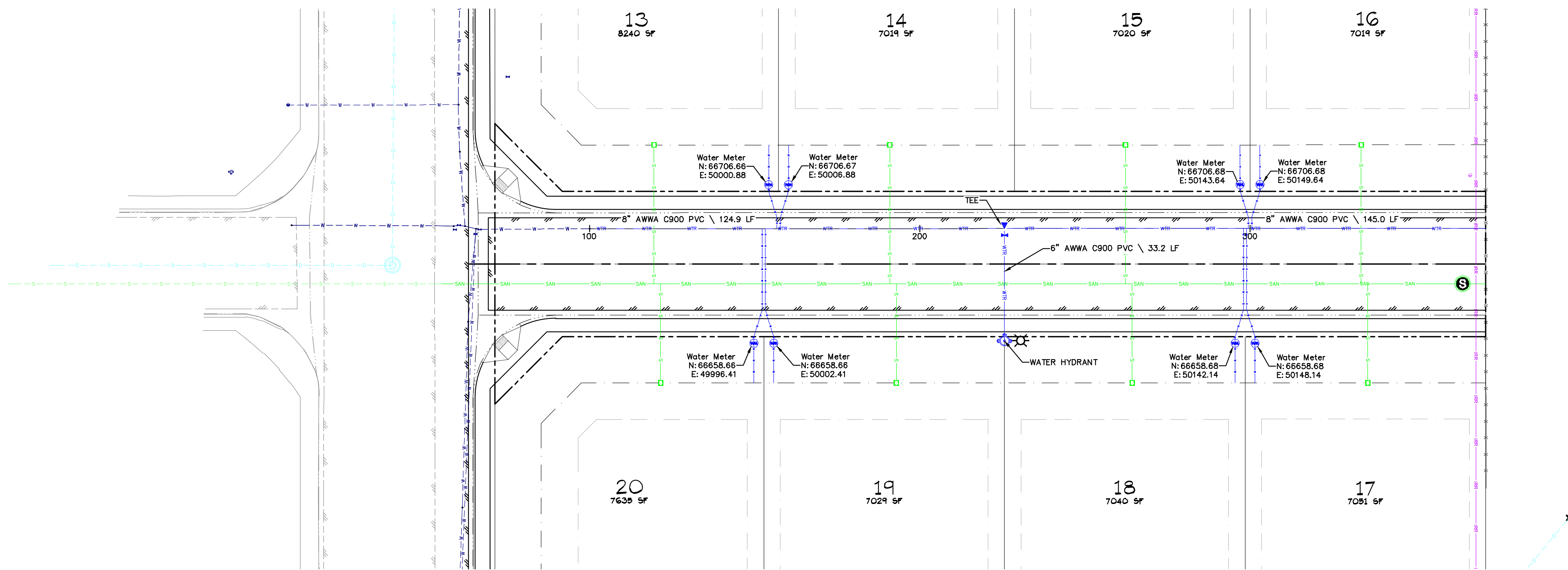
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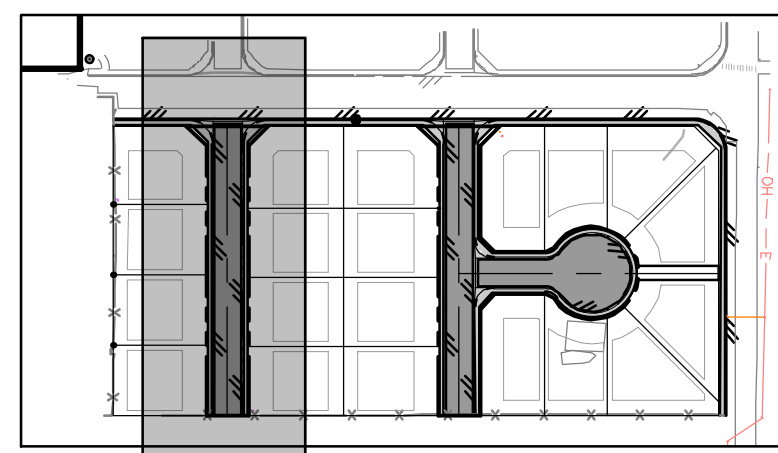
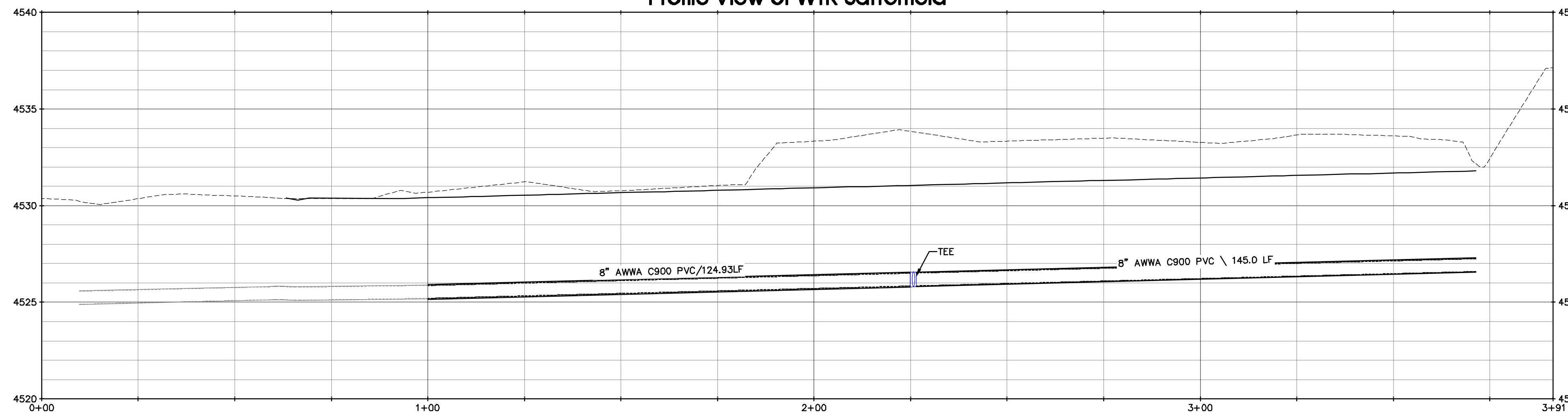
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Profile View of WTR-Satterfield



Key Map

1" = 200'

ACCEPTANCE BLOCK  
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Ute Water District Representative \_\_\_\_\_ Date \_\_\_\_\_

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**SCALE**  
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Feet  
CONTOUR INTERVAL = 1 FOOT  
ORIGINAL SHEET SIZE: 22 x 34

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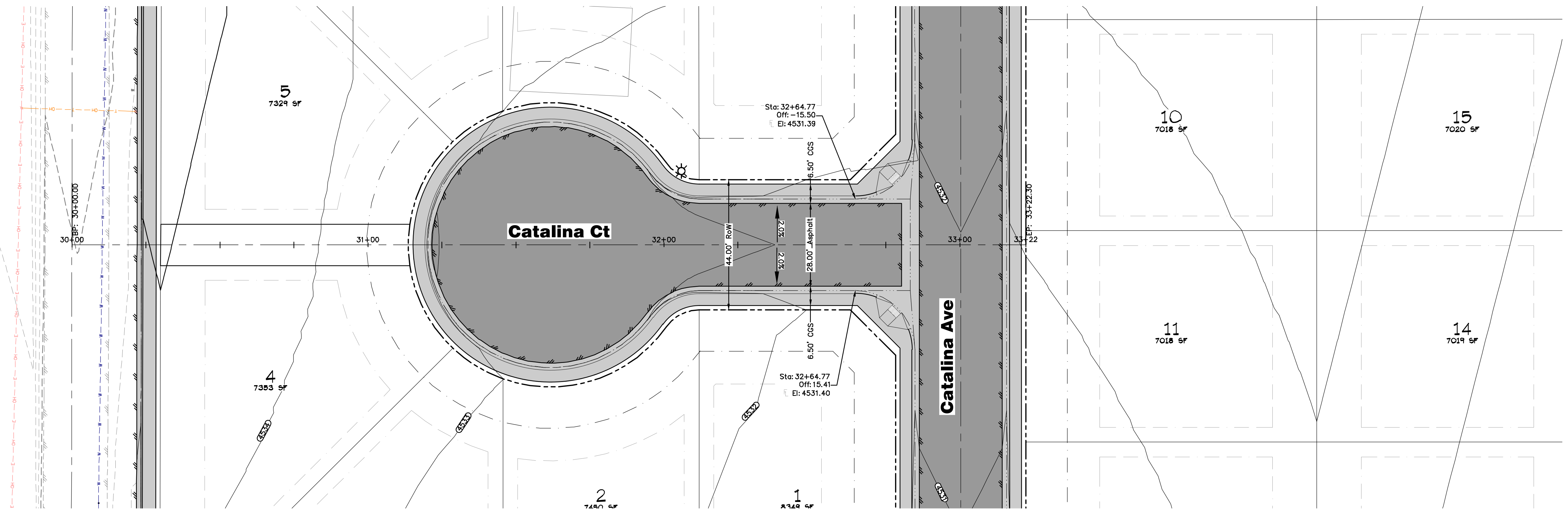
**RIVER CITY CONSULTANTS**  
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www.rcwest.com

PROJECT #: 1129-004  
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DRAWN BY: brms  
CHECKED BY: jwm  
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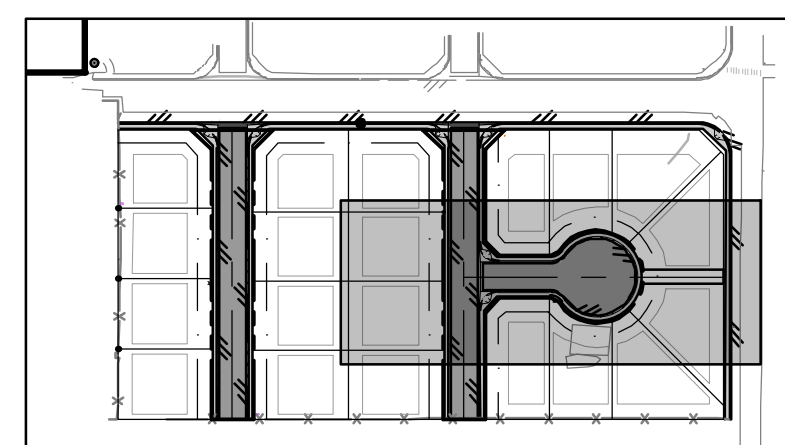
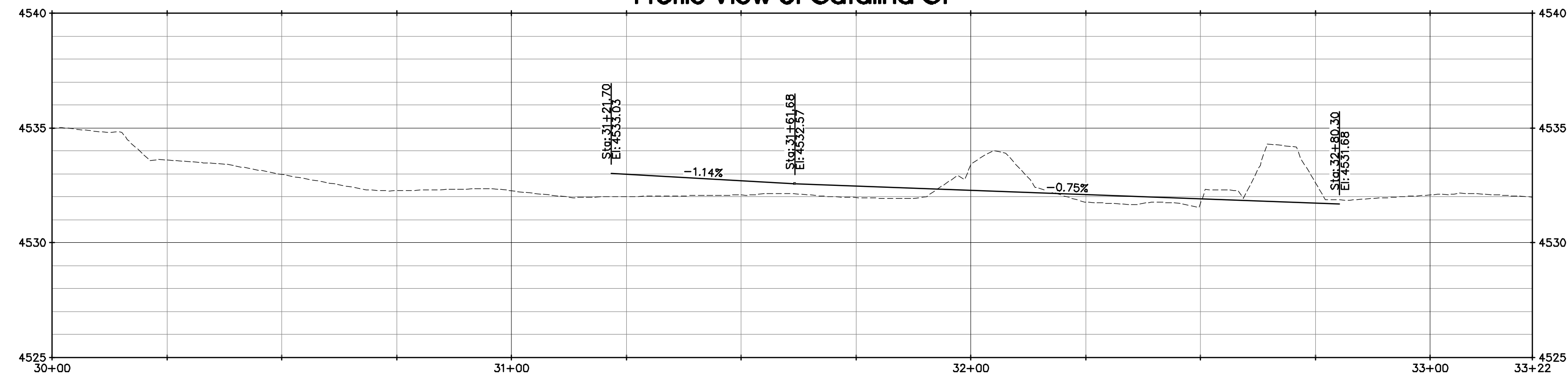
**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
GRAND VALLEY ESTATES FILING II  
Satterfield Ave  
Waterline Plan & Profile  
9.3

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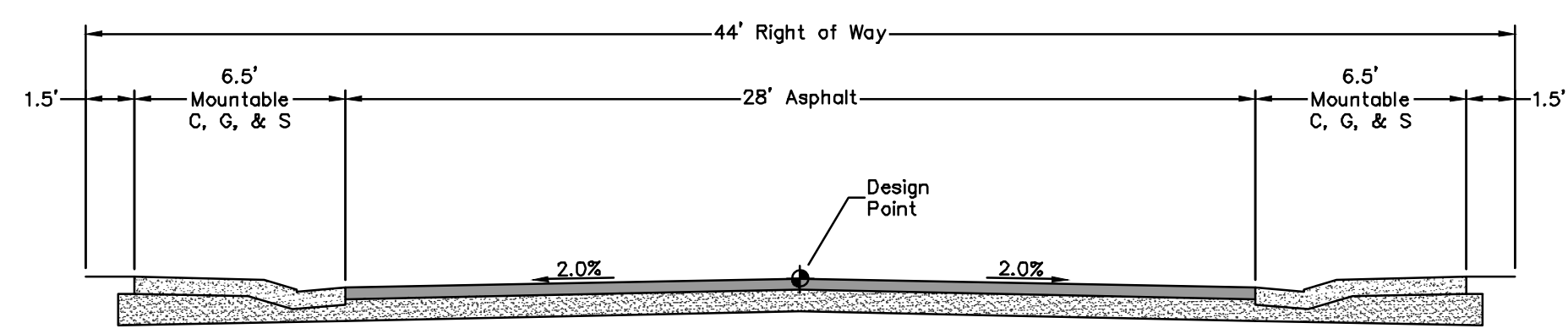


