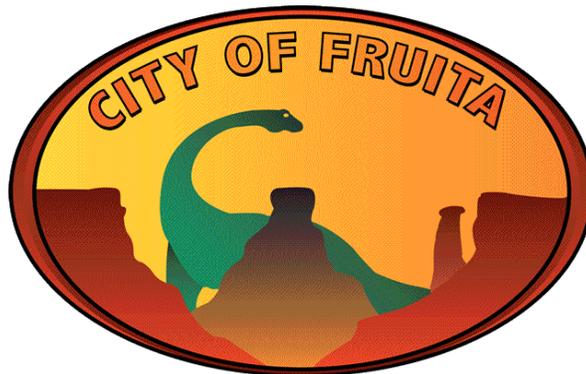


**Request for Qualifications**  
**for**  
**CONSTRUCTION MANAGER/GENERAL**  
**CONTRACTOR SERVICES**  
**for the**  
**FRUITA CITY SHOPS - PHASE 2**



**December 1, 2015**

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## **1.1 BACKGROUND**

The City of Fruita (Owner) recently completed the construction of a 22,650 square foot City Shops building located at 900 Kiefer Avenue. This new building tied into the existing 9,960 square foot existing shop facilities and has allowed the City to consolidate much of the equipment and storage needs for Public Works & Parks to this site. However, due to budget constraints, this completed first phase of construction did not include all interior finishes in the building to meet the staffing needs.

The City has secured funds for Phase 2 of the project to complete interior finishes in the staff areas of the facility. This will include roughly 5,000 square feet of interior finishes within the new portion of the building and potentially some interior remodeling of existing office areas if budget allows. The interior finishes will primarily include constructing 6 new offices, approximately 1,200 square feet of training space, and finishing the break room area within the new building. The City of Fruita is requesting Statements of Qualifications from Construction Manager / General Contractors (CM/GC) who have proven experience with projects similar in scope and have a record of providing high-quality construction.

Chamberlin Architects designed the first phase of the project and the City of Fruita has retained Chamberlin Architects to complete design services as necessary for Phase 2 of the project. The City of Fruita anticipates that these services will be limited to a Design Development level set of plans based on the CM/GC delivery method. The Architect will be available throughout the project to assist in reviewing material selections, providing performance specifications, obtaining building permits, or answering questions as necessary. This project has obtained a waiver from High Performance Building Certification Program from the State of Colorado and is not seeking LEED certification, but the City does encourage incorporating interior finishes that support sustainable design principles.

## **1.2 BUDGET**

The City of Fruita was awarded a \$100,000 matching grant for Phase 2 of this project from the Energy & Mineral Impact Assistance Fund administered by the Colorado Department of Local Affairs. The City of Fruita's goal is to complete as much of the remaining interior finishes as possible with this \$200,000 total project budget. These funds will be used for construction services as well as Design Fees, Furniture, and other soft costs.

## **1.3 SCOPE OF SERVICES**

The CM/GC scope of services will include, but is not necessarily limited to the following.

1. Preconstruction Services:
  - a) Review Owner needs and project goals.
  - b) Identify level of design documents necessary to obtain bids.
  - c) Assist team in selection of interior finishes and materials with respect to quality, availability, and price.

- d) Prepare cost estimate that will assist in defining final scope of the project and can be used to establish a Guaranteed Maximum Price (GMP) for construction services.
  - e) Assist the project team in the preparation of a construction schedule for the project.
2. Construction Services:
- a) Work with the project team to secure all necessary building permits.
  - b) Solicit bids from subcontractors as necessary and make recommendations to the project team for awards.
  - c) Prepare and execute construction contracts for each trade or category of work.
  - d) Maintain a construction schedule and coordinate with Owner to maintain City operations throughout duration of construction.
  - e) Provide project management, on-site supervision, and coordination of all subcontractor trades.
  - f) Provide measures and temporary facilities necessary to ensure a clean and safe work site.
3. Post-Construction Services:
- a) Perform such post-construction services as necessary to ensure successful issuance and close-out of all required certificates and permits, perform such warranty work as required by contract.
  - b) Provide for a one (1) year warranty period.

