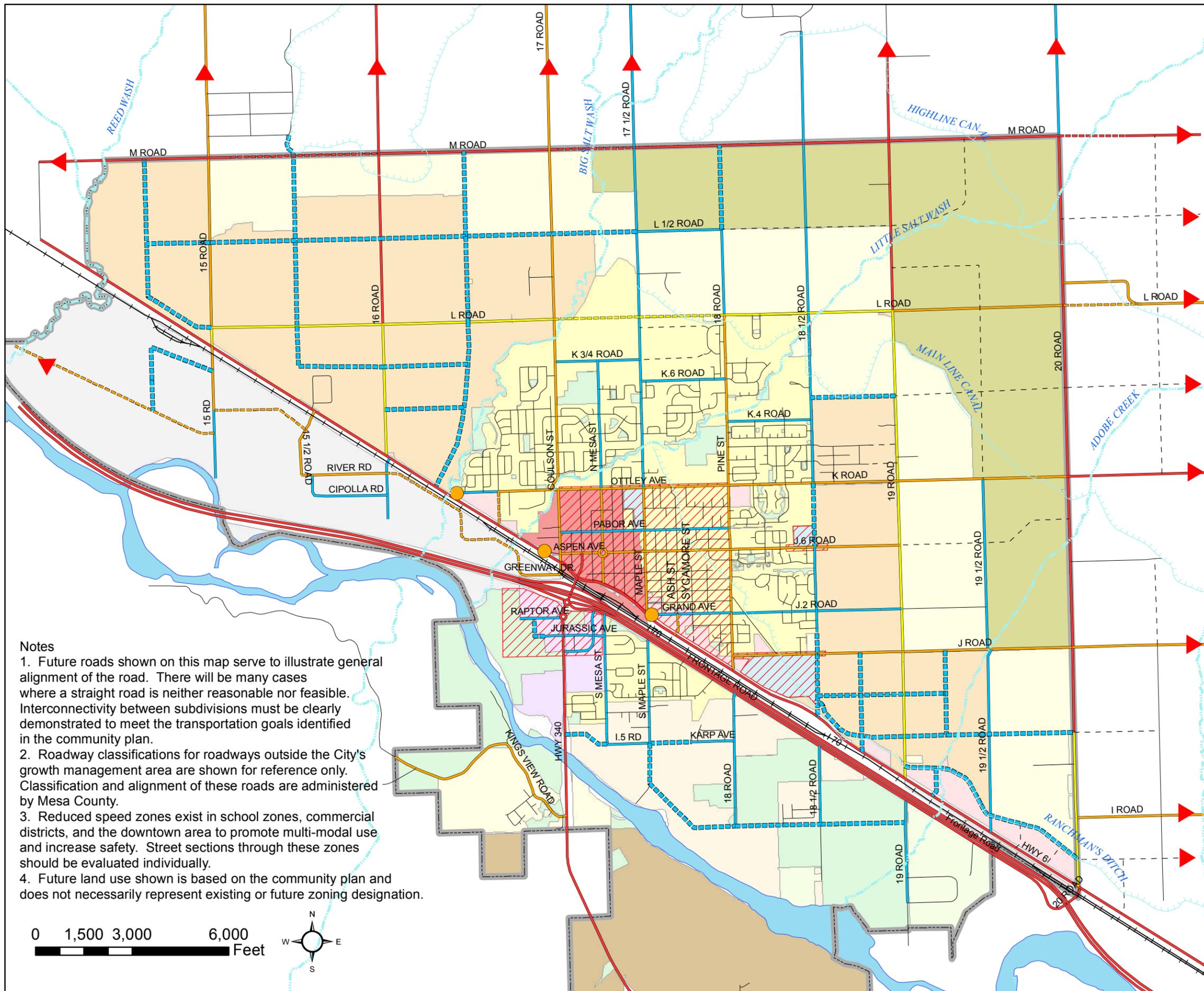


Fruita Area Street Classifications and Traffic Control Plan
Adopted by Fruita City Council
2/21/2012



Map Legend

- Canals (dashed blue line)
- Streams (dotted blue line)
- Exst./Proposed Cul-de-Sacs (yellow circle)

Area Roads

- Arterial (solid red line)
- Future Arterial (dashed red line)
- Enhanced Travel Corridor (solid yellow line)
- Future Enhanced Travel Corridor (dashed yellow line)
- Major Collector (solid orange line)
- Future Major Collector (dashed orange line)
- Minor Collector (solid blue line)
- Future Minor Collector (dashed blue line)
- Residential/Other (solid grey line)
- Future Unclassified (dashed grey line)

Other Features

- Growth Management Area (grey outline)
- Reduced Speed Zone (red hatched area)

Future Land Use (Framework)

- Agricultural Residential (light green)
- Civic (light blue)
- Commercial (pink)
- Community Mixed-Use (orange)
- Community Residential (yellow)
- Downtown Commercial/Residential (red)
- Limited Industrial/Research & Dev. (grey)
- Monument Preservation (brown)
- Parks/Open Space (green)
- Rural Estate (olive green)
- Rural Residential (light yellow)
- South Fruita Residential (tan)
- Tourist Commercial (purple)
- Outside Growth Management Area (white)

Notes

1. Future roads shown on this map serve to illustrate general alignment of the road. There will be many cases where a straight road is neither reasonable nor feasible. Interconnectivity between subdivisions must be clearly demonstrated to meet the transportation goals identified in the community plan.
2. Roadway classifications for roadways outside the City's growth management area are shown for reference only. Classification and alignment of these roads are administered by Mesa County.
3. Reduced speed zones exist in school zones, commercial districts, and the downtown area to promote multi-modal use and increase safety. Street sections through these zones should be evaluated individually.
4. Future land use shown is based on the community plan and does not necessarily represent existing or future zoning designation.