Profile View of Catalina Ct



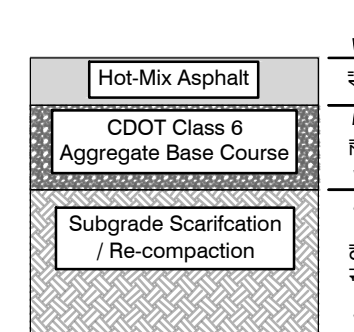
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1" = 5'



Typ Pavement Section

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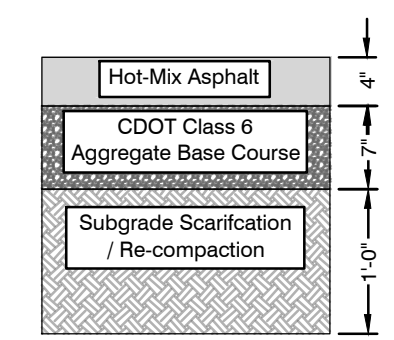
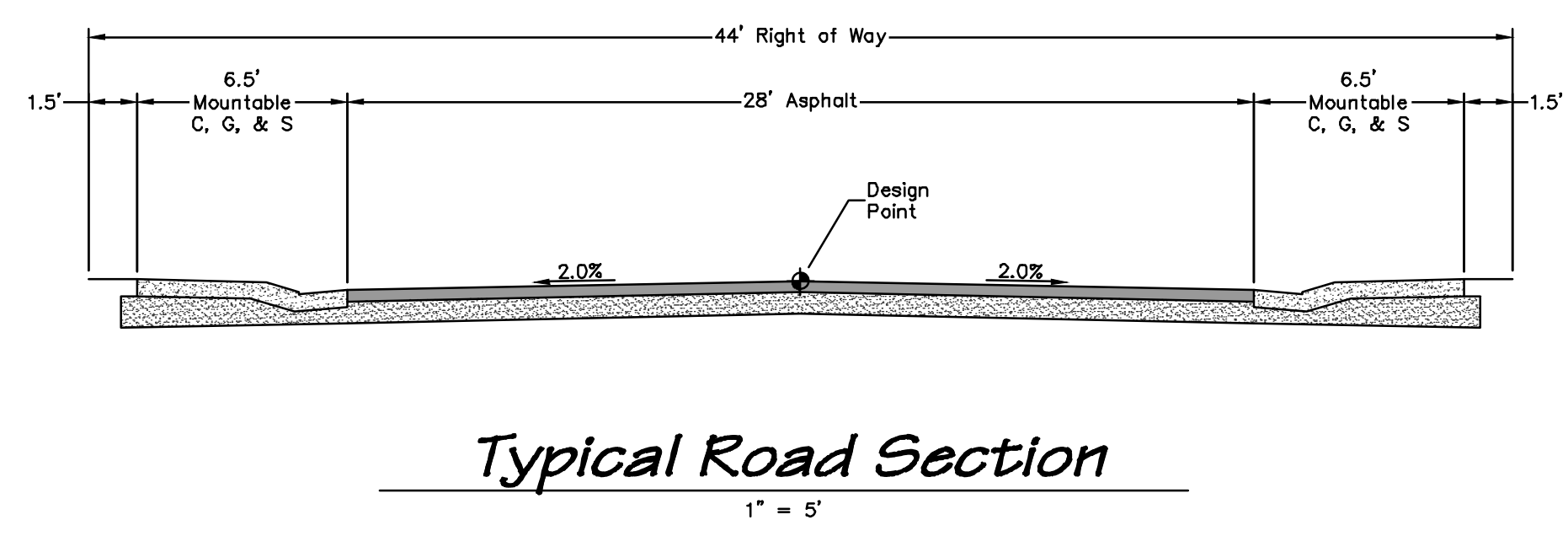
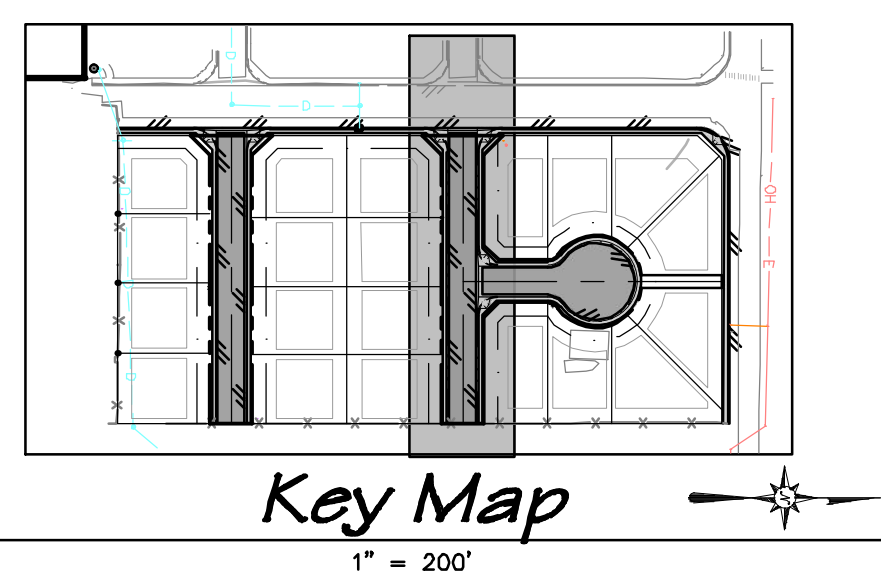
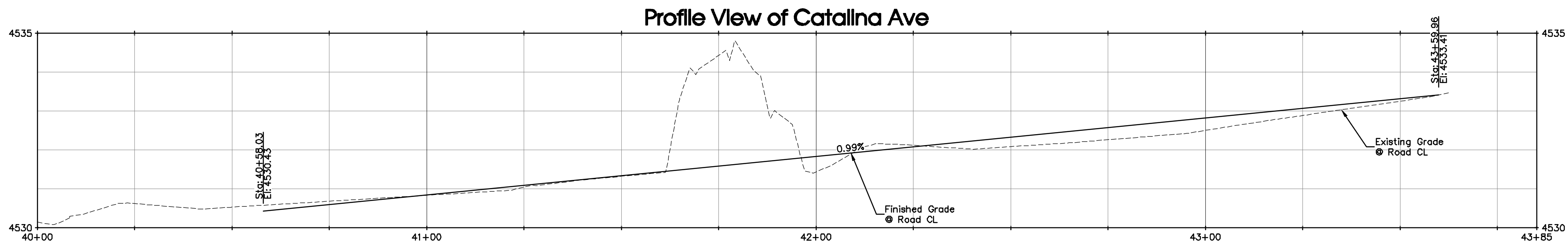
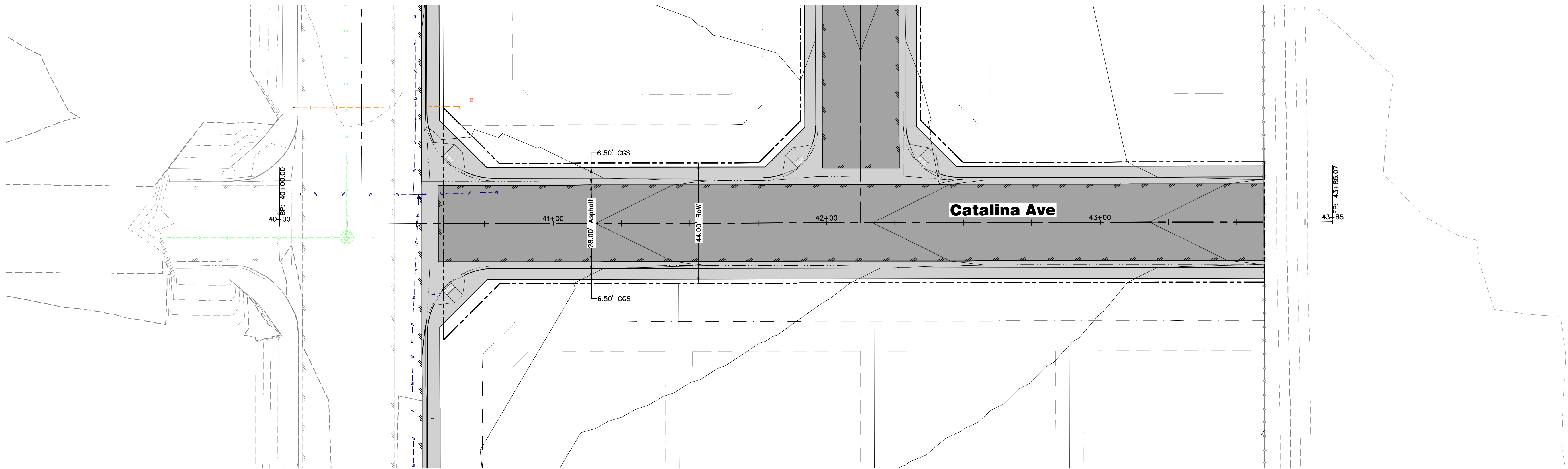


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**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
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 Catalina Ct  
 Road Plan and Profile  
 10.1