#### **1.4 CONTACTS**

The primary contact for the City on this project shall be directed to:

City of Fruita  
Ken Haley, Public Works Director  
325 E. Aspen Ave  
Fruita, CO 81521  
970-858-9558  
[khaley@fruita.org](mailto:khaley@fruita.org)

#### **1.5 CONSTRUCTION SCHEDULE**

Project funding has been secured in the 2016 Budget and it is the City's intent to start construction as soon as possible in the 2016 calendar year.

#### **1.6 PROPOSAL DEADLINES**

1. Statements of Qualifications shall be submitted to the primary contact specified in Section 1.4 above by 12 noon on December 15, 2015. SOQ's received after this time may be returned unopened at the Owner's sole discretion.
2. All inquiries and requests for clarifications related to this RFQ shall be submitted via email to Ken Haley at [khaley@fruita.org](mailto:khaley@fruita.org) by no later than 5:00 p.m. on December 9, 2015. Questions submitted after this time may not be answered prior to the submittal deadline.

## 1.7 SELECTION CRITERIA

1. Owner reserves the right to reject any or all Proposals. Final selection will be on the basis of CM/GC's apparent ability to best meet the overall expectations of the Owner, as determined solely by the Owner. The Owner reserves the absolute right to conduct investigations as it deems necessary for the evaluation of any proposal and to establish the experience, responsibility, reliability, references, reputation, business ethics, history, qualifications and financial ability of the firm responding. The purpose of such investigation is to satisfy the Owner that the GC/CM has the experience, resources and commercial reputation necessary to perform the work and to support any warranties in accordance with the contract documents.
2. The following items will be reviewed to provide a basis for selection:
  - a) Experience and availability of key personnel designated for this project.
  - b) Demonstrated ability to successfully complete projects of comparable scope and complexity.
  - c) Project Approach and/or unique characteristics of project firm.
  - d) Past Experience and performance based on experience on Fruita projects or responses from references.
  - e) Demonstrated ability to provide acceptable surety and insurance.
3. Following a review of the qualifications submitted by the interested firms, the City intends to interview the CM/GC firm(s) that best meet the overall expectations of the Owner, which may include additional information being requested by the Owner. The Owner will then award the project to a selected CM/GC and begin final contract negotiations. If those negotiations are not successful, the Owner will negotiate with the next firm in rank until successful negotiations are achieved.
4. Final acceptance of any proposal is expressly contingent upon the execution of a satisfactory contract between Contractor and Owner. The Contractor is advised that such contract may include provisions concerning insurance, bonding, indemnification, provisions concerning use of local and/or regional labor or materials, and a provision concerning contracting with illegal aliens. Such contract may differ in form and/or substance from the guidelines outlined in this RFQ. Owner reserves the right to reject any proposal if a satisfactory contract is not agreed to and executed by all parties.

## 1.8 INSURANCE & BONDING

The Contractor shall secure and maintain the following minimum insurance coverage throughout the life of the project, with certificates listing such additional insureds as required by Owner:

- a) **Workers' Compensation**  
Workers' Compensation Insurance as required by State statute, and Employer's Liability Insurance covering all of Contractor and Subcontractor employees acting within the course and scope of their employment.
- b) **General Liability**  
Commercial General Liability Insurance written on ISO occurrence form CG 00 01 10/93 or equivalent, covering premises operations, fire damage, independent contractors, products and completed operations, blanket contractual liability,

personal injury, and advertising liability with minimum limits as follows: (a) \$1,000,000 each occurrence; (b) \$1,000,000 general aggregate; (c) \$1,000,000 products and completed operations aggregate; and (d) \$50,000 any one fire.

c) **Automobile Liability**

Automobile Liability Insurance covering any auto (including owned, hired and non-owned autos) with a minimum limit of \$1,000,000 each accident combined single limit.