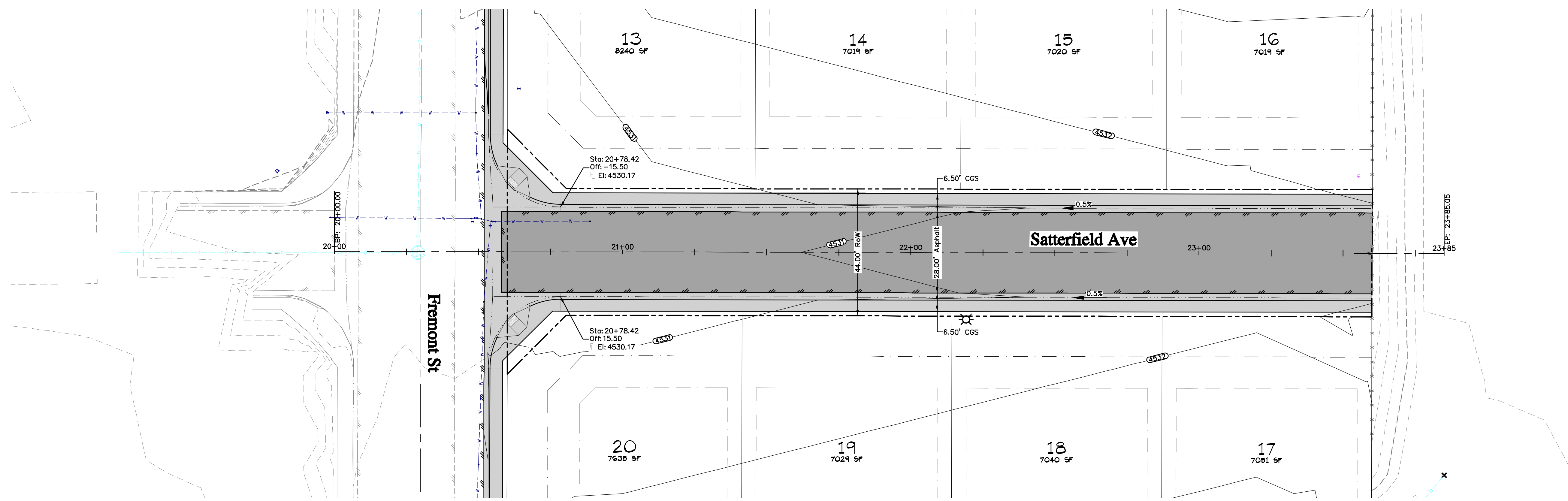


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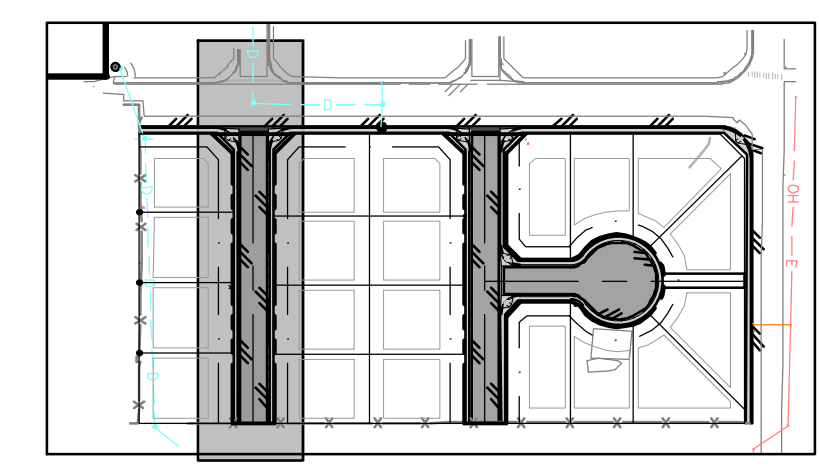
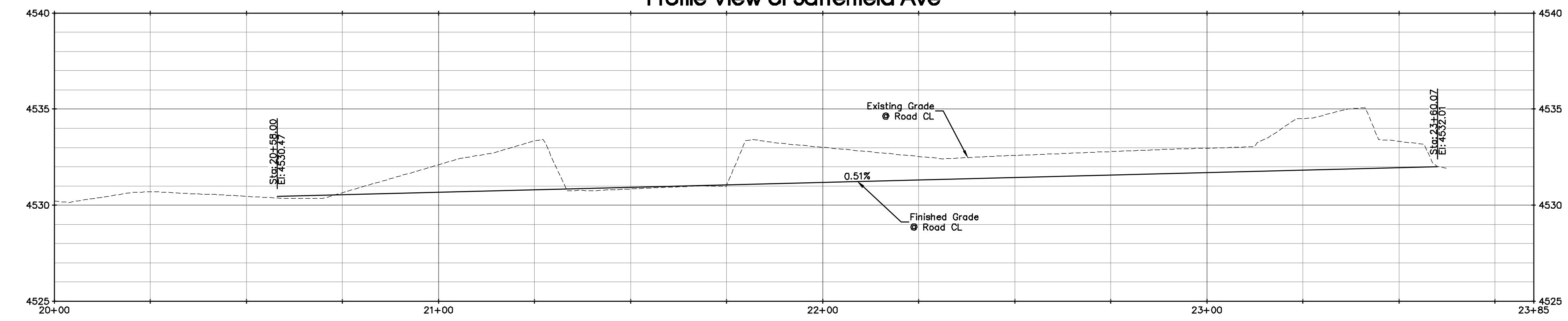
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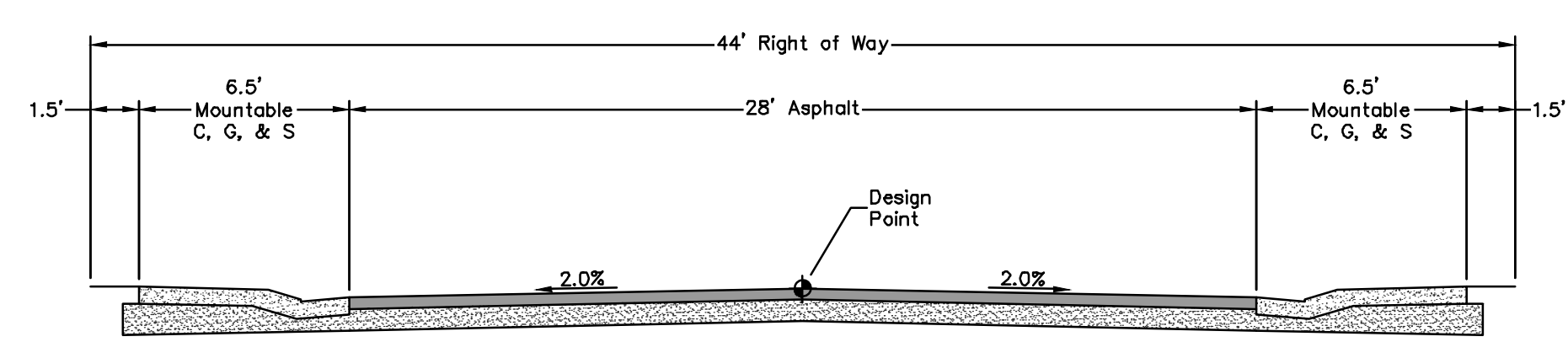


Profile View of Satterfield Ave



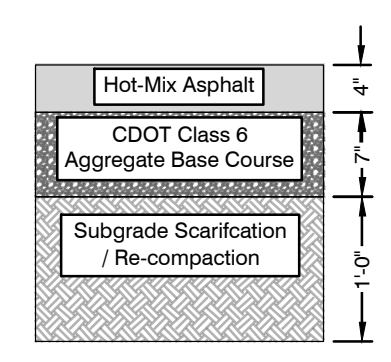
Key Map

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Typ Pavement Section

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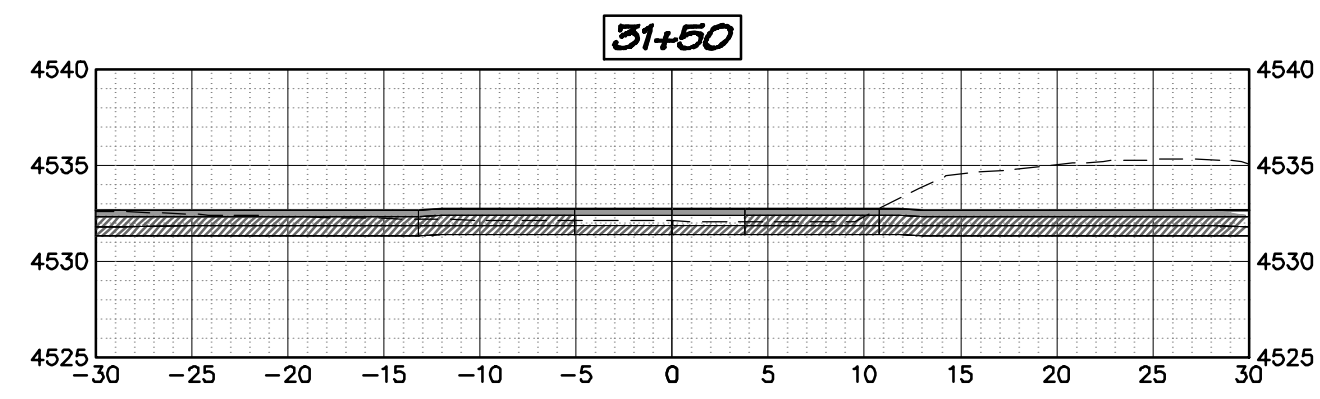
**RIVER CITY CONSULTANTS**  
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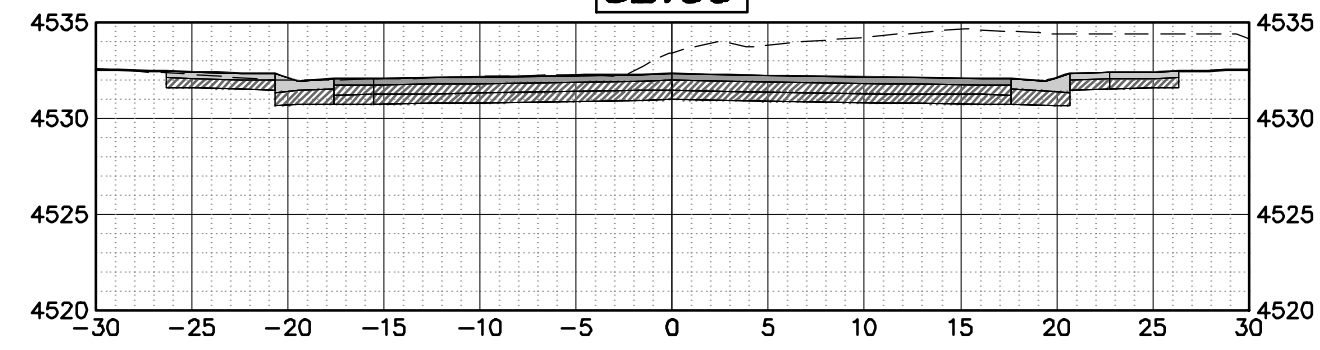
**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
**GRAND VALLEY ESTATES FILING II**  
 Satterfield Ave Road Plan and Profile 10.3



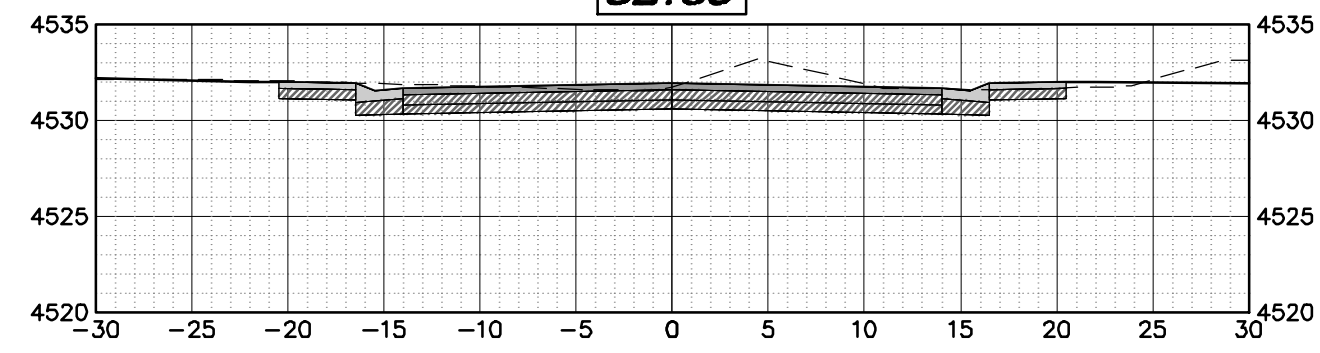
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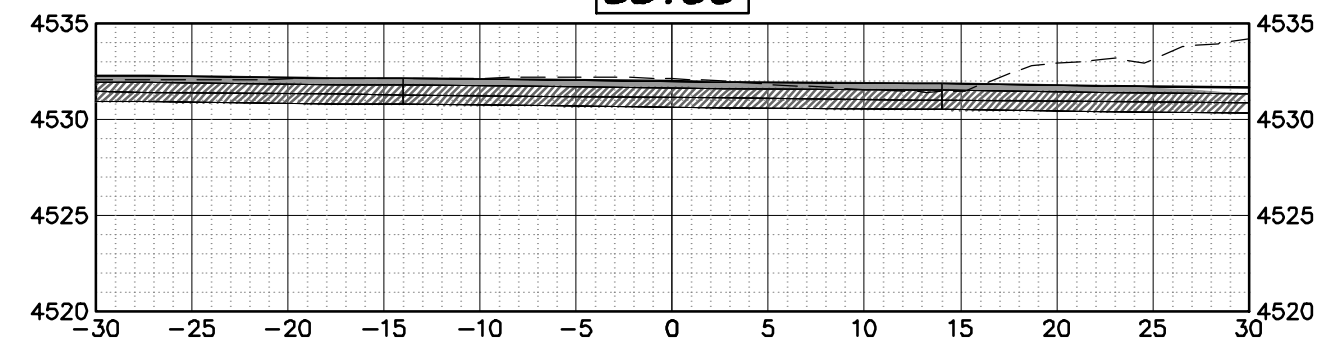
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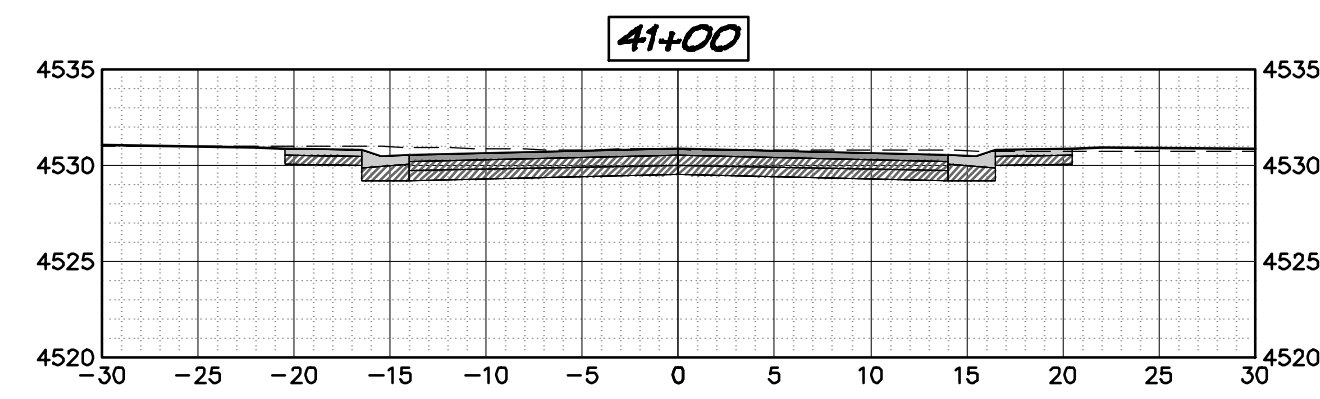
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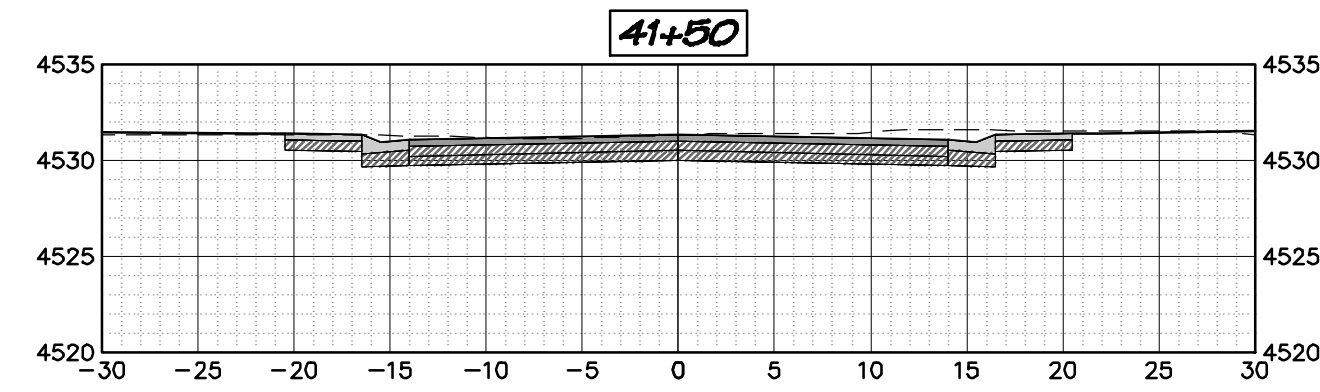
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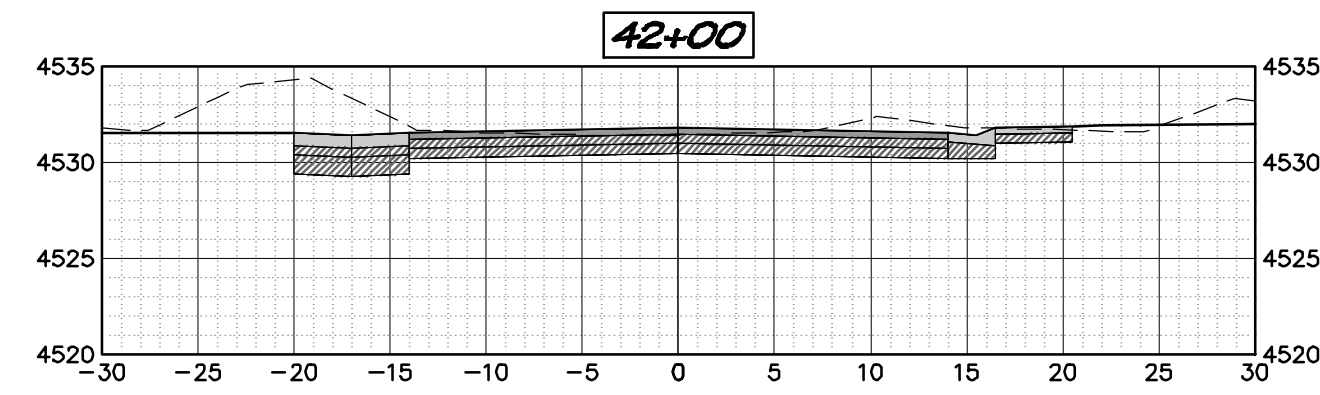
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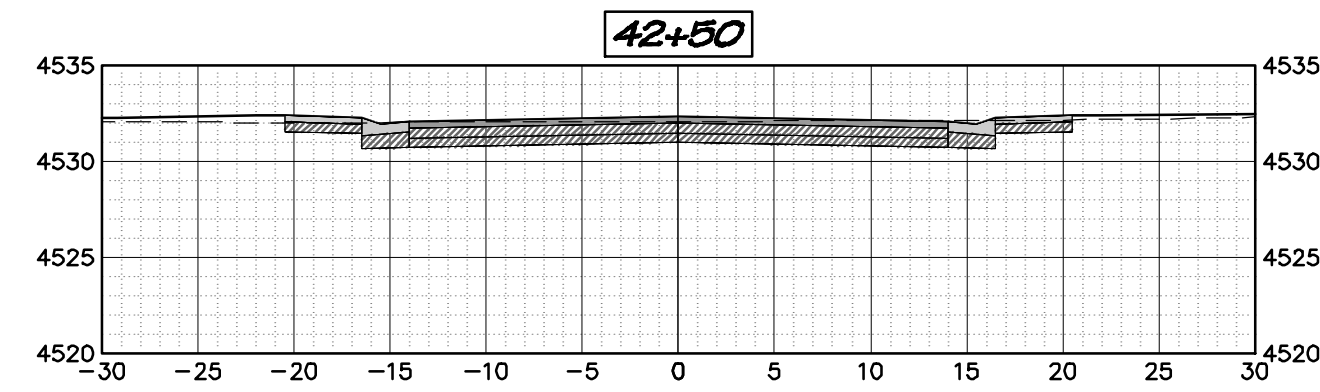
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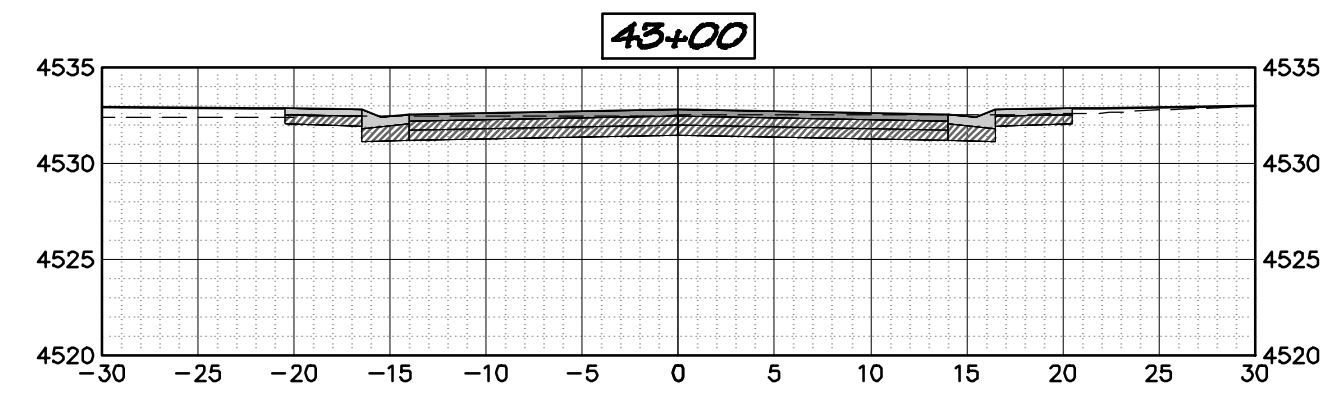
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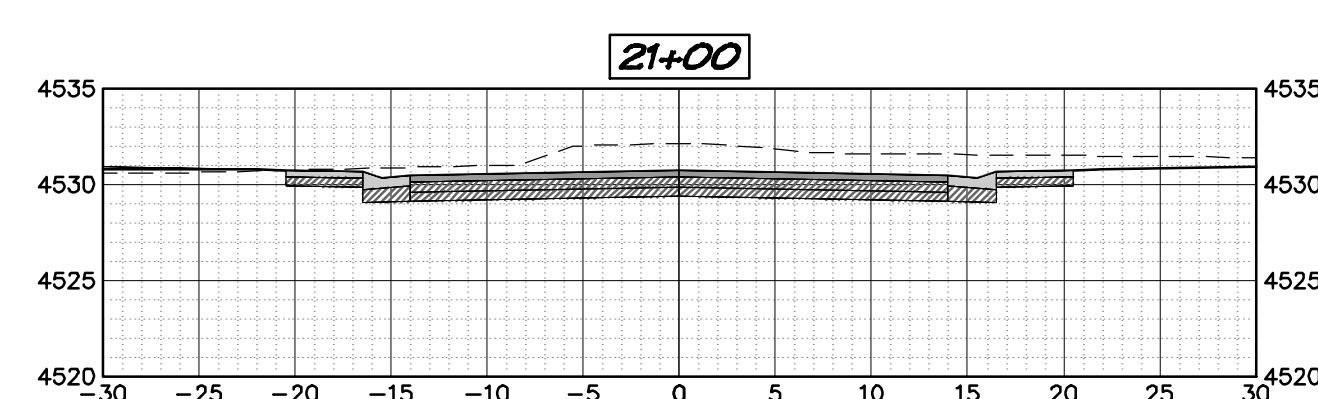


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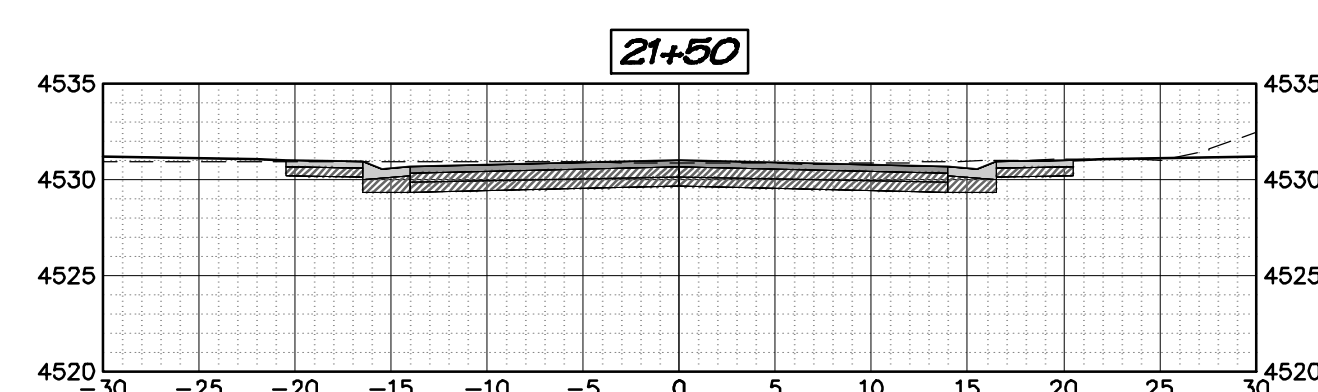


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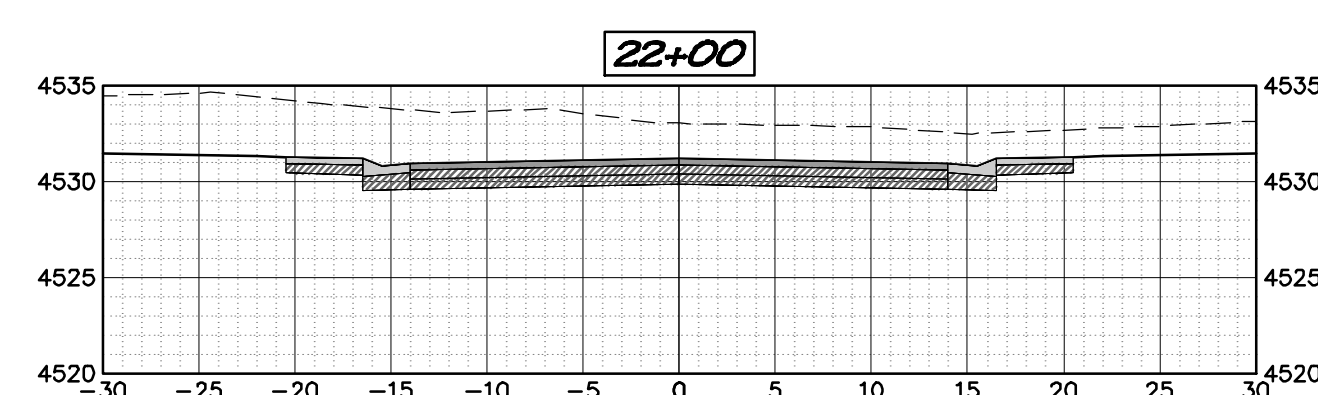
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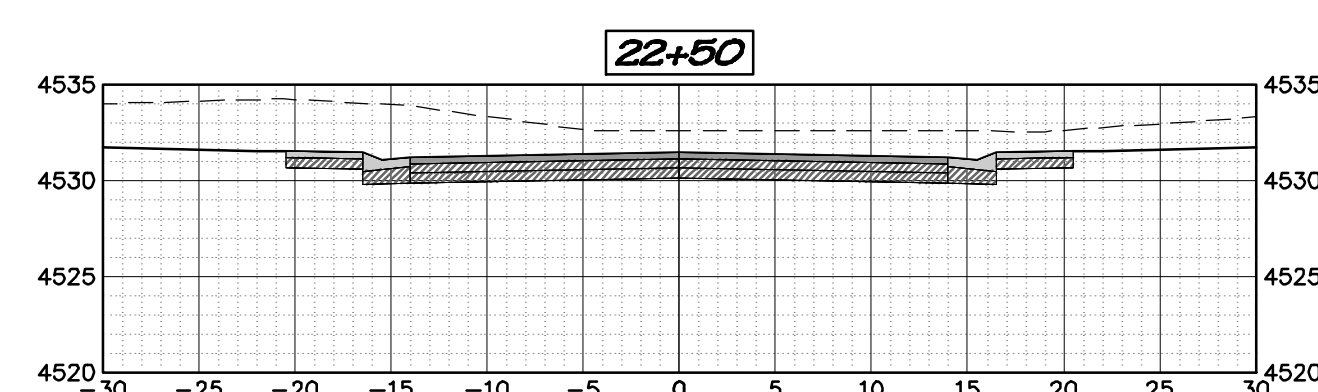
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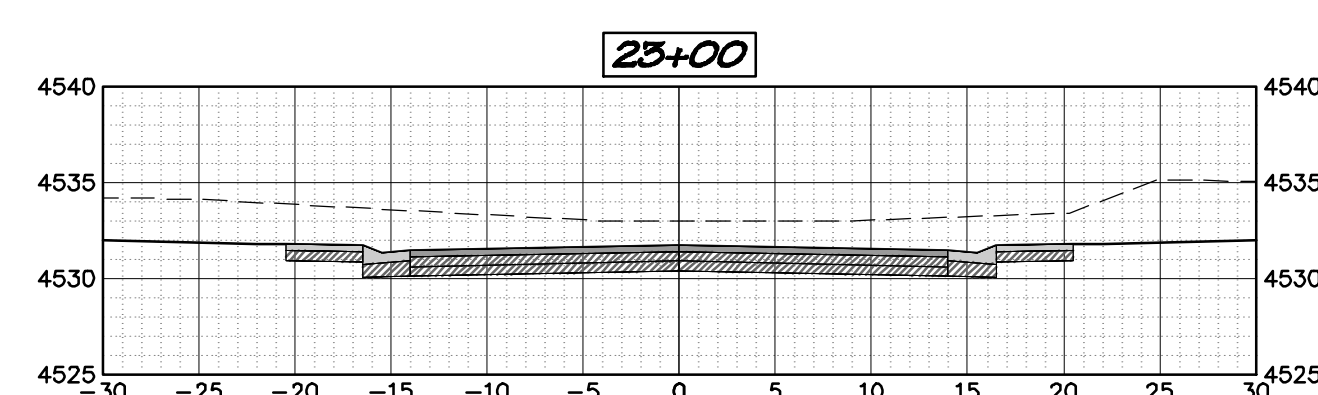
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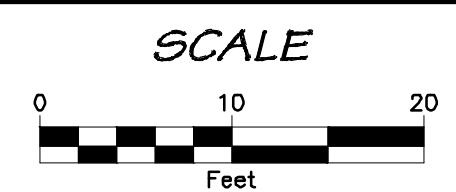
23+00