d) **Malpractice/Professional Liability Insurance**

Contractors and Subcontractors shall maintain in full force and effect a Professional Liability Insurance Policy in the minimum amount of \$1,000,000 per occurrence and \$1,000,000 in the aggregate, written on an occurrence form, that provides coverage for its work undertaken pursuant to this Contract. If a policy written on an occurrence form is not commercially available, the claims-made policy shall remain in effect for the duration of this Contract and for at least two years beyond the completion and acceptance of the work under this Contract, or, alternatively, a two year extended reporting period must be purchased. The Contractor or Subcontractor shall be responsible for all claims, damages, losses or expenses, including attorney's fees, arising out of or resulting from such party's performance of professional services under this contract.

e) ~~**Builder's Risk Insurance**~~

~~Contractor and/or Subcontractor shall purchase and maintain property insurance written on a builder's risk "all risk" or equivalent policy form in the amount of the initial construction/rehabilitation costs, plus value of subsequent modifications and cost of materials supplied or installed by others, comprising total value for the entire Project at the site on a replacement cost basis without optional deductibles. Such property insurance shall be maintained, unless otherwise agreed in writing by all persons and entities who are beneficiaries of such insurance, until final payment has been made or until no person or entity other than the property owner has an insurable interest in the property.~~

f) **Performance Bond.** A performance bond on the part of the contractor for 100 percent of the contract price. A "performance bond" is one executed in connection with a contract to secure fulfillment of all the contractor's obligations under such contract.

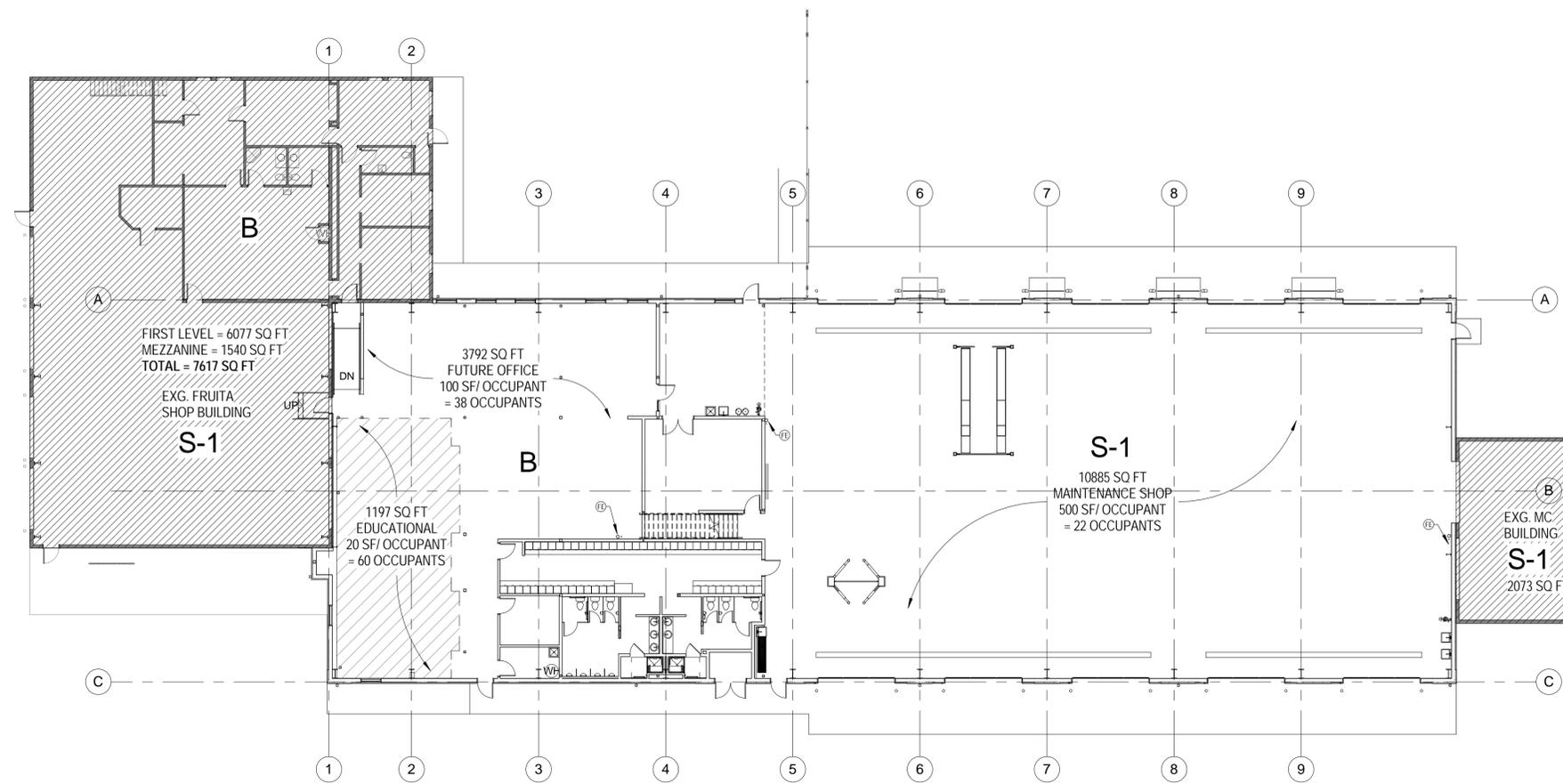
g) **Payment Bond.** A payment bond on the part of the contractor for 100 percent of the contract price. A "payment bond" is one executed in connection with a contract to assure payment as required by statute of all persons supplying labor and material in the execution of the work provided for in the contract.