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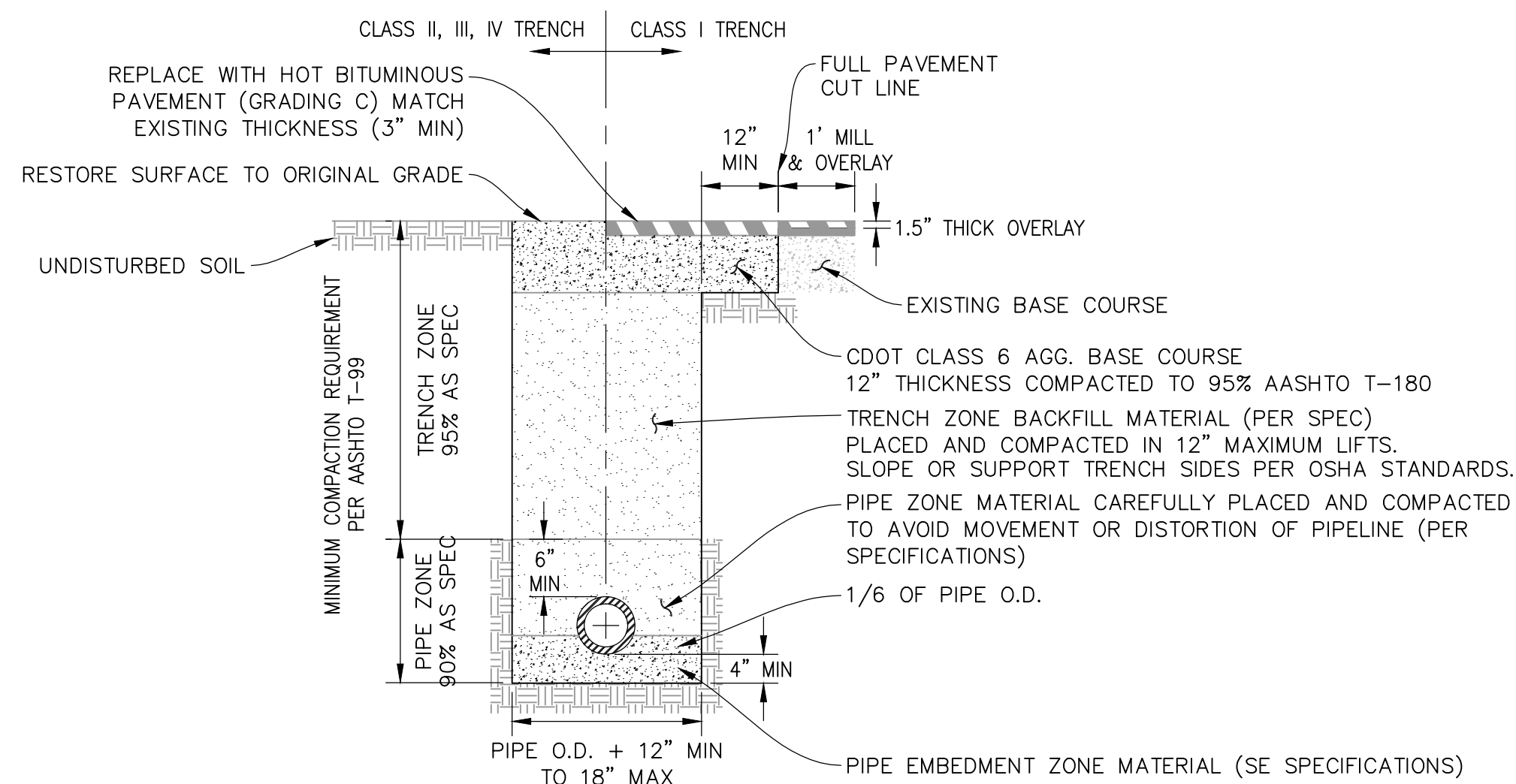
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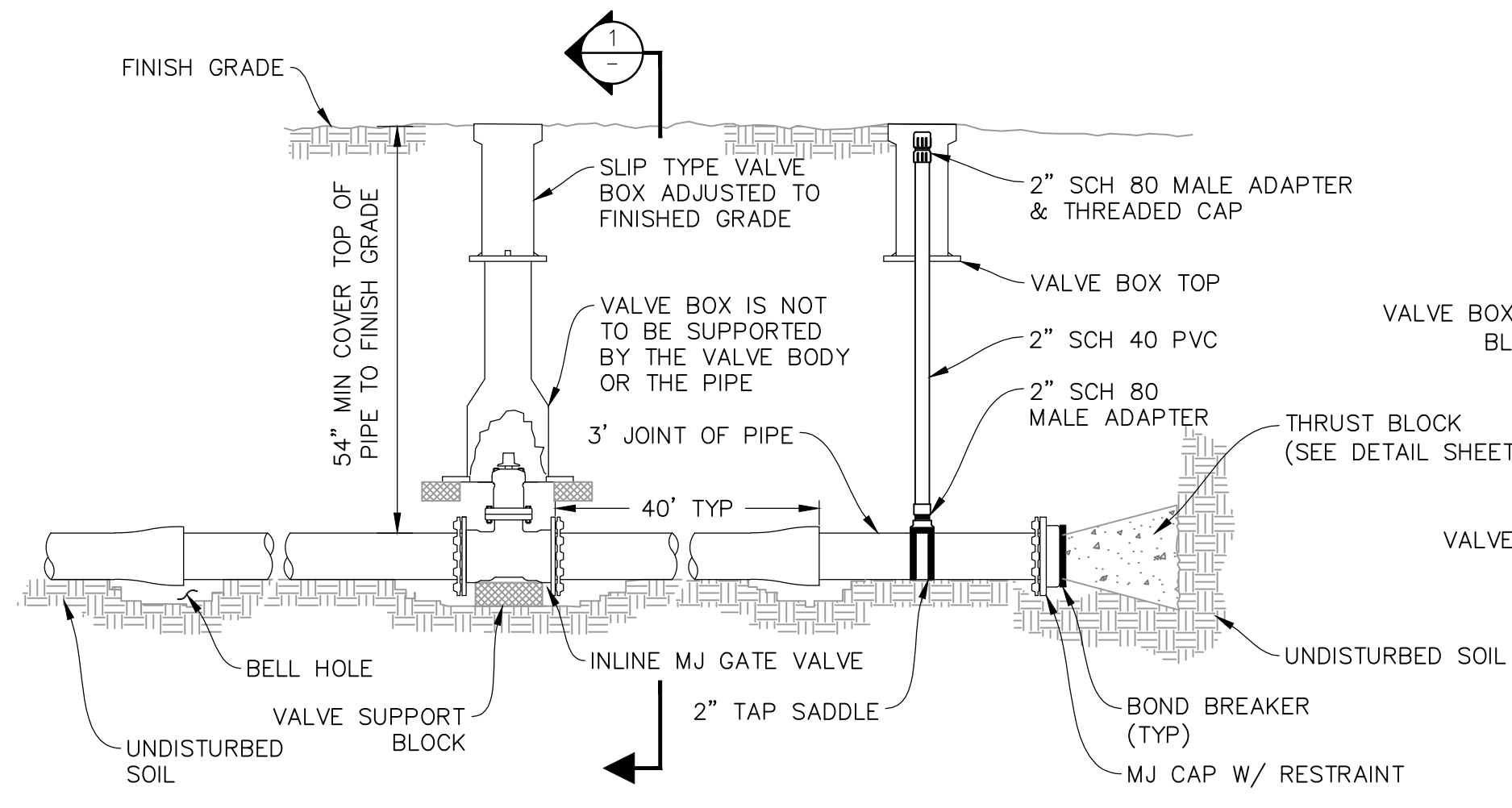
**GRAND VALLEY ESTATES DEVELOPMENT Co, LLC**  
 Grand Valley Estates Filing II  
 Road Cross Sections

11.1

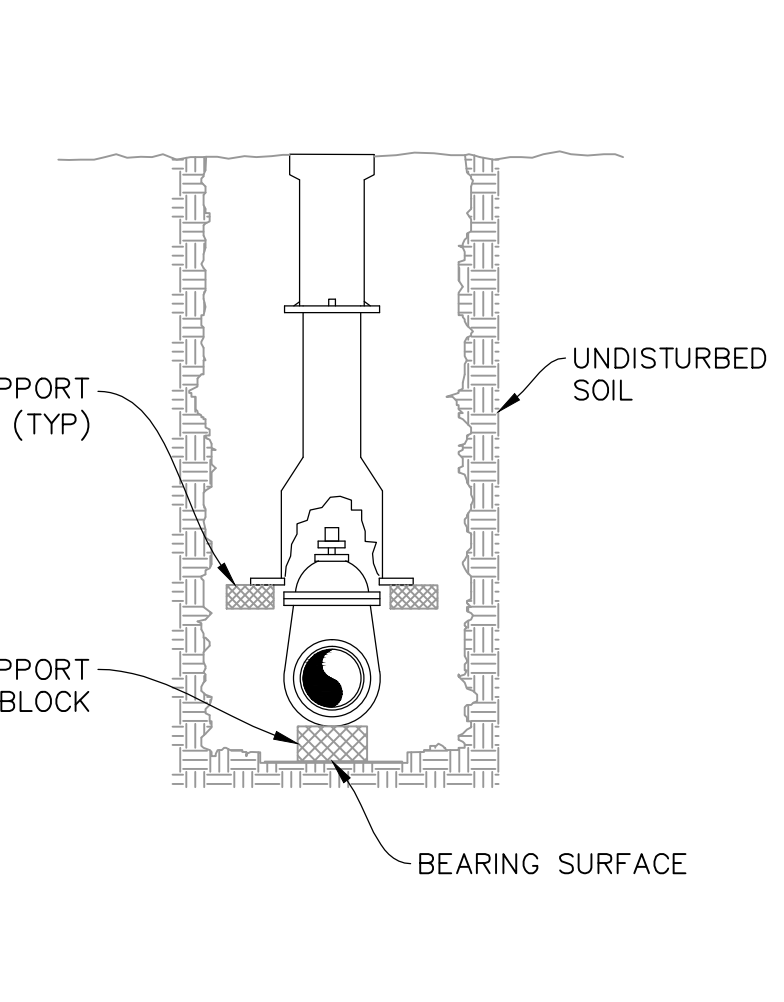




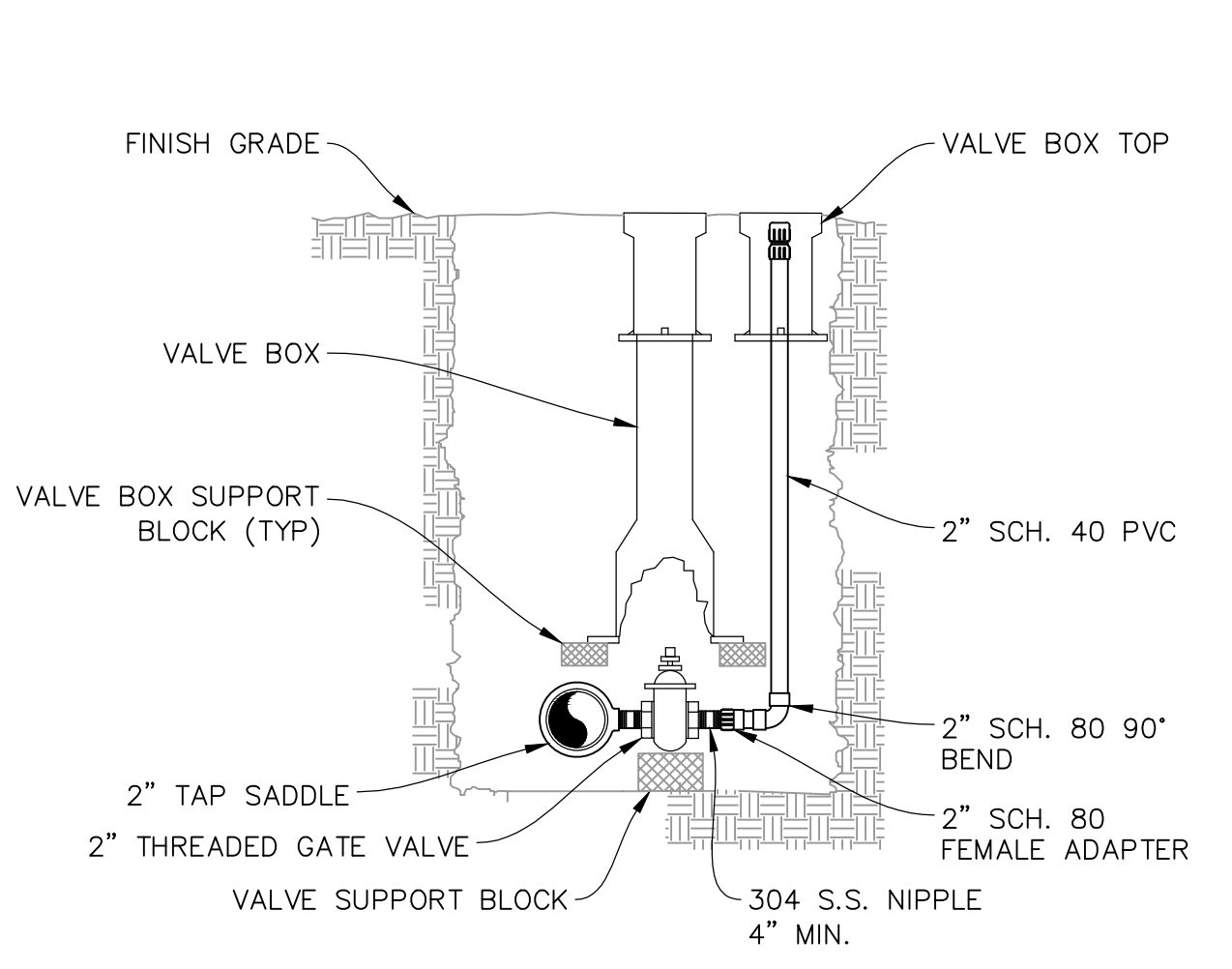
**TRENCH DETAIL (A)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS



**VALVE INSTALLATION, LINE TERMINATION & TYPE "A" BLOWOFF (B)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS

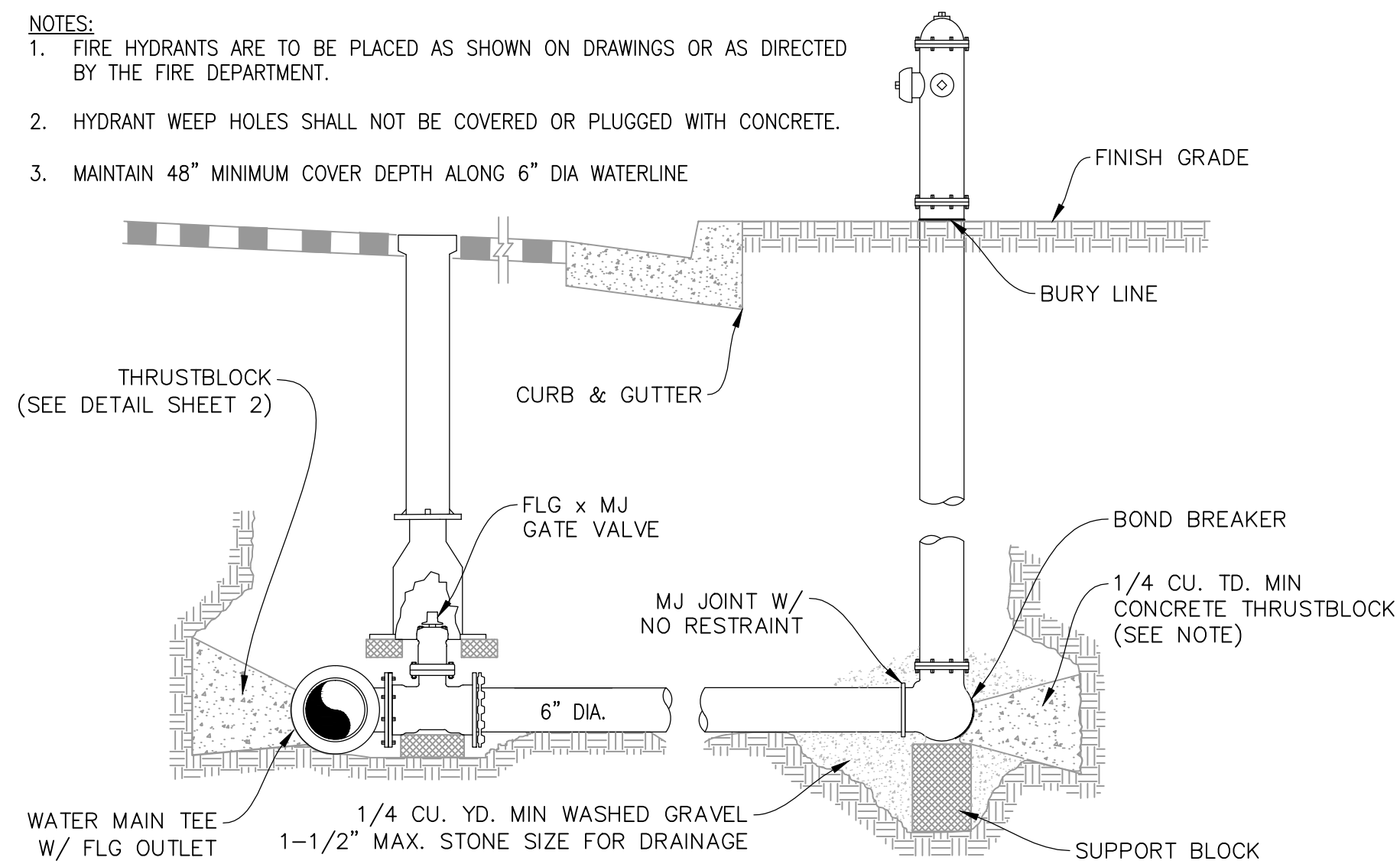


**VALVE SECTION (1)**  
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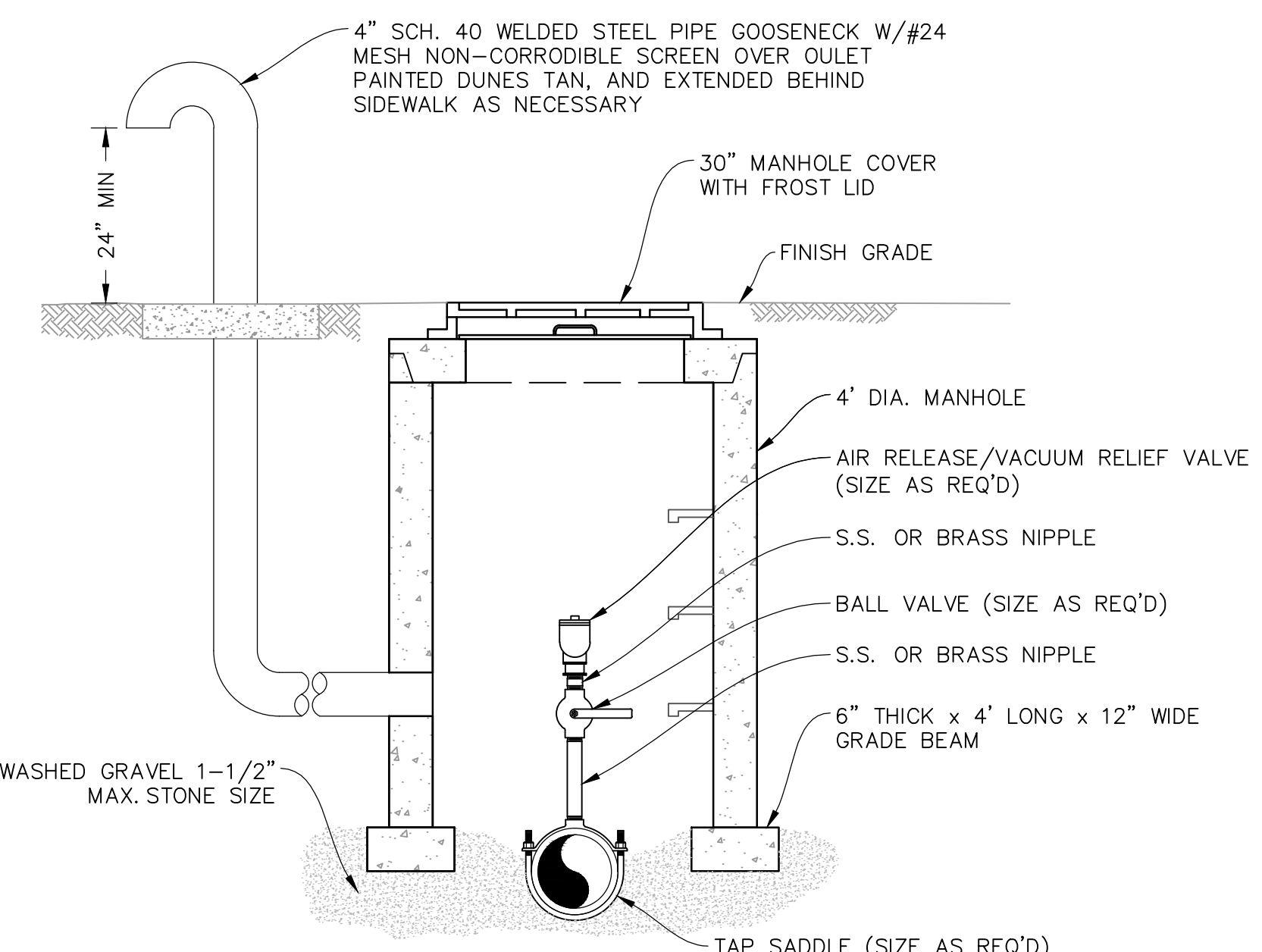


**TYPE "B" BLOWOFF DETAIL (C)**  
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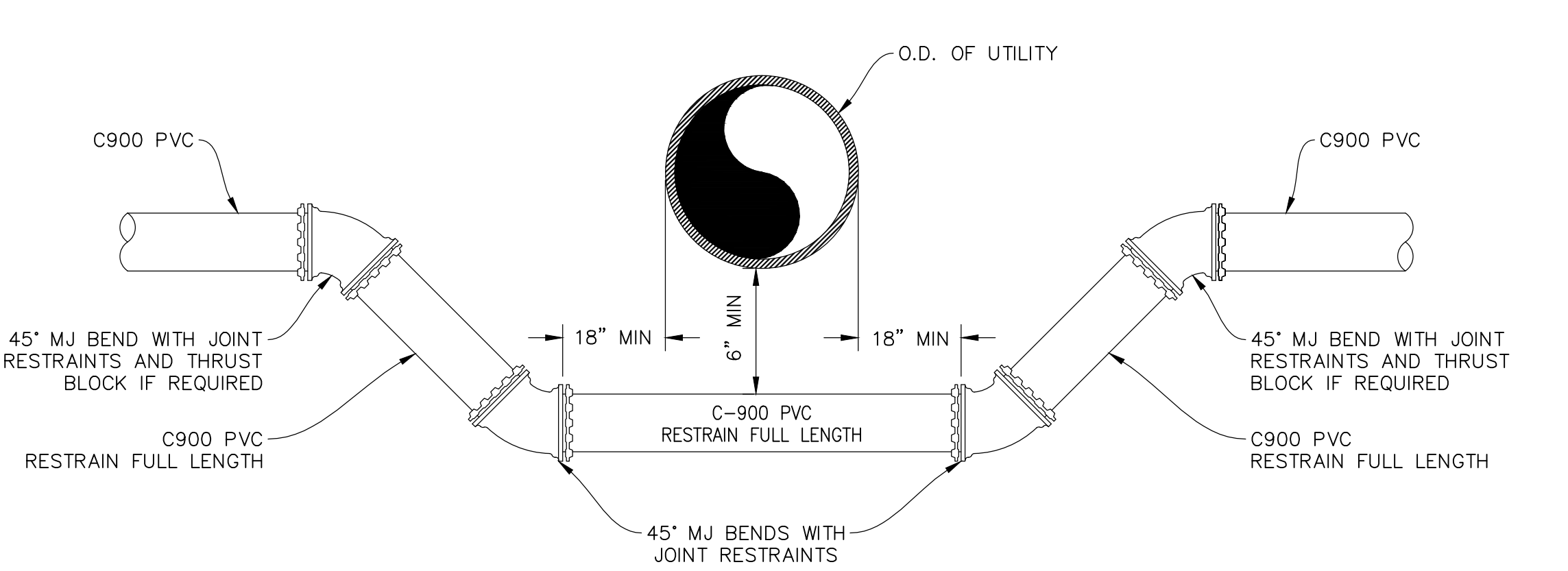
- NOTES:**
1. FIRE HYDRANTS ARE TO BE PLACED AS SHOWN ON DRAWINGS OR AS DIRECTED BY THE FIRE DEPARTMENT.
  2. HYDRANT WEEP HOLES SHALL NOT BE COVERED OR PLUGGED WITH CONCRETE.
  3. MAINTAIN 48" MINIMUM COVER DEPTH ALONG 6" DIA WATERLINE



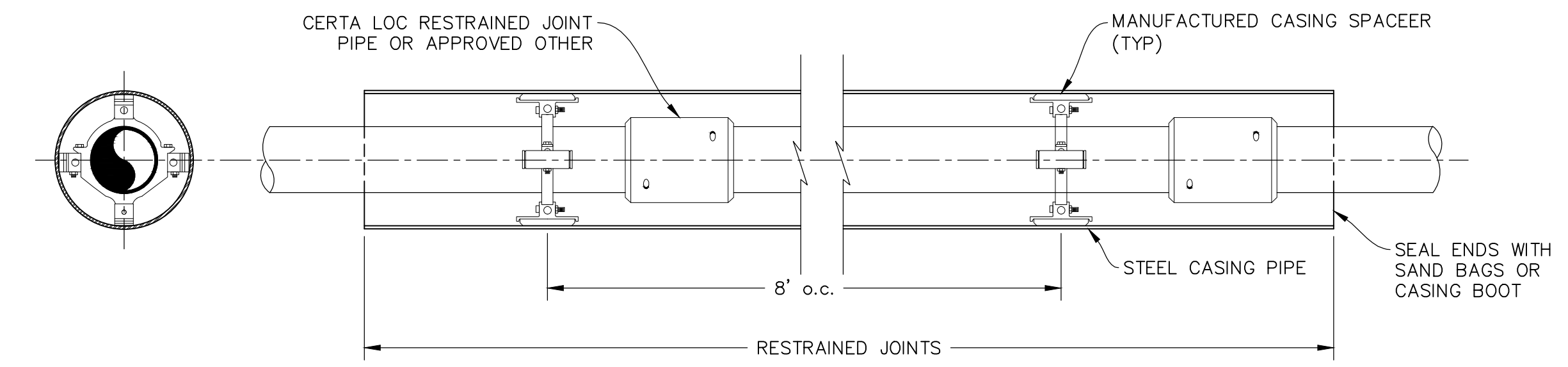
**FIRE HYDRANT DETAIL (D)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS



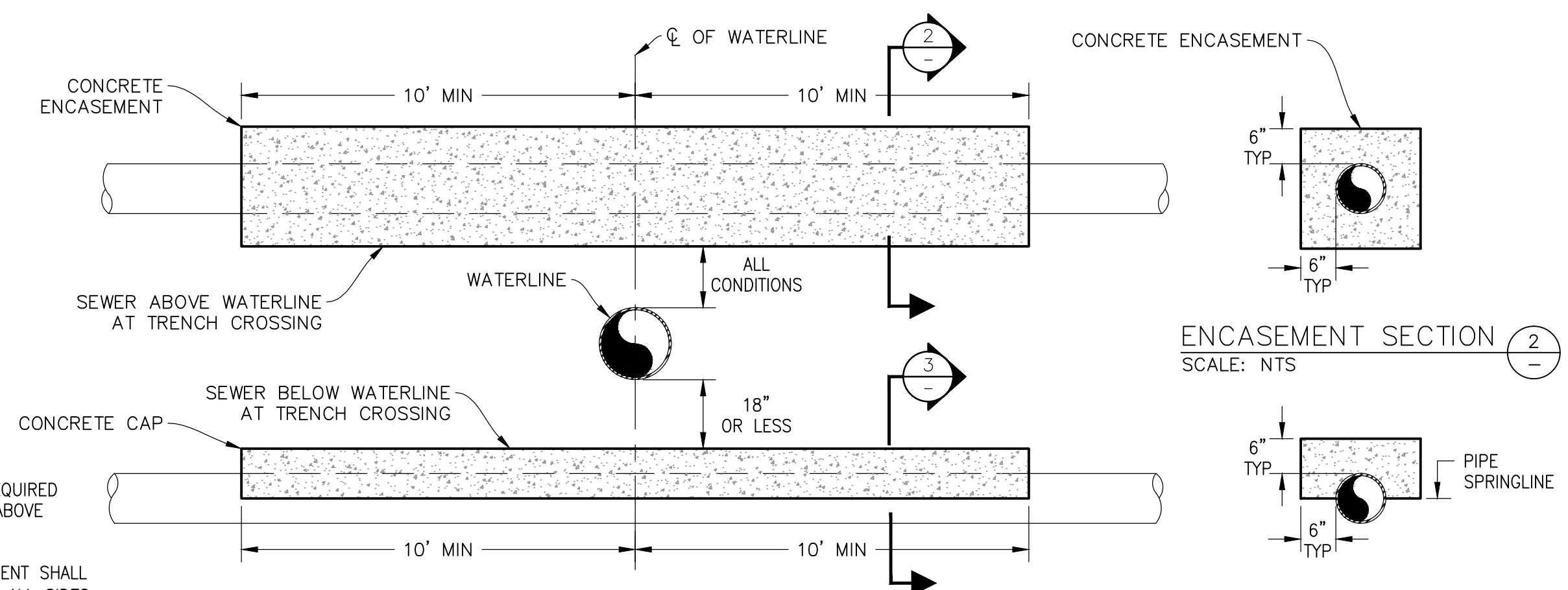
**AIR RELEASE/ VACUUM RELIEF DETAIL (E)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS



**TRENCH CROSSING UNDER UTILITY (F)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS




**PIPELINE ENCASEMENT DETAIL (G)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS



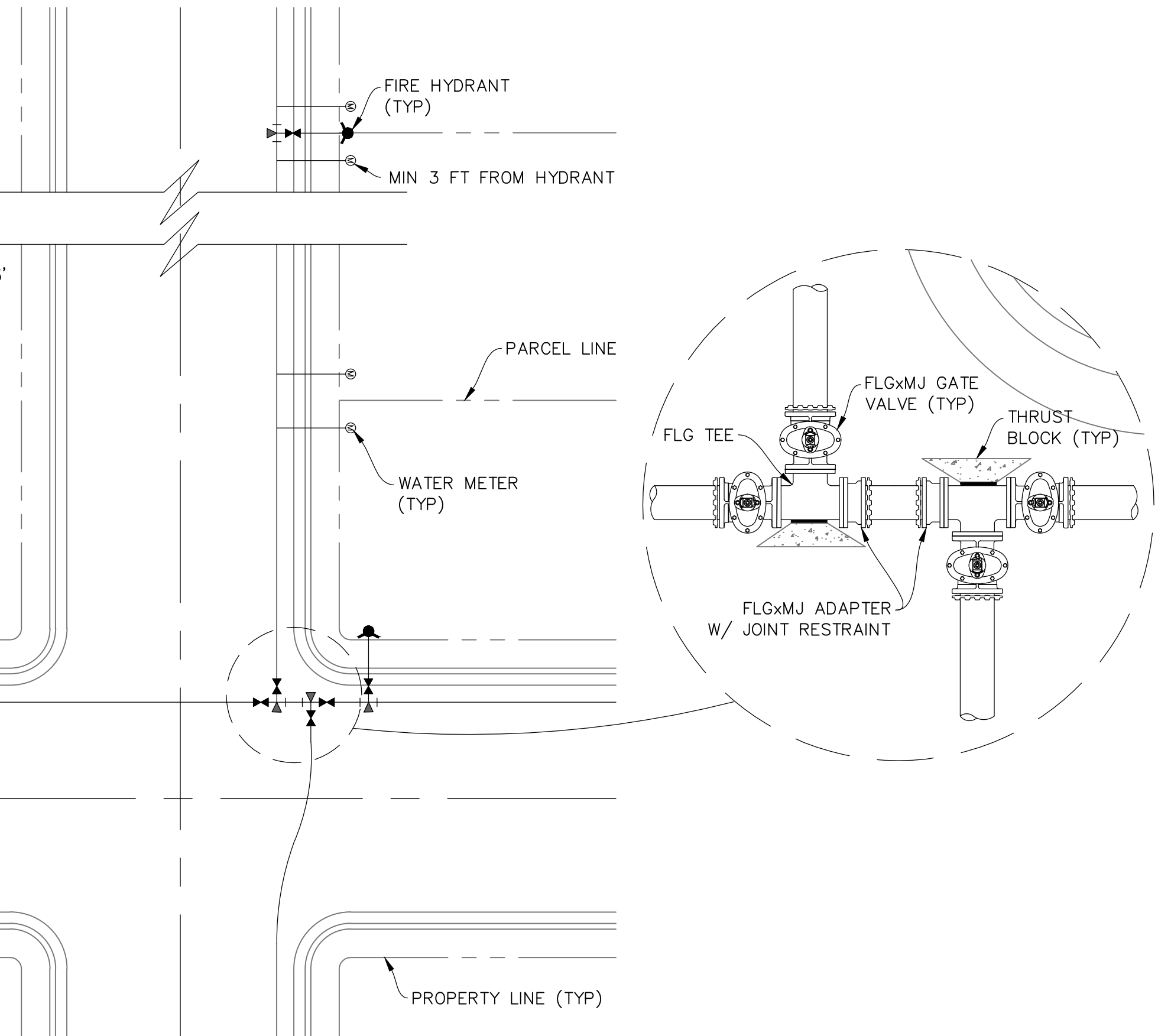
**TRENCH CROSSING OF SEWER (H)**  
UTE WATER STANDARD DETAILS  
SCALE: NTS

- NOTE:**
1. CONCRETE WITH FIBER MESH REQUIRED FOR SEWER LINE ENCASEMENT ABOVE WATER LINE.
  2. CONCRETE COLLAR OR ENCASEMENT SHALL BE A MINIMUM OF 6" THICK ON ALL SIDES OF SEWER LINE.

DATE: MAY 2015		UTE WATER CONSERVANCY DISTRICT GRAND JUNCTION, CO 81505 PH. (970)242-7491 FX. (970)242-9189	NO.	REVISION	DATE	BY	UTE WATER STANDARD DETAILS	DETAIL SHEET 1 OF 2	SHEET NO.
CAD: D.REED			1						1
DESIGN:			2						
CHECKED:			3						
APPROVED: D.PRISKE			4						



- NOTES:**
1. WATER LINES ARE TO BE INSTALLED ON THE NORTH OR EAST SIDE OF THE R.O.W., NO LESS THAN 2' OR MORE THAN 3' FROM LIP OF CURB UNLESS OTHERWISE SHOWN.
  2. ALL FERROUS METAL PIPE, VALVES, FITTINGS, AND APPURTENANCES SHALL BE WRAPPED WITH A MINIMUM 8 MIL HIGH DENSITY POLYETHYLENE MATERIAL PRIOR TO BACKFILLING.
  3. DEADENDS MUST EXTEND A MIN. OF 43' BEYOND THE LAST VALVE, TO A POINT BEYOND SURFACE IMPROVEMENTS, OR TO THE PROJECT LIMITS, WHICHEVER IS GREATER.
  4. AVOID METER SERVICES OFF OF DEADEND LINES.
  5. HYDRANT LOCATIONS TO BE AT INTERSECTIONS AND/OR ON PARCEL LINES AND PAIRED WITH WATER METER SERVICES.