h) **Substitution.** The bonding requirements in this Section may be waived if the contract price is less than \$50,000.

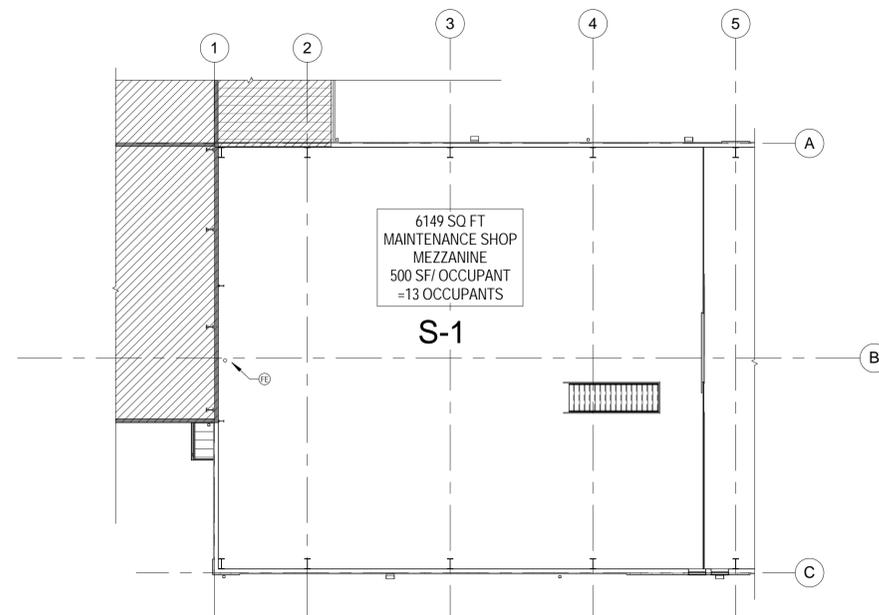
## **2.0 PROPOSAL SUBMITTAL REQUIREMENTS**

Submit three (3) complete hard copies of the proposal and one electronic copy of the Statement of Qualifications. Qualification documents must include, but are not limited to, the following items:

1. Company Name and Background
2. Describe at least three CM/GC projects completed that are similar in size and complexity. Include SF of project, staff involved, GMP, date when GMP was issued, and final construction cost. Reference information for both the client and architect with current e-mail and phone numbers is preferred.
3. Highlight your proposed teams experience and attach resumes for Project Manager and Project Superintendent.
4. Describe current workload of proposed staff and overlapping project responsibilities.
5. Statement describing what uniquely distinguishes your firm as best able to complete this project.
6. The Owner intends to use a standard AIA A121 Contract Form. If you have specific questions or desired modifications to this form, please submit them with them with your SOQ.



2 MAIN FLOOR PHASE 1 LIFE SAFETY PLAN  
A002



3 MEZZANINE LEVEL LIFE SAFETY PLAN  
A002

CODE CHECKLIST

**CODE IN USE:**  
2012 INTERNATIONAL BUILDING CODE (IBC)  
2012 INTERNATIONAL MECHANICAL CODE (IMC)  
2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2012 INTERNATIONAL PLUMBING CODE (IPC)  
2012 INTERNATIONAL FUEL GAS CODE (IFGC)  
2011 NATIONAL ELECTRICAL CODE (NEC)

TYPE OF OCCUPANCY: GROUP S-1  
TYPE OF CONSTRUCTION: TYPE IIIB  
EXG BUILDING AREAS: 9,690 SQ FT  
NEW BUILDING AREA: 16,500 SQ FT  
FIRST FLOOR GSF: 6,149 SQ FT  
MEZZANINE GSF:  
TOTAL BUILDING AREA GSF: 32,339 SQ FT  
TOTAL NUMBER OF STORIES: 1 STORY + MEZZANINE  
SITE SET BACKS:  
FRONT YARD: 0' TO ASSUMED PROPERTY LINE  
SIDE YARD: 0' TO ASSUMED PROPERTY LINE  
REAR YARD: 0' TO ASSUMED PROPERTY LINE

BASIC ALLOWABLE FLOOR AREA (A) (TABLE 503) 17,500 SQ FT

ALLOWABLE AREA INCREASES

TOTAL AREA INCREASES: A = 17,500 + [17,500 x 1.5] + [17,500 x 3]  
A = 17,500 + 26,250 + 52,500  
A = 96,250 SQ FT

ALLOWABLE INCREASE FOR FRONTAGE: I = [919/919 - 0.25] 60/30  
(SECTION 506.2) I = [1 - 0.25] 60/30 = 1.5

AUTOMATIC SPRINKLER SYSTEM: PROVIDED  
(SECTION 506.3)

ALLOWABLE INCREASE FOR MORE THAN ONE STORY: + 1 STORY  
(SECTION 506.4)

TOTAL ALLOWABLE AREA: 72,100 SQ FT

ALLOWABLE NUMBER OF STORIES: 3  
(504.2)

TOTAL OCCUPANT LOAD:

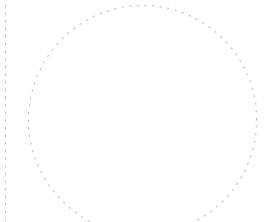
TOTAL OCCUPANT LOAD FIRST FLOOR 133  
MAINTENANCE SHOP (500 GROSS) = 35  
EDUCATIONAL (20 NET) = 60  
BUSINESS (100 GROSS) = 38

	MIN. REQ.	PROVIDED
NUMBER OF EXITS REQUIRED FOR BUILDING (TABLE 1015.1):	2	4
WIDTH OF EXITS REQUIRED (133 x .15) (SECTION 1005.1)	19.95"	144"

MIXED OCCUPANCIES: TABLE 508.4 NO SEPERATION REQ BTW 'B' AND 'S-1'

PLUMBING FIXTURES	OCCUPANCY CLASSIFICATION (TOTAL OCCUPANT LOAD)			
	B (38 OL)	S (35 OL)	EDU (60 OL)	REQ. PROVIDED
MALE WC	1/25 = .76	1/100 = .18	1/50 = .60	= 1.54 3 + (4) URINALS
FEMALE WC	1/25 = .76	1/100 = .18	1/50 = .60	= 1.54 3
MALE LAVATORY	1/40 = .48	1/100 = .18	1/50 = .60	= 1.26 3
FEMALE LAVATORY	1/40 = .48	1/100 = .18	1/50 = .60	= 1.26 2
DRINKING FOUNTAIN	1/100 = .38	1/1000 = .035	1/100 = .60	= 1.0 2
SERVICE SINK	1 SERVICE SINK			= 1 4