**TABLE FOR CONCRETE THRUST BLOCKING**  
BEARING AREAS (IN SQ. FT.)

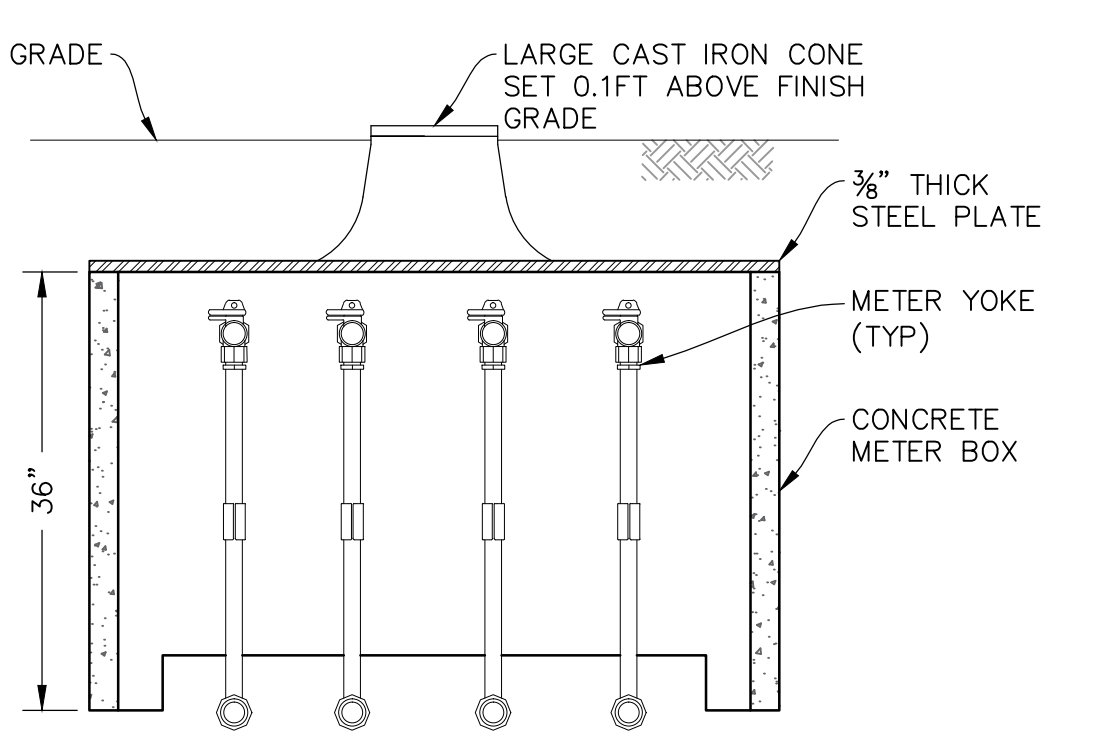
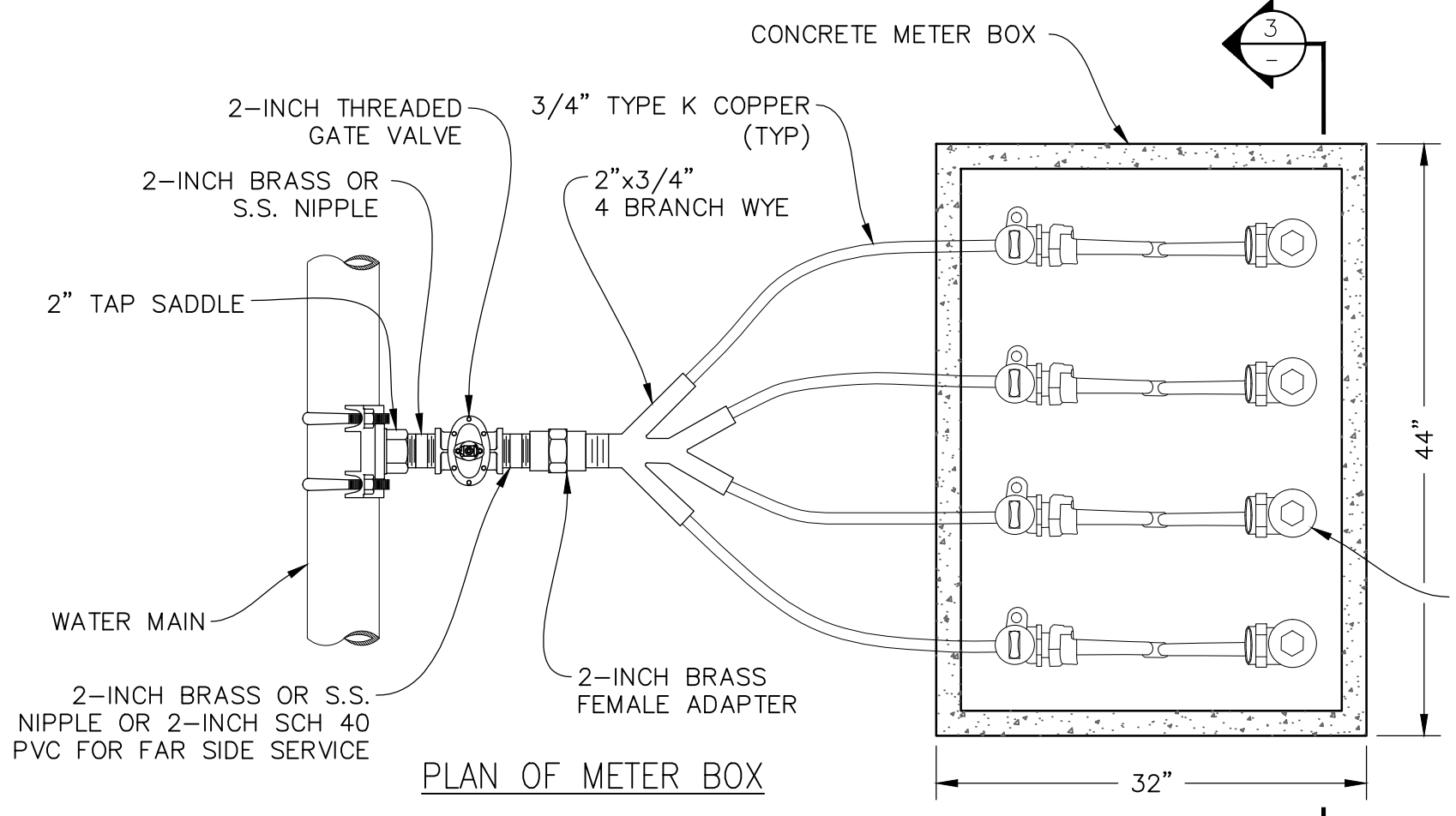
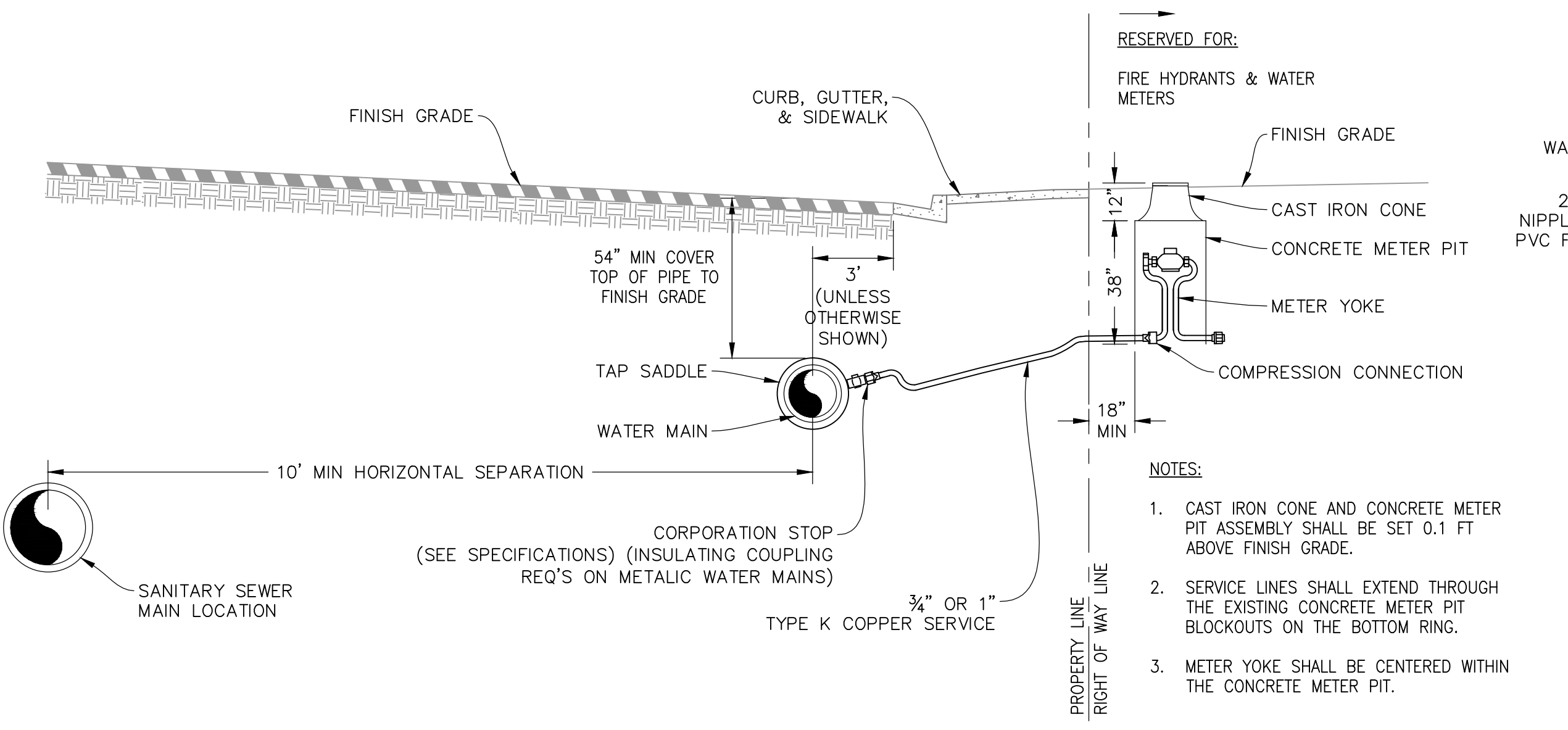
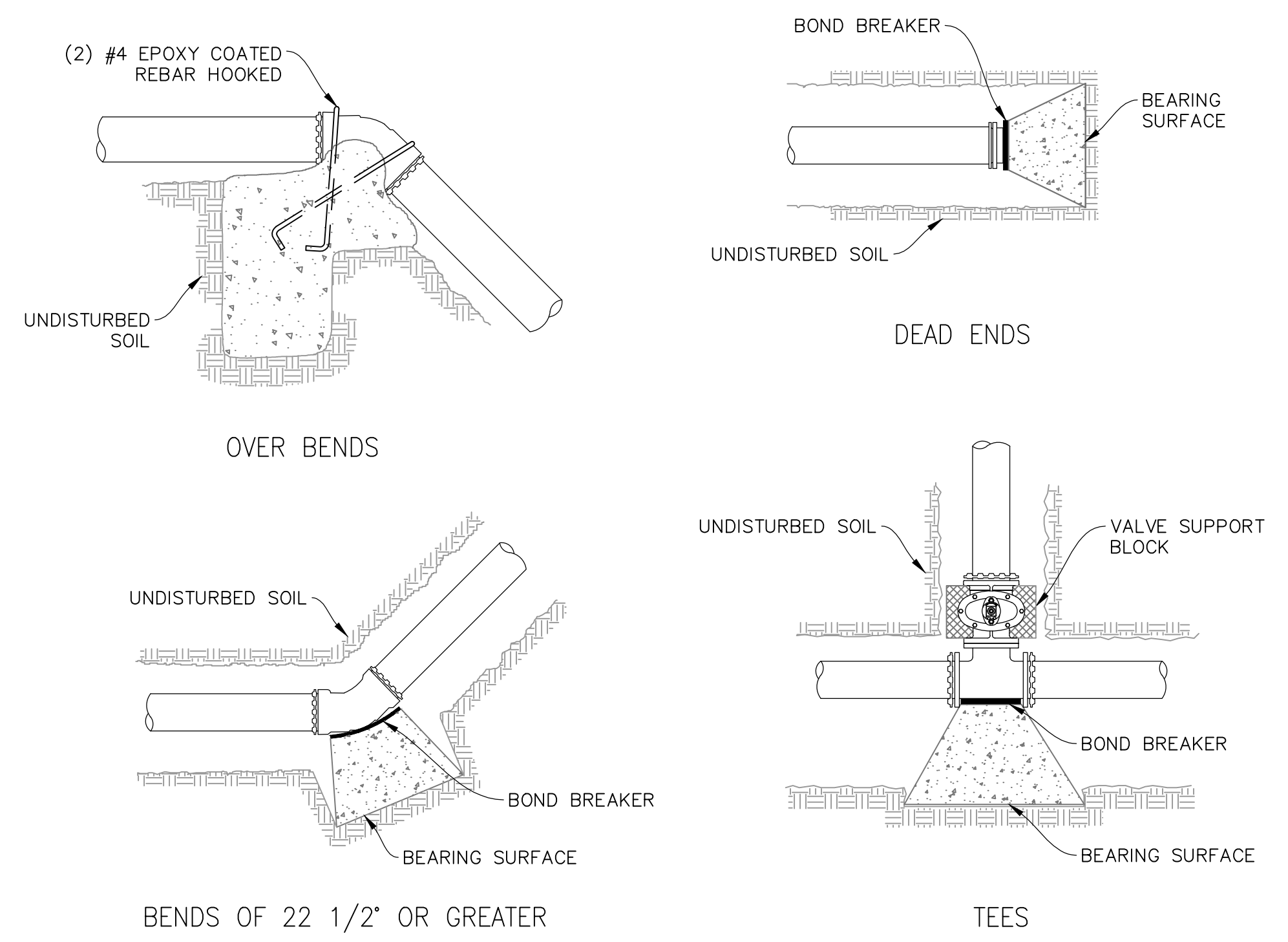
SIZE	BENDS			TEE BRANCH SIZE AND DEAD ENDS
	90°	45°	22 1/2°	
6	4.0	2.2	1.1	2.8
8	7.1	3.8	2.0	5.0
10	11.1	6.0	3.0	7.8
12	16.0	8.6	4.4	11.3
14	21.7	11.8	6.0	15.4
16	28.4	15.3	8.0	20.0

FIRE HYDRANT THRUST BLOCKS SHALL BE A MIN OF 1/4 CU. YD. IN MASS AND HAVE A MIN BEARING AREA OF 5 SQ. FT.

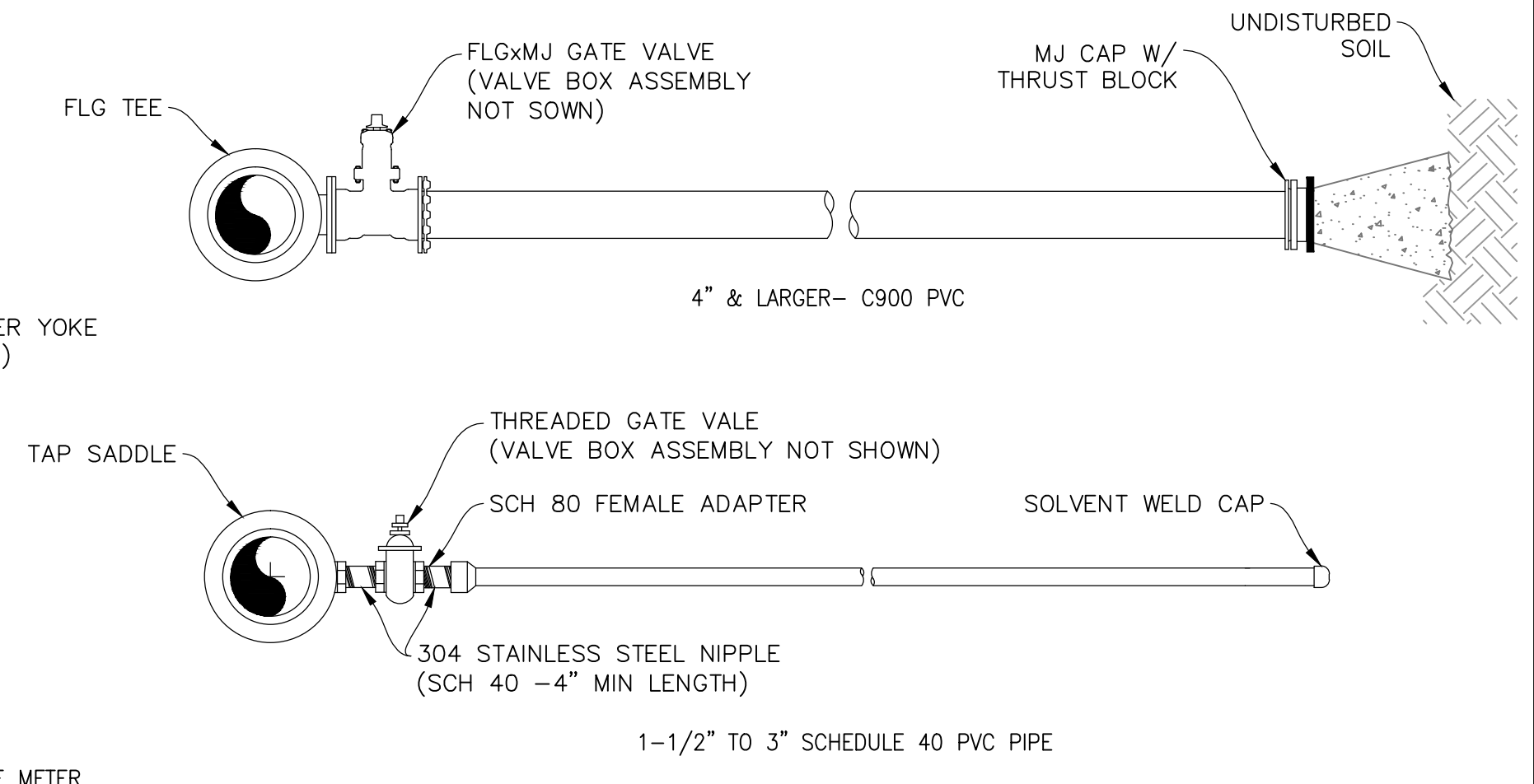
AREAS GIVEN ARE BASED ON INTERNAL STATIC PRESSURE OF 100 P.S.I. AND SOIL BEARING CAPACITY OF 1,000 LBS. PER SQ. FT.

AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING TABULATED VALUES BY A CORRECTION FACTOR "F"

F = ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS PER SQ. INCH. / ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.



**4 METER GANG BOX DETAIL**  
UTE WATER STANDARD DETAILS  
SCALE: NTS



- NOTES:**
1. CAST IRON CONE, CONCRETE METER BOX, STEEL PLATE, & METER YOKES TO BE PROVIDED BY OWNER.
  2. CAST IRON CONE AND CONCRETE METER BOX ASSEMBLY SHALL BE SET 0.1 FT ABOVE FINISH GRADE.
- NOTES:**
1. ALL COMMERCIAL SERVICE LINES SHALL HAVE A 3/4" TAP SADDLE, CORP STOP AND COPPER INSTALLED AT THE END TO ALLOW FOR BLEEDING OF AIR. CONTRACTOR SHALL DIG UP AND TURN OF CORP STOP AFTER TESTING HAS BEEN COMPLETED AND WATER LINE IS ACCEPTED BY UTE WATER.
  2. SERVICE LINE ENDPOINT IS TO EXTEND TO PROPERTY SIDE OF THE RIGHT OF WAY LINE AND MARKED WITH A STEEL POST.