FIRE EXTINGUISHERS 1 WITHIN 75 FT OF TRAVEL, SEE "FE" ON PLAN



FRUITA CITY SHOPS EXPANSION PHASE 1

FRUITA, COLORADO

CODE ANALYSIS

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CD

DRAWN BY: AB CHECKED BY: Checker

DATE: 04/22/2014 SHEET NO:

PROJECT NO: 1303 A002

GENERAL NEW CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
- CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
- WHERE EXISTING FINISHES ARE REQUIRED TO BE REMOVED TO INSTALL NEW FINISHES, PATCH AND REPAIR WALL SURFACES TO ACCEPT NEW FINISHES AND CONCEAL ALL TRANSITIONS.
- MAINTAIN RATINGS OF EXISTING WALLS. PATCH AND REPAIR ANY NEW OR EXISTING OPENINGS IN RATED WALLS WITH UL ASSEMBLY APPROVED FOR PENETRATING ITEM AND WALL ASSEMBLY.
- PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
- AT NEW HM DOOR FRAMES ARE TO MATCH EXISTING FOR PROFILE AND CONSTRUCTION.
- RECONFIGURE SPRINKLER HEADS AS REQUIRED BY CODE.
- RECONFIGURE FIRE ALARM DEVICES AS PER THE ELECTRICAL NARRATIVE. PROVIDE NEW FA DEVICES IF EXISTING ARE NOT OPERATIONAL.
- NEW RATED STUD WALLS ARE TO BE GA #WP 1072- 1HR RATED WITH 3-1/2" FIBERGLASS BATTS WITH A 47 STC.
- FIELD VERIFY EXISTING CORRIDOR WALLS AND ROOM SEPARATION WALLS ARE 1HR RATED (WP 1072) WITH REQUIRED PENETRATION FIRESTOPPING. WHERE THESE WALLS DO NOT CURRENTLY MEET THE REQUIRED RATING MODIFY WALL TO MEET UL ASSEMBLY FOR 1HR WP 1072 OR EQUAL WITH SOUND BATTS.
- DUE TO SLAB CONSTRUCTION REUSE EXISTING WASTE PIPING IN FLOOR. CAP ALL UNUSED WASTE PIPING AT OR BELOW FLOOR LEVEL SO THAT FLOOR FINISHES CAN BE INSTALLED.
- FINISHES SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.
- MAIN STRUCTURE IS EXISTING AND THE CONFIGURATION OF THE SUPPORTING FOUNDATIONS ARE UNKNOWN. CONTRACTOR SHALL MAKE MODIFICATIONS AS NEEDED TO THE UNDERSLAB PLUMBING ROUTING TO MAINTAIN THE INTEGRITY OF THE STRUCTURE. ALL MODIFICATIONS THAT IMPACT THE LOCATION OF PLUMBING FIXTURES MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE TREATED SOLID WOOD BLOCKING FOR ALL WALL MOUNTED EQUIPMENT, TOILET PARTITIONS, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS MINIMUM OF 1/8" - 12" SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN. CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS EVEN THOUGH JOINT MAY NOT BE VISIBLE.
- REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.
- DOOR JAMB LOCATION OFF FACE OF WALL IS 4" TYPICAL, UNLESS NOTED OTHERWISE.
- PROVIDE DOUBLE STUD IN WALL AT COUNTERTOP AND BENCH BRACKET LOCATIONS, RE: INTERIOR ELEVATIONS.

FRUITA CITY  
SHOPS EXPANSION  
PHASE 1

FRUITA, COLORADO

FLOOR PLAN -  
WEST

NO: ISSUED FOR: DATE:

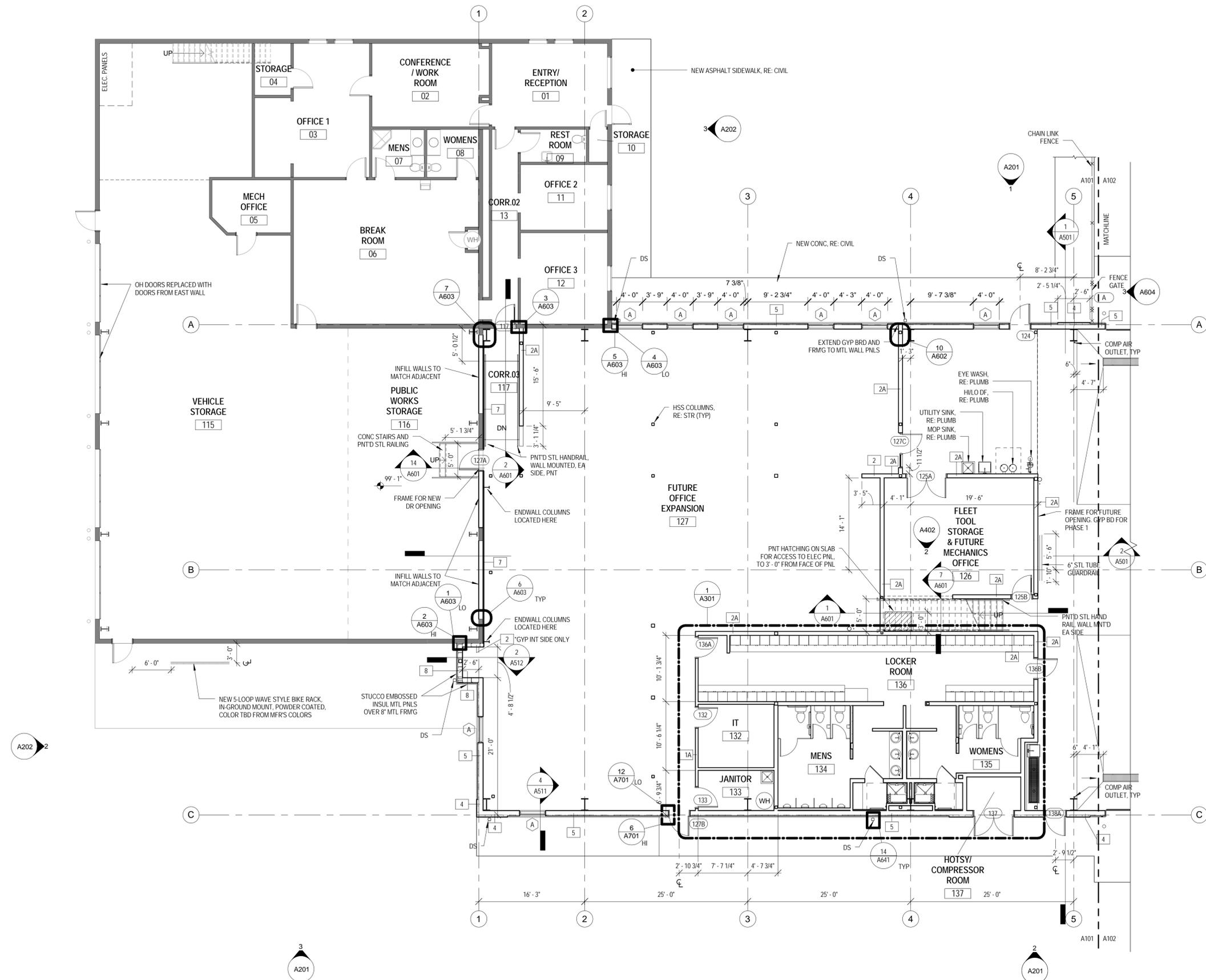


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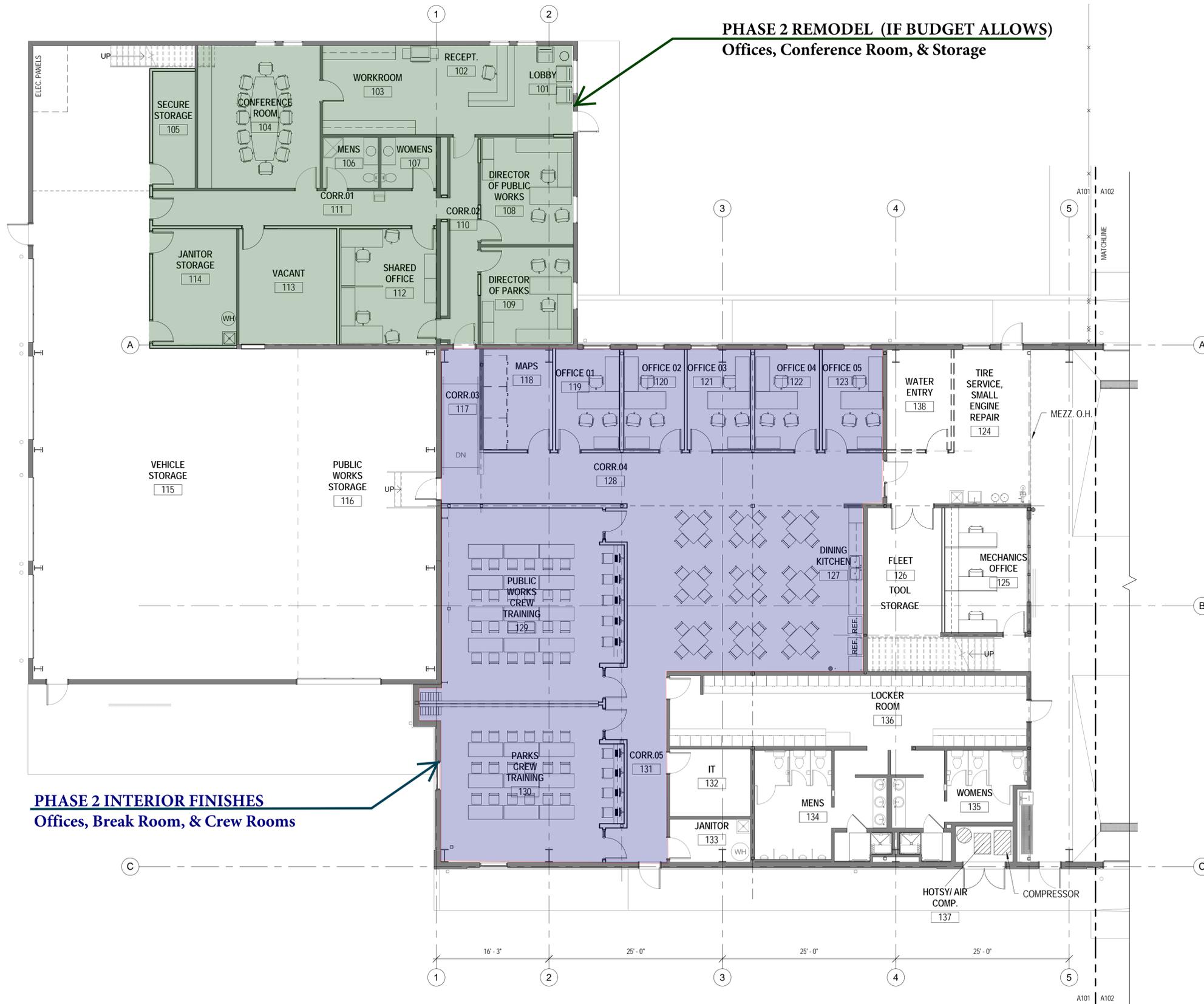
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DATE: 04/22/2014 SHEET NO:

PROJECT NO: 1303 **A101**



1 PHASE 1 FLOOR PLAN - WEST  
A101



**PHASE 2 REMODEL (IF BUDGET ALLOWS)**  
Offices, Conference Room, & Storage

**PHASE 2 INTERIOR FINISHES**  
Offices, Break Room, & Crew Rooms

**FRUITA CITY  
SHOPS EXPANSION  
PHASE 1**

FRUITA, COLORADO

**MASTER PLAN -  
WEST (FOR REF.  
ONLY)**

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CD

DRAWN BY: AB CHECKED BY: Checker

DATE:  
**04/22/2014** SHEET NO:

PROJECT NO:  
**1303** **A012**